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Commissioner, District 5

Katherine Miller
County Manager

DATE: July 16, 2015

TO: County Development Review Committee

FROM: Jose E. Larrañaga, Development Review Team Leader *JEL*

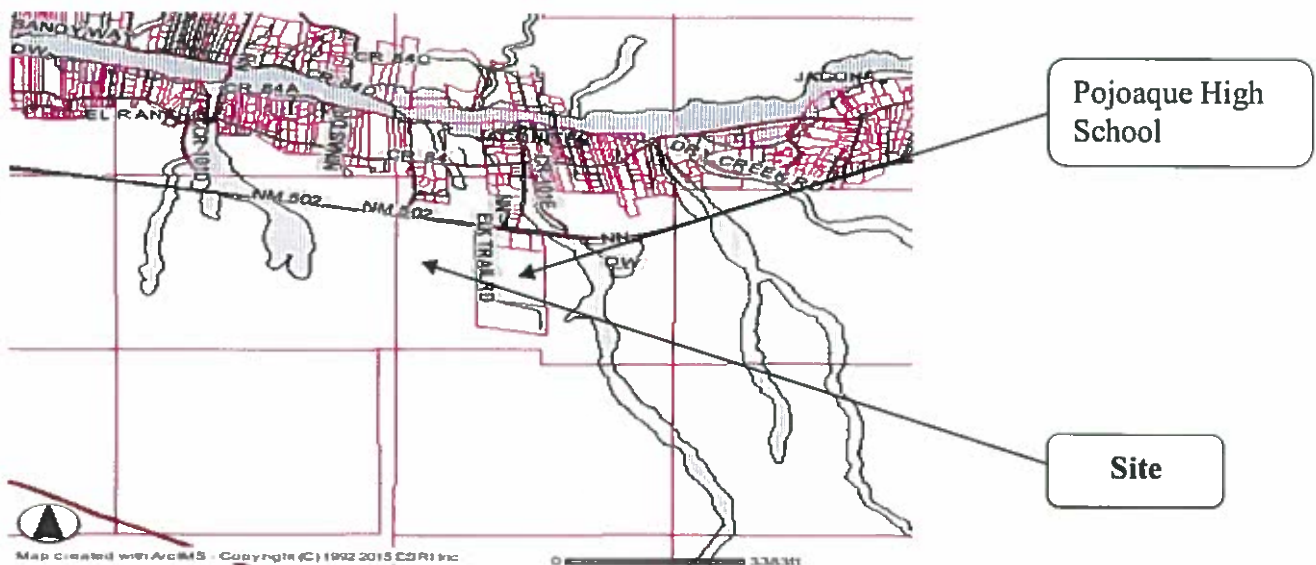
VIA: Penny Ellis-Green, Growth Management Director *PEG*
Vicki Lucero, Building and Development Services Manager *VL*
Wayne Dalton, Building and Development Services Supervisor *WD*

FILE REF.: CDRC CASE # V/FDP 15-5170 Jacona Transfer Station

ISSUE:

Santa Fe County, Applicant, requests Final Development Plan approval to allow a facility to be utilized as a County Collection Center on 19.63 acres \pm . The Applicant's request also includes a variance of Ordinance No. 2002-6, Article III, Section 4.4.4(c) (Maximum Height) to allow the structure to exceed 24 feet in height, a variance of Ordinance No. 2000-01, Section 2.3.6.d.2, to allow retaining walls to exceed 10 feet in height and a variance of Article VII, Section, 3.4.1.1.c.1 (No Build Areas) to allow 5 isolated disturbances of 30% slope for access roads totaling 1,313 square feet of disturbance. The property is located off of Highway 502, within the Jacona Land Grant, within Section 15, Township 19 North, Range 8 East, (Commission District 1).

Vicinity Map:



NBC-1

SUMMARY:

The Applicant is requesting Final Development Plan approval for the Jacona Collection Center as a Community Service Facility in conformance with Ordinance No. 2010-13 § 7, Community Service Facilities and Santa Fe County Ordinance No. 1996-10, the Santa Fe County Land Development Code (Code). The Center will consist of a main building which will be utilized for waste unloading and recycling and a sheltered area for re-use items for a combined roofed area of 9,623 square feet, in addition to a flat pad for green waste and a flat pad for scrap metal and tires. The Jacona Collection Center will be a County owned and operated facility.

Ordinance No. 2010-13 § 7 (Community Service Facilities) states, "Community service facilities are facilities which provide service to a local community organization. These may include governmental services such as police and fire stations, elementary and secondary day care centers, schools and community centers, and churches."

Ordinance No. 2010-13 § 7.1 (Standards) states, "Community service facilities are allowed anywhere in the County, provided all requirements of the Code are met."

Article V § 7.2 (Final Development Plan) of the Code states:

The final development plan shall be submitted to the County Development Review Committee accompanied by a staff report. The County Development Review Committee shall review the plan and make a determination as to its compliance with the County General Plan and Code. The County Development Review Committee may recommend changes or additions to the plan as conditions of its approval. The final development plan as approved by the County Development Review Committee shall be filed with the County Clerk. The approved final development plan becomes the basis of development permits and for acceptance of public dedications. Any changes in the plan must be approved by the County Development Review Committee.

The Applicant is also requesting a variance of Ordinance No. 2002-6, Article III, Section 4.4.4(c) (Maximum Height) to allow the structure to exceed 24 feet in height, a variance of Ordinance No. 2000-01, Section 2.3.6.d.2, to allow retaining walls to exceed 10 feet in height and a variance of Article VII, Section, 3.4.1.1.c.1 (No Build Areas) to allow 5 isolated disturbances of 30% slope for access roads totaling 1,313 square feet.

Ordinance No. 2002-6, Article III, Section 4.4.4(c) (Maximum Height) states:

Structures shall be limited to a maximum of thirty-six (36') feet high in Major or Community Center Districts and to twenty-four (24) feet high in Neighborhood or Local Center Districts. Height is measured from any point on the upper surface of a building or structure to the natural grade or finished cut grade; whichever is lower, directly below that point. The vertical depth of fill material from the natural grade, with or without retaining walls, shall be considered as a component of the building or structure; this depth shall be included in determination of building height.

NBC-2

The Applicant states:

In order for the facility to function, the tunnel (where trash collects in trailers) must be at least 16' below the collection (tip) floor in the main facility, and the public areas need to be at least 2'-8" above the tip floor. The tunnel needs 14' of clear space above the tip floor as well. Because of these functional considerations, the height of the facility requires an exception. The overall height (from lowest grade to highest point) is 41'-9.

However, the ridge of the main facility is only 23'-1" above finish grade. The ridge of the tunnel is 38' above grade. Other mitigating factors: The design incorporates several features to lessen the appearance of height. The tunnel floor is 10' below grade so that it is not seen from Highway 502. The slope of the roof is 2:12 so although the visible height above grade is 28' at the ridge it's only 22'-3" and 19'-3" at the eaves. The mass of the facility is broken up into four volumes; an open-air cover echoes the roof pitches and breaks up the mass of the tunnel.

Staff Response: The height of the structure is necessary in order for the facility to function in a safe and efficient manner. The height is required to allow the headroom required for the equipment to be used in the daily operation of the facility. The Applicant has designed the facility, utilizing the natural topography, so that the height will be a minimal visual impact on the public traveling along Highway 502.

Ordinance No. 2000-01, Section 2.3.6.d.2 states, "... each retaining wall shall be set back a minimum of six horizontal feet (6') from face of wall to face of wall and shall be a maximum of ten feet in height..."

The Applicant states:

Given the function requirements of the facility, some retaining walls are required to be built over ten feet to allow waste to be pushed into trailers from the green waste area (16' high retaining wall) and the main facility (18'-8" high retaining wall) below the public level. Where possible the retaining walls will be designed with a series of walls set back from each other (face of wall to face of wall).

Staff Response: The facility is designed to handle a large amount of waste and large trucks and trailers will be utilized to haul off the waste. The facility is designed for these trucks/trailers to be positioned below the main facility and still be able to circulate through the facility and not impede the traffic created by the public. The design creates an efficient and safe facility and utilizes the bulk of the structure and the natural topography to shield the mass of the retaining walls from any possible visual impact to Highway 502.

Article VII, Section, 3.4.1.1.c. states:

No Build Areas ...Natural slopes of thirty percent (30%). Exceptions may be approved by the Code Administrator for: access corridors, utility corridors and landscape areas proposed on natural slopes in excess of thirty percent (30%) that disturb no more than

NBC-3

three (3) separate areas of no more than one thousand (1,000) square feet each, provided the applicant demonstrates that no alternative development location is available...

The Applicant states:

The project site is relatively flat, however the topography of the areas surrounding the site is challenging with hills and arroyos, making access an issue. The main facility is located on slopes of less than 20% and is sited to preserve natural features such as trees and hills. Roads were designed to avoid arroyos and hills as much as possible, winding around the hill that screens the collection facility site from Highway 502. Some grading on 30% slopes is inevitable due to the topography of the site. The location of the entrance was dictated by the features of Highway 502, and it enters the site at a steep embankment. The road enters on a man-made area greater than 30% slopes (1,874 square feet). An exception is required because there are more than three instances of disturbance of greater than 30% natural slopes. There are five instances, however these are all small and represent only 1,313 square feet, less than half of the 3000 square feet allowed. The disturbance is only on areas for access roads and not for any buildings.

Staff Response: The disturbance of the five (5) separate occurrences of 30% slopes is minimal as the square footage of those combined disturbances totals 1,313 square feet. The disturbance of the 30% slopes is necessary to create an access that is safe not only for the general public utilizing the facility and the employees, but also creates a safe and adequate access for emergency vehicles. The disturbance of the 30% slopes will have a minimal visual impact from Highway 502.

Article II, § 3 (Variances) states:

Where in the case of proposed development, it can be shown that strict compliance with the requirements of the Code would result in extraordinary hardship to the applicant because of unusual topography or other such non-self-inflicted conditions or that these conditions would result in inhibiting the achievement of the purposes of the Code, an applicant may file a written request for a variance. A Development Review Committee may recommend to the Board and the Board may vary, modify or waive the requirements of the Code and upon adequate proof that compliance with Code provision at issue will result in an arbitrary and unreasonable taking or property or exact hardship, and proof that a variance from the Code will not result in conditions injurious to health or safety. In arriving at its determination, the Development Review Committee and the Board shall carefully consider the opinions of any agency requested to review and comment on the variance request. In no event shall a variance, modification or waiver be recommended by a Development Review Committee, nor granted by the Board if by doing so the purpose of the Code would be nullified.

Article II, § 3.2 (Variation or Modification) states, "in no case shall any variation or modification be more than a minimum easing of the requirements."

NBC-4

The Jacona Land Grant property owners acquired the property by U.S. Patent on November 15, 1909. Santa Fe County holds a 25 year lease and an option to lease for an additional 25 years on 19.63 acres for use under Community Service Uses.

Notice requirements were met as per Article II § 2.4.2, of the Code. In advance of a hearing on the Application, the Applicant provided a certification of posting of notice of the hearing, confirming that public notice posting regarding the Application was made for twenty-one days on the property, beginning on June 25, 2015. Additionally, notice of hearing was published in the legal notice section of the Santa Fe New Mexican on June 25, 2015, as evidenced by a copy of that legal notice contained in the record. Receipts for certified mailing of notices of the hearing were also contained in the record for all adjacent property owners.

This Application was submitted on May 8, 2015.

Building and Development Services staff have reviewed this project for compliance with pertinent Code requirements and have found that the facts presented support the request for Final Development Plan: the facility will provide a community service to the County; the use is compatible with development permitted under the Code; the Application (excluding the height of the structure and retaining walls and the disturbance of 30% slopes) satisfies the submittal requirements set forth in the Code.

The review comments from State Agencies and County staff have established findings that this Application, for Final Development Plan (excluding the height of the structure and retaining walls and the disturbance of 30% slopes), is in compliance with state requirements, Ordinance No. 2010-13 § 7 and § 7.1 Community Service Facilities and Article V § 7.2 Final Development Plan of the Code.

Building and Development Services staff has reviewed the Applicants request for a variance of Ordinance No. 2002-6, Article III, Section 4.4.4(c) (Maximum Height) to allow the structure to exceed 24 feet in height, a variance of Ordinance No. 2000-01, Section 2.3.6.d.2, to allow retaining walls to exceed 10 feet in height, and a variance of Article VII, Section, 3.4.1.1.c.1 (No Build Areas) to allow 5 isolated disturbances of 30% slope for access roads totaling 1,313 square feet of disturbance for compliance with pertinent Code requirements and has found that the following information presented may support a variation of these sections of the Code/Ordinances. The height of the structure is required to provide safe and adequate service, as a Collection Center, for the general public and the employees. The height of the retaining walls is required for proper circulation of vehicles and for efficient use of the facility. The disturbance (1,313 square feet) of five (5) occurrences of slope over thirty percent (30%) is well below the square footage allowed by the code for three (3) occurrences (3,000 square feet). The requested variances will have little to no visual impact to the surrounding properties as well as the public traveling along Highway 502. These variances of the Code and Ordinance requirements may be considered a minimum easing of the Code.

APPROVAL SOUGHT:

Final Development Plan approval to allow a facility to be utilized as a County Collection Center on 19.63 acres ±.

NBC-5

VARIANCE REQUEST:

Variance of Ordinance No. 2002-6, Article III, Section 4.4.4(c) (Maximum Height) to allow the structure to exceed 24 feet in height, a variance of Ordinance No. 2000-01, Section 2.3.6.d.2, to allow retaining walls to exceed 10 feet in height, and a variance of Article VII, Section, 3.4.1.1.c.1 (No Build Areas) to allow 5 isolated disturbances of 30% slope for access roads totaling 1,313 square feet of disturbance.

GROWTH MANAGEMENT AREA:

Jacona Land Grant

ARCHAEOLOGIC:

The State Historic Preservation Division reviewed the application and stated the following:

There are no archaeological sites within the proposed transfer station area; however an archaeological survey has not been conducted. Archaeological sites were identified nearby, thus there is a potential for unidentified archaeological sites to exist in the project area. This office recommends an archaeological survey be conducted to ensure that no significant archaeological sites are present before construction. If a survey is not conducted, construction crews should be advised to stop work if archaeological artifacts (i.e. pottery shards, bone, flaked stone, etc.) are observed and contact the State Historic Preservation Division.

ACCESS AND TRAFFIC:

The Applicant is proposing to access the proposed development from New Mexico 502. A dedicated left turn lane will be constructed on NM 502 for the westbound entrance onto the site. A Traffic Impact Analysis was submitted by the Applicant.

The New Mexico Department of Transportation (NMDOT) reviewed and approved the Traffic Impact Study for this development and concurs with the recommendations made within the report. NMDOT imposed the following condition:

The developer will need to apply for an access permit and include NM 502 construction plans for review before a permit will be issued.

Public Works reviewed the Application and supports the Development with the following conditions:

NBC-6

Applicant shall use 4" of HMA over 6" of Base Course as per Geotechnical Investigation for the haul road;
Applicant shall use 3" of HMA over 4" of Base Course as per Geotechnical Investigation for the parking area;
Applicant shall provide a minimum of 30' return radius;
Applicant shall install an R1-1 30x30 at exit of property with 24' Stop Bar.

FIRE PROTECTION:

A 10,000 gallon water tank and draft hydrant is proposed for fire protection for this development.

The Santa Fe County Fire Department, Fire Prevention Division, has not provided staff with comments on this application.

WATER SUPPLY:

The County Hydrologist has reviewed this application and states, "the water budget for the facility includes water use for two staff with two restrooms (one toilet and one sink in each) for employee use only and a sink in the break room. Usage is based on 25 gallons per day per person and water will be supplied by a new on-site well which will be permitted from the Office of the State Engineer. Therefore, the water budget for the entire facility is 18,000 gallons per year or 0.06 acre-foot per year for two staff. This is well below 0.25 acre-foot limit imposed by the Code. Therefore, no further action regarding the facilities water availability is required with the exception of requiring the applicant to record meter usage and report monthly readings to Utilities on an annual basis."

The Office of the State Engineer (OSE) reviewed the application and states the following:

The proposed development is not formally covered under the New Mexico Subdivision Act, the OSE declines to provide formal comments at this time.

LIQUID WASTE:

The project will be served by an onsite liquid waste disposal system. New Mexico Environment Department (NMED) has reviewed the application and is requiring that a liquid waste permit application be made with additional information on the project prior to building permit submittal.

NBC-7

FLOODPLAIN &**TERRAIN MANAGEMENT:**

The site has slopes 0-30% and all cut slopes are less than 2:1 and all fill slopes are 3:1. The project will require a variance of Article VII, Section, 3.4.1.1.c.1 (No Build Areas) to allow five (5) isolated disturbances of 30% slope for access roads totaling 1,313 square feet of disturbance. Article VII, Section 3.4.1.1.c.1, states access corridors, utility corridors, and landscape areas proposed on natural slopes in excess of thirty percent (30%) that disturb no more than three (3) separate areas of no more than one thousand (1,000) square feet each are allowed, provided that the Applicant demonstrates that no alternative development location is available. The request is not in conformance and will require a variance of Article VII, Section 3.4.1.1.c.1.

The Applicant's submittal shows a proposed Grading and Drainage Plan. The proposal indicates the TR-20 Pond routing results is 12.80 cfs into the pond with 2.42 cfs out of pond. The existing flow is 3.12 cfs, and the results of the pond will control onsite discharge to predevelopment flows as indicated on sheet C-1 by Walker Engineering. The request is in conformance with Article VII, Section 3.4.6 and Ordinance 2008-10 Flood Damage Prevention and Stormwater Management.

SIGNAGE AND LIGHTING:

The Applicant provided a detailed Signage Plan. A 4'x8' informational sign is shown at the entrance of the development. The Application complies with the signage requirements within Article VIII, Section 7.14 (Sign Regulations). Staff has determined that the signage element of this Application is complete and in accordance with the Code.

The Applicant submitted a Lighting Plan. Lighting consists of LED exterior lights over each door that are on an astroclock timer which will allow the lights to come on at dusk and turn off at 9pm. All lighting shall be shielded. The Application is in compliance with outdoor lighting requirements within Article III, Section 4.4.4 h. Staff has determined that the lighting element of the Application is complete and in accordance with the Code.

EXISTING DEVELOPMENT:

The site is vacant.

ADJACENT PROPERTY:

The site is bordered to the north by New Mexico State Road 502. To the south and east the site is bordered by the Jacona

NBC-8

Land Grant and to the west by the San Ildefonso Pueblo Grant.

PARKING:

The Applicant has provided a detailed Parking Plan. The Applicant proposes various collection sites such as waste, recycling, re-use, green waste, scrap metal, and tires. The proposed parking for these sites is adequate and is only utilized when disposing of material at the individual collection sites. 9 parking spaces and 2 handicap accessible spaces will be located at the main building and re-use area. The Application complies with the parking requirements set forth in Article III, Section 9 (Parking Requirements). Staff has determined that the Parking element of this Application is complete and in accordance with the Code.

LANDSCAPING:

The Applicant is proposing to plant twenty (20) trees for added screening from Highway 502. The Applicant has stated that there are hundreds of trees on the site and 63 of these trees provide screening for the Collection Facility. The Applicant is proposing to utilize a drip irrigation system to water all new plantings. The Applicant is also proposing to use river rock around the trees instead of shrubs. The Applicant is proposing 11 parking spaces in total, 2 are assigned handicap parking spaces. The parking spaces will be located at the main building and reuse area. The existing landscaping along with the buildings will provide a buffer from Highway 502. This aspect of the development meets Code requirements.

RAINWATER HARVESTING:

Ordinance 2008-4 (Water Harvesting) requires commercial development to collect all roof drainage into a cistern. Cisterns shall be sized to hold 1.5 gallons per sq. ft. of roofed area. The roofed area for this project is 6,713 sq. ft. The Applicant would have to conceptually provide a cistern sized to hold 10,070 gallons of roof drainage. However, the Applicant has provided a Water Budget for the landscaping and is proposing to utilize a cistern sized to capture 4,000 gallons based on that water budget. The Applicant will use a drip irrigation system with the cistern. This aspect of the development meets Code requirements.

AGENCY REVIEW:

<u>Agency</u>	<u>Recommendation</u>
County Fire	No Comment
County Hydrologist	Approval
NMDOT	Approval with Condition
Public Works	Approval with Conditions

NBC-9

OSE	Declined Comment
SHPO	Approval with Condition
NMED	Approval with Condition

STAFF RECOMMENDATION: **Final Development Plan approval to allow a facility to be utilized as a County Collection Center on 19.63 acres, subject to the following staff conditions:**

1. The Applicant shall comply with all review agency comments and conditions, as per Article V, § 7.1.3.c. **Conditions shall be noted on the recorded Final Development Plan.**
2. Final Development Plan with appropriate signatures shall be recorded with the County Clerk, as per Article V, § 7.2.2.
3. Water restrictive covenants, restricting the water use to 0.25 acre feet per year, shall be recorded along with the Final Development Plan. Meter readings shall be submitted to the County Hydrologist on an annual basis.
4. Construction crews shall stop work if archaeological artifacts (i.e. pottery shards, bone, flaked stone, etc.) are observed and Santa Fe County shall contact the State Historic Preservation Division.

Staff requests that the CDRC make a separate motion on the variance requests.

The request for a variance of the height requirements may be considered a minimal easing due to: the height required for the structure is designed to provide safe and adequate service, as a Collection Center, for the general public and the employees; the height of the retaining walls are required for proper circulation of vehicles and for efficient use of the facility; the disturbance of 1,313 square feet of 30% slopes is well below what is allowed by the Code for three (3) occurrences.

The County Development Review Committee may recommend to the Board to vary, modify or waive the requirements set forth in Ordinance No. 2002-6, Article III, Section 4.4.4(c) (Maximum Height) to allow the structure to exceed 24 feet in height, a variance of

NBC-10

Ordinance No. 2000-01, Section 2.3.6.d.2, to allow retaining walls to exceed 10 feet in height and a variance of Article VII, Section, 3.4.1.1.c.1 (No Build Areas) to allow 5 isolated disturbances of 30% slope for access roads totaling 1,313 square feet of disturbance.

EXHIBITS:

1. Development Plan Report
2. Proposed Plans
3. Reviewing Agency Responses
4. Aerial Photo of Site
5. Ordinance No. 2010-13 § 7 (Community Service Facilities)
6. Article V § 7.2 (Final Development Plan)
7. Ordinance No. 2002-6, Article III, Section 4.4.4(c) (Maximum Height)
8. Ordinance No. 2000-01, Section 2.3.6.d.2
9. Article VII, Section, 3.4.1.1.c.1 (No Build Areas)
10. Article II, § 3 (Variances)
11. 1909 U.S. Patent
12. Legal Notice

NBC-11



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DEVELOPMENT PLAN REPORT

Date
Project

6.18.15
Jacona Collection Center

The Jacona Collection Center is a solid waste collection center located next to Pojoaque High School in Jacona; it will be constructed, owned and operated by Santa Fe County. The collection center consists of a main building (6713 sf) containing waste unloading and recycling, a sheltered area for re-use items, a flat pad for green waste and a flat pad for scrap metal and tires.

Exceptions Requested

The County is requesting three variances:

- Height (to exceed 24' allowed)
- Retaining Wall Height (to exceed 10' allowed)
- Number of Instances of Slope over 30% (to exceed 3 allowed)

Height - Exception Required

In order for the facility to function, the tunnel (where trash collects in trailers) must be at least 16' below the collection (tip) floor in the main facility, and the public areas need to be at least 2'-8" above the tip floor. The tunnel needs 14' high of clear space above the tip floor as well. Because of these functional considerations, the height of the facility requires an exception. The overall height (from lowest grade to highest ridge) is 41'-9".

However, the ridge of the main facility is only 23'-1" above finish grade. The ridge of the tunnel is 38' above grade. Other mitigating factors: The design incorporates several features to lessen the appearance of height. The tunnel floor is 10' below grade so that it is not seen from Highway 502. The slope of the roof is 2:12 so although the visible height above grade is 28' at the ridge it's only 22'-3" and 19'-3" at the eaves. The mass of the facility is broken up into four volumes; an open-air cover echoes the roof pitches and breaks up the mass of the tunnel.

Retaining Walls - Exception Required

Given the function requirements described above, there need to be some retaining walls over ten feet to allow trailers to be 16' (at greenwaste) 18'-8" (main facility) below the public level. Minimal easing: Where possible we used a series of retaining walls to minimize the height of each, so the only a small length of retaining wall over 10 feet is used. See attached diagram.

Slope Analysis - Exception Required

The project site is relatively flat, however the topography of the areas surrounding the site is challenging with hills and arroyos, making access an issue. The main facility is located only on slopes of less than 20% and is sited to preserve natural features such as trees and hills. Roads were designed to avoid arroyos and hills as much as possible, winding around the hill that screens the collection facility site from Highway 502. Some grading on 30% slopes is inevitable due to the topography of the site. The location of the entrance was dictated by the features of Highway 502, and it enters the site at a steep embankment that must be infilled. The road enters on a man-made area of greater than 30% slopes (1874 square feet).

An exception is required because there are more than three instances of disturbance of greater than 30% natural slopes. There are five instances, however these are all small and represent only 1313 square feet, less than half of the 3000 square feet allowed. The disturbance is only on areas for access roads and not for any buildings.



NIBC-12

Water Harvesting and Water Budget

Roofwater is collected in a buried 4000-gallon cistern which will be used for landscape irrigation. The cistern size is based on the water budget to establish 16 new Juniper trees (660 gallons per tree = 10560 gallons per year) which is the only new landscaping (due to maintenance concerns, the project will utilize river rock around the trees rather than shrubs). The remaining four new trees will be direct-watered from roof water. The water harvesting for this project is based on this water budget, therefore the cistern is sized for this water budget.

Parking

Parking is located at the various collection sites (waste, recycling, re-use, green waste, scrap metal and tires). Designated disabled accessible parking spaces are located at the main building and reuse area.

Landscaping

There are hundreds of trees on the full 19.63 acre site. Of these, 63 provide screening for the Collection Center facility. The County is planning on planting an additional 20 trees for screening from Highway 502.

Utilities

Electricity will be brought in from a nearby electrical pole. There is no water on-site; the owner is installing a well. There is no sewer system; see "Septic System" below for a description of the system.

Septic System

The project will utilize a septic system for water from the two restrooms, hose bibs and break room sink. The septic system will be permitted by the selected Contractor. Water from a trench drain in the tunnel will exit to an oil separator/sediment trap which outlets to a holding tank; the holding tank will be pumped as needed.

Exterior Lighting

Lighting will be minimal given the rural setting and out of respect for neighbors. The station has LED exterior lights over each door that are on an astroclock to come on at dusk and on a timer to turn off at 9 pm. There is no pole or bollard site lighting.

Fire Protection

The building is not fire sprinklered, however a 10,000 gallon tank (as required by Buster Patty, County Fire) will be installed and kept filled for the fire department if needed.

All Weather Access

The project site is off of the Highway 502, which is paved. The road from 502, all driveways and parking lots will be asphalt with concrete curb.

Slope and Siting

There are slopes over 30% on the site due to a steep embankment from 502 and existing arroyos. For access we need to infill some of the embankment, but we have sited the facility to preserve arroyos and drainages.

Geo-Hydro

A soils test has been performed. Per the results, over excavation and recompaction are required. A conventional concrete slab-on-grade or a monolithic style slab with turned-down edges can be used.

NBC-13

Archaeological Report

Per the New Mexico State Historic Preservation Office, "There are no known archaeological sites located within the areas shown on the map; however, an archaeological survey has not been conducted in order to identify sites. There are archaeological sites nearby on the highway right-of-way and the high school so there may be unidentified sites in your project area. If ground disturbing activities reveal pottery sherds, flaked stone, bone, etc., then work should stop in the immediate vicinity and a professional archaeologist should evaluate the findings."

Traffic Study

A TIA was not required by the Department of Transportation, however an STA was performed. There is no significant impact on Highway 502. Most traffic is on the weekend and there is just one large trailer per day exiting and entering the facility.

Signage

The only sign on-site will be a 4x8 information sign. There will be signage for disabled-accessible parking as well as a "Jacona Collection Center" directional signs on each side of Highway 502.

Terrain Management

Culverts will be replaced and added. Surface water will be collected in existing arroyos. Roof water will be collected in a cistern.

Phasing

The project will not be phased.

Solid Waste

Since this is a solid waste collection center, no solid waste collection is needed.

Roadway/Offsite Improvements

Per the traffic analysis, a left turn deceleration lane is needed into the site from the center of Highway 502. This requires improvements on 502. No other traffic improvements are required.

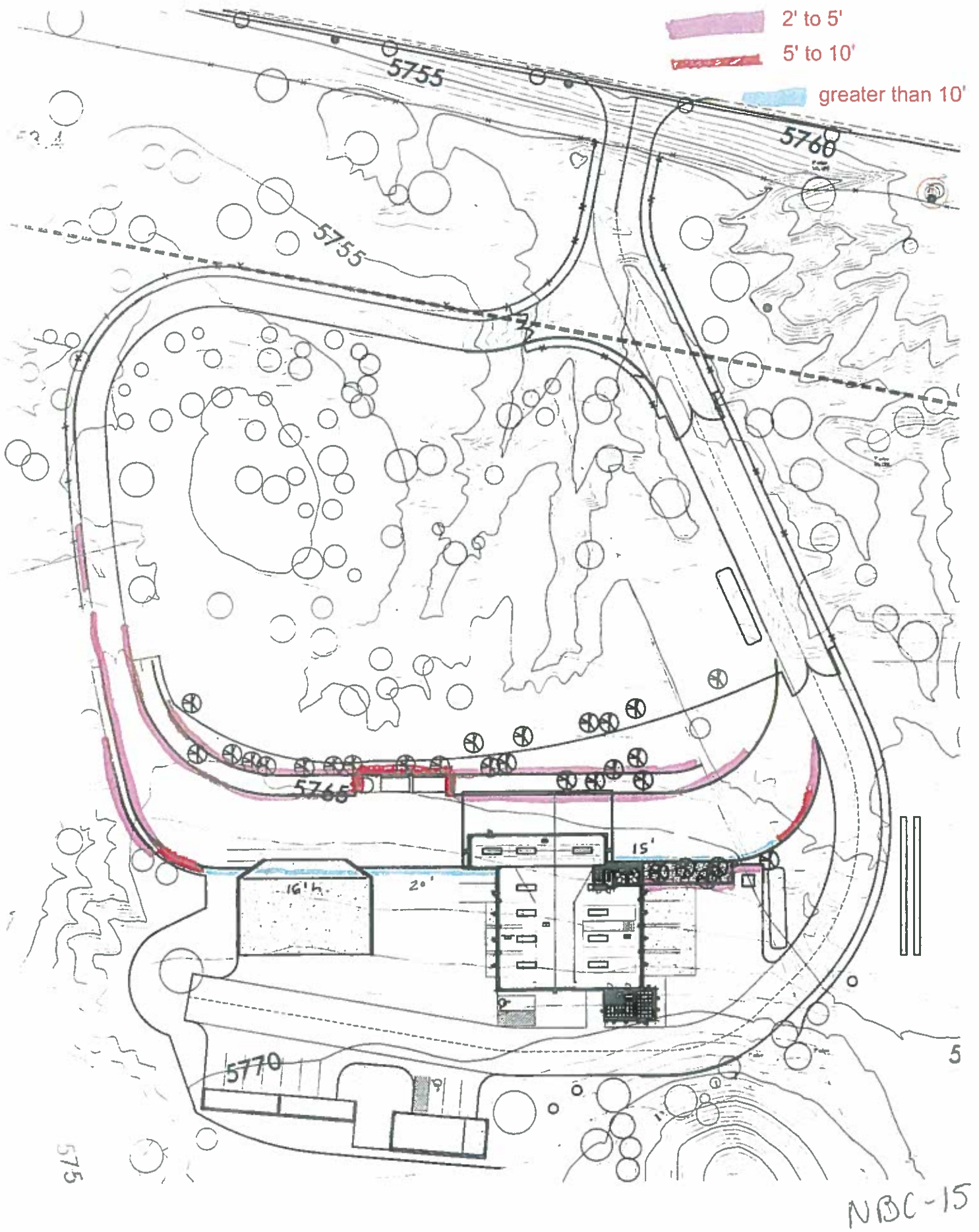
NBC-14

2' or less

2' to 5'

5' to 10'

greater than 10'



NBC-15



INFORMATIONAL SIGN

4'x8'
on unistrut

quantity: 1
see location on Site Plan

NBC-14

DESCRIPTION

The patent pending Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

SPECIFICATION FEATURES

Construction

Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and large design. The small housing is available in 10W and 20W. The large housing is available in the 30W model. Patent pending secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three (3) half-inch, NPT threaded conduit entry points. The universal back box supports both the small and large forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

Optical

Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Solid state LED Crosstour luminaires are thermally optimized with five (5) lumen packages in cool 5000K or neutral warm 3500K LED color temperature (CCT).

Electrical

LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 10W models operate in -40°C to 40°C [-40°F to 104°F]. 20W and 30W models operate in -30°C to 40°C [-22°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 70% of initial

light output after 72,000 hours of operation. Three (3) half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

Finish

Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

Warranty

Five-year warranty.

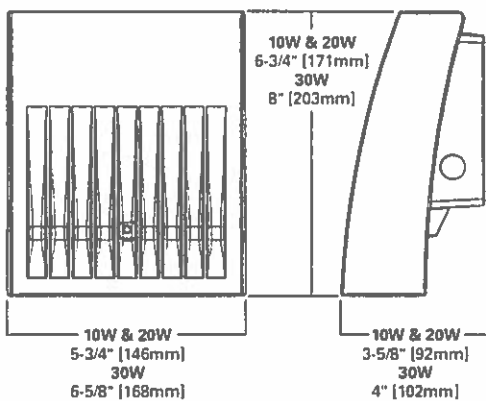
Catalog #		Type
Project	GLORETA FIRE STATION #2	TYPE W
Comments		Date
Prepared by		



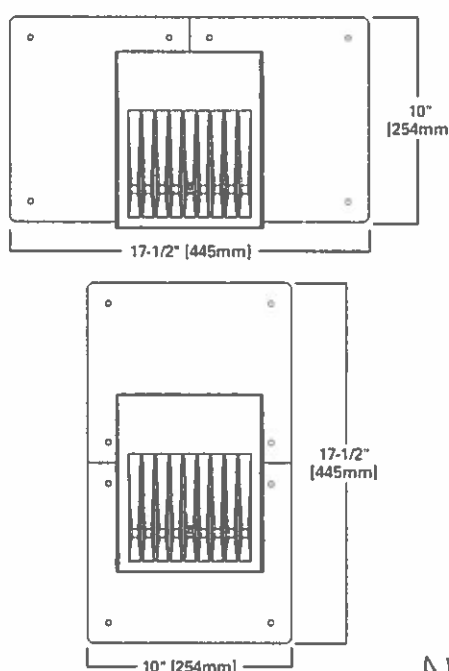
**XTOR
CROSSTOUR LED**

- APPLICATIONS:**
WALL / SURFACE
POST / BOLLARD
LOW LEVEL
FLOODLIGHT
INVERTED
SITE LIGHTING

DIMENSIONS



ESCUTCHEON PLATES



CERTIFICATION DATA
UL/cUL Wet Location Listed
LM79 / LM80 Compliant
ROHS Compliant
ADA Compliant
NOM Compliant Models
IP66 Ingressed Protection Rated
Lighting Facts® Registered
DesignLights Consortium® Qualified*
Title 24 Compliant

TECHNICAL DATA
40°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum

EPA
Effective Projected Area:
(Sq. Ft.)
XTOR1A/XTOR2A=0.34
XTOR3A = 0.45

SHIPPING DATA:
Approximate Net Weight:
3.7 - 5.25 lbs. [1.7 - 2.4 kgs.]

NBC-17

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
10W Model		
25°C	> 91%	> 350,000
40°C	> 91%	> 340,000
50°C	> 91%	> 330,000
20W Model		
25°C	> 91%	> 340,000
40°C	> 90%	> 320,000
50°C	> 90%	> 300,000
30W Model		
25°C	> 91%	> 340,000
40°C	> 91%	> 320,000
50°C	> 90%	> 300,000

LUMENS - CRI/CCT TABLE

LED Information	XTOR1A	XTOR2A	XTOR2A-N	XTOR3A	XTOR3A-N
Delivered Lumens (Wall Mount)	734	1432	1323	2649	2273
Delivered Lumens (With Flood Accessory Kit)	713	1424	1315	2614	2243
B.U.G. Rating*	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0
CCT (Kelvin)	5000	5000	3500	5000	3500
CRI (Color Rendering Index)	67	65	68	65	68
Power Consumption (Watts)	8W	21W	21W	30W	30W

* B.U.G. Rating does not apply to floodlighting.

CURRENT DRAW

Voltage	Model Series		
	10W	20W	30W
120V	0.06A	0.21A	0.29A
208V	0.04A	0.13A	0.18A
240V	0.04A	0.12A	0.16A
277V	0.03A	0.10A	0.14A
347V	0.03A	0.08A	0.11A

ORDERING INFORMATION

Sample Number: XTOR2A-N-WT-PC1

Series ¹	LED Kelvin Color ²	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
XTOR1A=Small Door, 10W XTOR2A=Small Door, 20W XTOR3A=Small Door, 30W	[Blank]=Bright White (Standard) 5000K N=Neutral Warm White, 3500K	[Blank]=Carbon Bronze (Standard) WT=Summit White	PC1=Photocontrol 120V ³ PC2=Photocontrol 208-277V ^{3,4} 347V=347V ⁵ HA=50°C High Ambient ⁶	WG/XTOR=Wire Guard ⁶ XTORFLD-KNC=Knuckle Floodlight Kit ⁷ XTORFLD-TRN=Trunnion Floodlight Kit ⁷ XTORFLD-KNC-WT=Knuckle Floodlight Kit, Summit White ⁷ XTORFLD-TRN-WT=Trunnion Floodlight Kit, Summit White ⁷ EWP/XTOR=Escutcheon Wall Plate, Carbon Bronze EWP/XTOR-WT=Escutcheon Wall Plate, Summit White

NOTES: 1 DesignLights Consortium* Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. 2 XTOR1A not available in 3500K. 3 Photocontrols are factory installed. 4 Order PC2 for 347V models. 5 Thru-branch wiring not available with HA option or with 347V. 6 Wire guard for wall/surface mount. Not for use with floodlight kit accessory. 7 Floodlight kit accessory supplied with knuckle (KNC) or trunnion (TRN) base, small and large top visors and small and large impact shields.

STOCK ORDERING INFORMATION

10W Series	20W Series	30W Series
XTOR1A=10W, 5000K, Carbon Bronze	XTOR2A=20W, 5000K, Carbon Bronze	XTOR3A=30W, 5000K, Carbon Bronze
XTOR1A-WT=10W, 5000K, Summit White	XTOR2A-N=20W, 3500K, Carbon Bronze	XTOR3A-N=30W, 3500K, Carbon Bronze
XTOR1A-PC1=10W, 5000K, 120V PC, Carbon Bronze	XTOR2A-WT=20W, Summit White	XTOR3A-WT=30W, Summit White
	XTOR2A-PC1=20W, 120V PC, Carbon Bronze	XTOR3A-PC1=30W, 120V PC, Carbon Bronze



5-DAY QUICK SHIP ORDERING INFORMATION

10W Series	20W Series	30W Series
XTOR1A-WT-PC1=10W, 5000K, Summit White, 120V PC	XTOR2A-PC2=20W, 5000K, 208-277V PC, Carbon Bronze	XTOR3A-PC2=30W, 5000K, 208-277V PC, Carbon Bronze
	XTOR2A-WT-PC1=20W, 5000K, Summit White, 120V PC	XTOR3A-WT-PC1=30W, 5000K, Summit White, 120V PC
	XTOR2A-WT-PC2=20W, 5000K, Summit White, 208-277V PC	XTOR3A-WT-PC2=30W, 5000K, Summit White, 208-277V PC
	XTOR2A-N-WT=20W, 3500K, Summit White	XTOR3A-N-WT=30W, 3500K, Summit White
	XTOR2A-N-PC1=20W, 3500K, 120V PC, Carbon Bronze	XTOR3A-N-PC1=30W, 3500K, 120V PC, Carbon Bronze
	XTOR2A-N-PC2=20W, 3500K, 208-277V PC, Carbon Bronze	XTOR3A-N-PC2=30W, 3500K, 208-277V PC, Carbon Bronze
	XTOR2A-N-WHT-PC1=20W, 3500K, Summit White, 120V PC	XTOR3A-N-WHT-PC1=30W, 3500K, Summit White, 120V PC
	XTOR2A-N-WT-PC2=20W, 3500K, Summit White, 208-277V PC	XTOR3A-N-WT-PC2=30W, 3500K, Summit White, 208-277V PC

NBC-18

COOPER LIGHTING - SURE-LITES®

DESCRIPTION

The Sure-Lites Architectural Emergency Light is designed to provide superior illumination while blending into the surrounding space. The housing is constructed of die-cast aluminum with an integral refractive polycarbonate lens and advanced optical design, which in conjunction with energy-efficient, long-lasting LEDs provides maximum path of egress lighting performance. The Sure-Lites Architectural Emergency Light is wet listed for temperatures between -30°C and 50°C (-22°F and 122°F). **AEL2 has an always on mode and is available with Eagle Eye self diagnostics.**

THIS CIRCUIT CAN BE CONTROLLED BY A SWITCH OR A PHOTO CELL.

Catalog #		Type
Project	GLORIETA FIRE	EMWP
Comments	STATION #2	Date
Prepared by		

SPECIFICATION FEATURES

Electrical

- Dual Voltage Input, 120/277 VAC, 60Hz
- Line-latching
- Solid-state Voltage Limited Charger
- Low-Voltage Disconnect
- Overload/Short Circuit Protection
- Test Switch/Power Indicator Light
- Fully Recharged in 24 hours
- Self diagnostics

Housing Construction

- Die-cast Aluminum Housing
- Universal Pattern Knockouts on rear of housing for direct mounting to junction box
- 1/2" Threaded Conduit Access on top surface
- Powder Coat Paint Finish
- UV Stable Polycarbonate Lens
- Silicone Gaskets

Code Compliance

- UL924 Listed
- UL Outdoor Wet Location Listed (suitable for wet and damp locations)
- Life Safety NFPA 101
- NEC/OSHA
- Most State and Local Codes
- City of Chicago Code
- New York City Code

Battery

- Sealed Nickel Cadmium
- Maintenance free, long life
- Full Recharge Time, 24 hrs

Warranty

- Unit: 5-Year
- Battery: 15-year pro-rata

Lamp Data

- 10 High Power LEDs
- Two color temperatures: 3000K and 5000K



AEL 2 ARCHITECTURAL EMERGENCY LIGHT SERIES 2

DIE-CAST ALUMINUM

SURFACE MOUNT

SEALED NICKEL
CADMIUM BATTERY

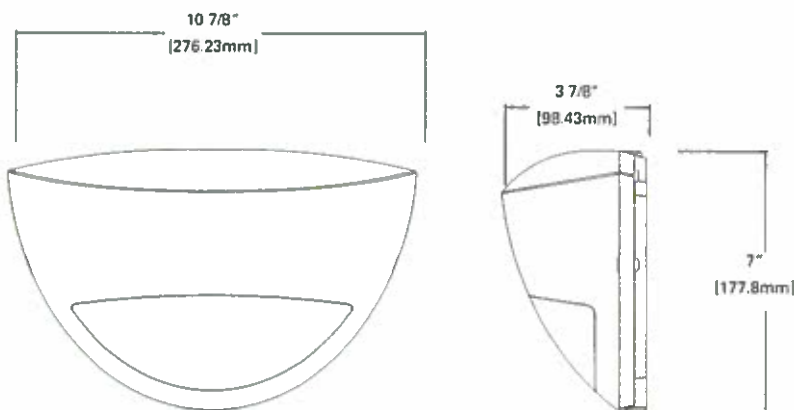
LED LAMPS

EAGLE EYE
SELF DIAGNOSTICS

ALWAYS ON FEATURE

EMERGENCY LIGHTING

TOTALLY PREDICTABLE
RELIABILITY



ORDERING INFORMATION

Family AEL2 = Architectural Emergency Light 2	Color Temperature 31 = 3000K Ave 46 = 5000K Ave	Housing Finish ___ = Silver WH = White BK = Black BZ = Bronze	Options ___ = No Self Diagnostics SD = Eagle Eye Self Diagnostics
---	---	---	---

ENERGY DATA

Sealed Nickel Cadmium Battery
Input Current:
(Used as emergency light only):
120V = 2.0 Watts
277V = 2.3 Watts

Input Current:
(Used as dual purpose
emergency light &
always-on light fixture):
120V=5.2 Watts
277V=5.0 Watts

NBC-19

Cooper Lighting
by **E.T.N.**

Specifications and dimensions subject to change without notice.
Consult your representative for additional options and finishes.

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TECHNICAL DATA**Lamps**

The AEL2 utilizes long-lasting LEDs (standard) which provide maximum illumination along the emergency path of egress.

Housing

Die-cast aluminum with a powder coat painted finish. Universal pattern knockouts are located on the back housing for direct mounting to the junction box. Threaded conduit entry provided on the top surface of the housing. UV stable, polycarbonate lens and vacuum-metallized reflector provide efficient optical control.

Electronics

Dual voltage input 120/277 VAC is standard. Nickel cadmium battery is standard. All battery and electrical components are enclosed within the housing.

Line-Latched

Sure-Lites line-latched electronic circuitry makes installation easy and economical. A labor efficient AC activated load switch prevents the lamps from turning on during installation to a non-energized AC circuit. Line-latching eliminates the need for a contractor's return to a job site to connect the batteries when the building's main power is turned on.

Eagle Eye Self Diagnostics

The Eagle Eye self-diagnostic software will automatically perform all tests required by UL924, and NFPA101. The system indicates the status of the emergency light at all times using the LED indicator. A 90 minute battery power (emergency mode) simulation test will occur once every 12 months. A 30 second battery power simulation test will occur every 30 days.

The Solid-State microprocessor based system has the ability to accurately detect and warn of system failures, plus it incorporates all of the standard electronic features that sets Sure-Lites apart from its competition. Eagle Eye self diagnostic software automatically performs all testing required by the NFPA 101 Life Safety Code and systematically calibrates itself in the field, reducing installation labor and eliminating manual calibration errors.

Solid-State Charger

Supplied with a 120/277 VAC, voltage regulated solid-state charger, the battery is recharged immediately upon restoration of AC current after a power failure. The charge circuit reacts to the condition of the battery in order to maintain peak battery capacity and maximize battery life. Solidstate construction recharges the battery in 24 hours following a power failure in accordance with UL 924.

Solid-State Transfer

The emergency light incorporates solid-state switching which eliminates corroded and pitted contacts or mechanical failures associated with relays. The switching circuit is designed to detect a loss of AC voltage and automatically energizes the lamps using DC power. Upon restoration of AC power, the DC power will be disconnected and the charger will automatically recharge the battery.

Low-Voltage Disconnect

When the battery's terminal voltage falls, the low-voltage circuitry disconnects the lighting load. The disconnect remains in effect until normal utility power is restored, preventing deep battery discharge.

Overload and Short Circuit Protection

The solid-state overload monitoring device in the DC circuit disconnects the lamp load from the battery should excessive wattage demands be made and automatically resets when the overload or short circuit is removed. This overload current protective feature eliminates the need for fuses or circuit breakers for the DC load.

Test Switch/Power Indicator Light

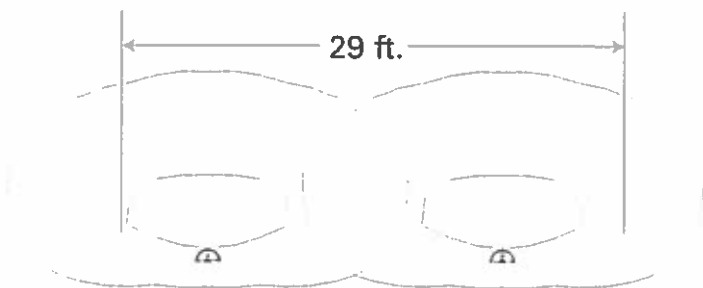
A test switch located on the inside cover of the unit permits the activation of the emergency circuit for a complete operational systems check. The Power Indicator Light provides visual assurance that the AC power is on.

Sealed Nickel Cadmium Battery

Sure-Lites sealed nickel cadmium batteries are maintenance-free with a life expectancy of 15 years. The sealed rechargeable nickel cadmium battery offers high discharge rates and stable performance over a wide range of temperatures. The specially designed resealable vent automatically controls cell pressure, assuring safety and reliability. This battery is best suited for harsh ambient temperatures because the electrolyte is not active in the electrochemical process.

Warranty

The Sure-Lites Architectural Emergency Light is backed by a firm five (5) year warranty against defects in material and workmanship. Maintenance-free, long-life, sealed nickel cadmium batteries carry a fifteen-year pro-rata warranty.

PHOTOMETRICS

Cooper Lighting

by **F.T.N**

Specifications and dimensions subject to change without notice.

Sure-Lites • Customer First Center • 1121 Highway 74 South • Peachtree City, GA 30269 • TEL 770.486.4800 • FAX 770.486.4801

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NBC-20

SELF DIAGNOSTIC TESTING OPERATIONS

The Sure-Lites Eagle Eye Self Diagnostics is continuously monitoring your emergency fixture and will signal any failure through the 3 color indicator LED.

Initial Operation

When the unit is first powered up, it will go into a 24 hour fast charge, indicated by the indicator LED pulsing green. Once the unit has fully charged, it will perform a self calibration, after which the LED will change to steady green, indicating the unit is fully charged and float charging the battery to maintain readiness.

Automatic Testing

The unit will perform a battery capacity, lamp/LED, and charge circuit test every 30 days for 30 seconds. During this time, the indicator LED will change to a steady yellow. It will perform a full battery capacity (90 minute) test once per year. During this time, the indicator LED will change to a blinking yellow.

Manual Testing

- 10 Second "Installation" test - Press and release the test button once during fast charge (blinking green) to initiate a 10 second quick test. The sign will switch to emergency mode for 10 seconds allowing the installer to verify proper installation of the unit, and the LED indicator will turn solid yellow.
- 30 Second Test - Press and release the test button once during float charge (steady green). The indicator LED will turn steady yellow to indicate the unit is performing a 30 second test of the batteries and lamps/LEDs.
- 90 Minute Test - Press and release the test button a second time during a 30 second test (steady yellow) to change to a 90 minute test. During this test, the LED indicator will change to blinking yellow, and the circuit will perform a full battery capacity, charge circuit, and LED test.
- Canceling Test - Press and release the test button during the 90 minute test (flashing yellow) to return the fixture to its original state (fast charge or float charge)

Laser Test

The LEMSD is equipped with a Laser Test function, that allows the unit to be manually tested without the need to physically press the test button. Shining a laser pointer in the hole marked "LASER TEST" on the bottom of the unit has the same effect as a press and release of the test button.

Clearing Failure Codes









- A battery failure (LED two blink red) can be cleared by replacing the battery. Disconnecting the battery and AC power, or performing a full 90 minute discharge, will reset the error code, however, it will return if the battery is faulty
- Charge Circuit (LED three blink red) and lamp/LED failure (LED four blink red) will clear when the unit successfully passes a manual or automatic 30 second test.

Indicators

- LED Off - No power to unit, emergency mode.
- LED Steady Green - Unit is fully charged and is float charging the battery to maintain readiness.
- LED Green Pulse - Unit is in a 24 hour fast charge of the battery.
- LED Two Blink Red - Battery has failed a capacity test, or the battery is disconnected. See "Clearing Failure Codes" above.
- LED Three Blink Red - Battery charge circuit has failed. See "Clearing Failure Codes" above.
- LED Four Blink Red - Lamps have burned out, or on an EXIT/Combo, 50% or more of the LEDs have failed. See "Clearing Failure Codes" above.
- LED Steady Yellow - 30 second test or 10 second quick test (Fast Charge only).
- LED Blinking Yellow - 90 minute test.

Maintenance

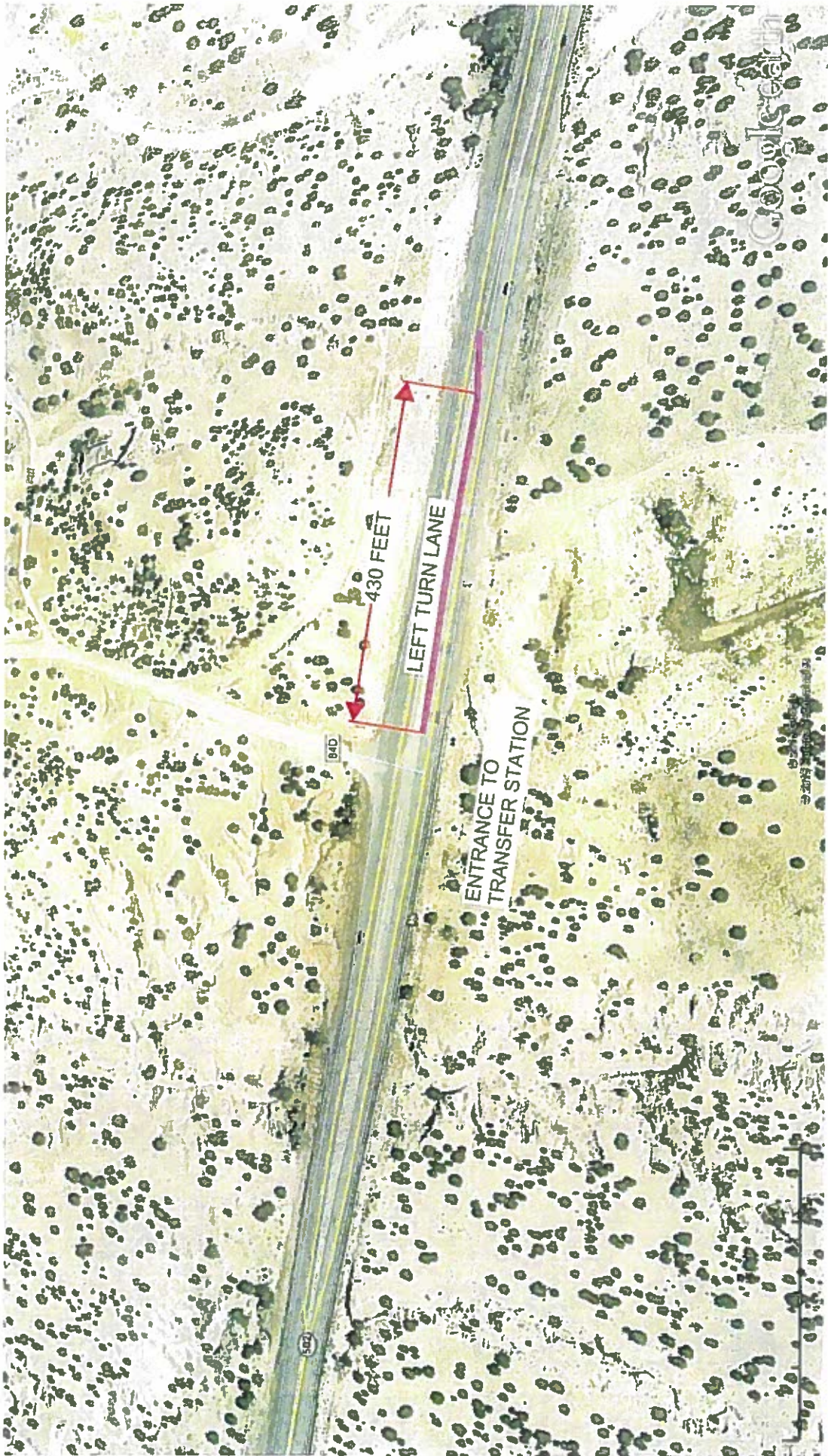
None required. Replace the batteries as needed according to ambient conditions. However, we recommend that the equipment be tested regularly in accordance with local codes.

SURE-LITES			
	OFF - EMERGENCY MODE / POWER OFF		STEADY BLINK YELLOW - 90 MINUTE TEST
	STEADY BLINK GREEN - FAST CHARGE		2 BLINK RED - BATTERY FAILURE
	STEADY GREEN - FULL / FLOAT CHARGE		3 BLINK RED - CHARGE CIRCUIT FAILURE
	STEADY YELLOW - QUICK TEST		4 BLINK RED - LAMP/ LED FAILURE

NBC-21

Specifications and dimensions subject to change without notice.

Sure-Lites • Customer First Center • 1121 Highway 74 South • Peachtree City, GA 30269 • TEL 770.486.4800 • FAX 770.486.4801



Google earth

NBC-22

OCCUPANCY GROUP
B-3 (Retail) - Code undefined/see floor/see building - F-2 (IBC 306.3)
Office spaces (IBC 304)

Wall/ceiling of all spaces (interior/exterior) - Class C (IBC 803.5)
Maximum area of exterior wall opening (IBC Table 704.6, IBC 704.8.1)
all adjacent buildings > 30' - max limit

FIRE PROTECTION
Building is not permitted: a 10,000 gallon water tank with a fire dept connection is provided
Standpipe not req'd per sec 905
Fire alarm not req'd per 907.2.2 and 907.2.4 (occupancy load not great enough)

OCCUPANT LOAD
based on occupancies Table 1004.1.1.1 - within building 42
TOTAL 42

CONSTRUCTION CLASSIFICATION
V-3

EXITING
Width of egress required - 2' (occupant = 42 occupants = 8.4' (IBC 1005.1)
Provided 10'8"

AREA/HEIGHT OF BUILDING
Allowable height = 40' (IBC Table 503), actual 38' at top of pitch at highest point (turret)
Number of stories - 2 allowed, actual 1 (split level)
Allowable area - 9,000 sf for B and F-2
Total area actual - 6713 sf
Area modification not required

DOORS
Doors cannot reduce required width to less than 1/2 (IBC 1005.2)
Doors cannot project > 7" into required width (IBC 1005.2)

OCCUPANCY SEPARATION (FIRE BARRIERS)

**Corridor fire resistance rating - 1 hour (IBC Table 1018.1)
Required corridor width - 44" (IBC 1018.2), provided - 70"
Door and corridor length - 20' (IBC 1018.4), Max. provided - 0'
Max. length egress travel 100' (IBC 1014.3 exception 1 for B and F1, max provided 28'-0"
Max. length exit access travel 200' for B, 300' for F-2 (IBC 1016.1), max. provided 78'-0"**

**B separated from F-2 - 1 hour (IBC Table 508.4)
Max. use of a single opening - 120 sf (IBC 706.7), 90 min. label (715.2)
Openings in the barrier - max. aggregate width of 25% of wall (IBC 706.7) = 25% of 201' sf
Allowed - 50 sf. Actual - 42 sf
All openings area < 1,000 sf - no separation required
(IBC Table 508.2.3)**

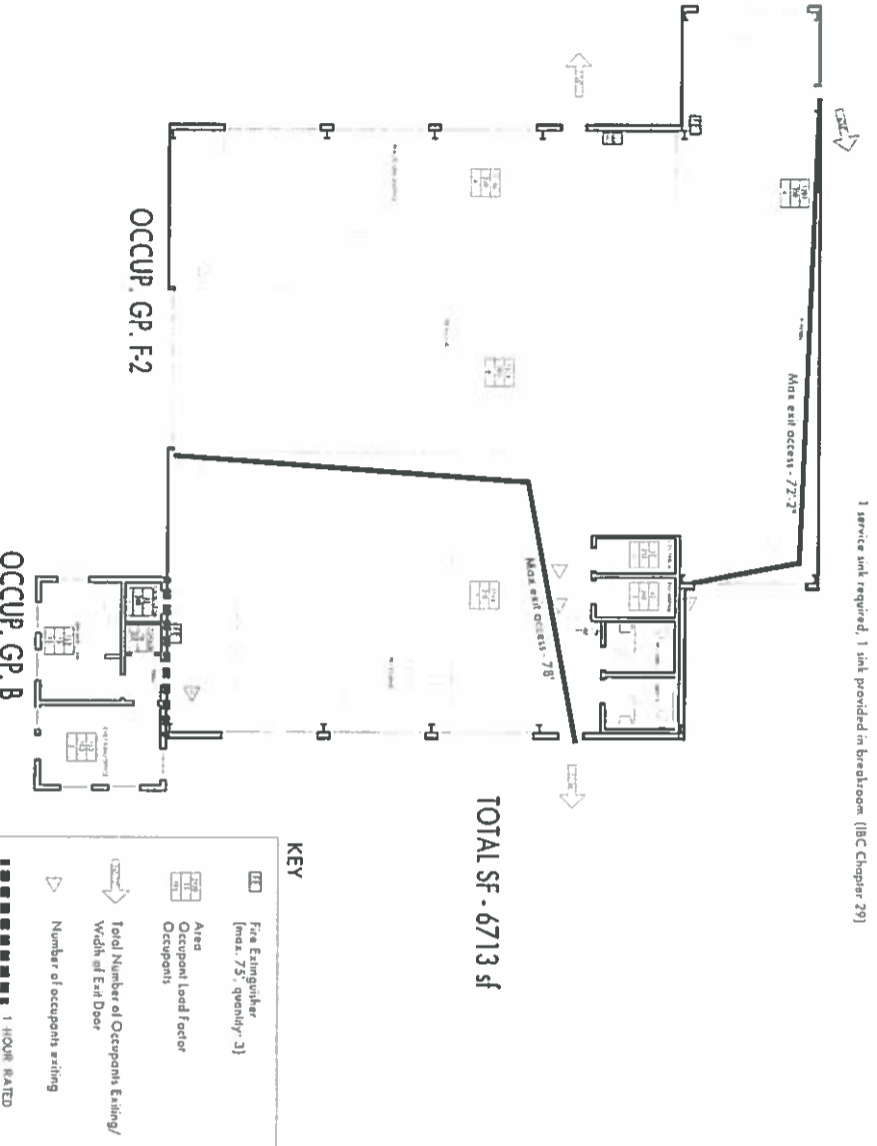
PLUMBING COUNTS
Occupant load = 42 (21 male, 21 female)

FIRE RESISTANCE RATINGS/SEPARATIONS
For VA (IBC Table 602)
Structural frame, exterior bearing walls, interior non-bearing walls and partitions, floor construction, roof construction - 0 rating
Exterior bearing walls - 0 hour
Exterior non-bearing walls - Group B and S-1 (IBC Table 602)
Fire separation distance < 10' = 1 hour
Fire separation distance >= 10' = 0 hour

Public Restrooms:
Men: 19
Women: 19
Total: 38

Water Collection (F-2)
19 occupant, 10 men/10 women
21 occupant, 12 men/12 women
Total required: 40
Total provided: 40

**DR-1 - 1,100 = 1 required, bottled water provided
1 service sink required, 1 sink provided in bathroom (IBC Chapter 29)**



TOTAL SF - 6713 sf

KEY
Fire Extinguisher (max. 75' quantity - 3)
Area Occupant Load Factor
Total Number of Occupants Egressing/Width of Exit Door
Number of occupants walking
1 HOUR RATED WALLS



JACONA COLLECTION CENTER

SANTA FE COUNTY

GENERAL NOTES

- 1. All references to the building Code or building requirements shall be construed to mean the rules and regulations adopted by the State of New Mexico.
- 2. The Contractor shall be responsible for obtaining all necessary permits, licenses, and approvals from the appropriate authorities.
- 3. The Contractor shall be responsible for providing all necessary safety equipment and personnel during construction.
- 4. The Contractor shall be responsible for maintaining accurate records of all construction activities.
- 5. The Contractor shall be responsible for providing all necessary materials and labor.
- 6. The Contractor shall be responsible for providing all necessary equipment and machinery.
- 7. The Contractor shall be responsible for providing all necessary safety equipment and personnel.
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- 34. The Contractor shall be responsible for providing all necessary safety equipment and personnel.
- 35. The Contractor shall be responsible for providing all necessary materials and labor.
- 36. The Contractor shall be responsible for providing all necessary equipment and machinery.
- 37. The Contractor shall be responsible for providing all necessary safety equipment and personnel.

INDEX TO DRAWINGS

Sheet No.	Description	Scale
A10	Cover Sheet/Code Analysis	1 of 11
C1	Survey	2 of 11
C2	Site Plan	3 of 11
C3	Site Plan	4 of 11
C4	Site Plan	5 of 11
A11	Site Plan	6 of 11
A12	Site Plan	7 of 11
A13	Site Plan	8 of 11
A14	Site Plan	9 of 11
A15	Site Plan	10 of 11
A16	Site Plan	11 of 11

PROJECT TEAM

Owner:
SANTA FE COUNTY
Contact: Joe Adams
1027 Grand Ave., Santa Fe, NM 87504
Phone: 505 993 3014

Architect of Record:
RISHIR ASSOCIATES ARCHITECTURE, INC.
Contact: Marc Babin
227 E. Palace Avenue, Suite C
Santa Fe, NM 87501
Phone: 505 983 0722

Structural Engineer:
LUCHINI TRUJILLO STRUCTURAL ENGINEERS
Contact: Eric Trujillo
1919 5th St. Santa Fe, NM 87505
Phone: 505 424 3722

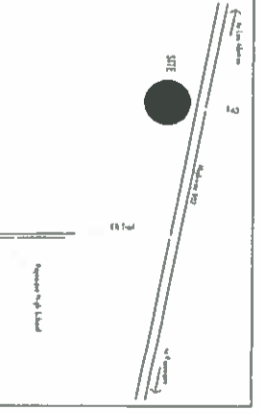
Mechanical/Plumbing/Electrical Engineering:
TANIGUCHI ENGINEERING
Contact: Marking Larry Fisher (505 743 2348)
Contact: Remy Scott King (505 244 2031)
Contact: Elizabeth Chit Hinling (505 743 6704)
PO Box 7234
Taos, NM 87571
phone: see above

Civil Engineering:
WALKER ENGINEERING (Contact: Mervyn Walker)
Contact: Mervyn Walker
905 Central Avenue, Santa Fe, NM 87501
Phone: 505 983 7990 fax: 505 820 3339

ALTERNATES

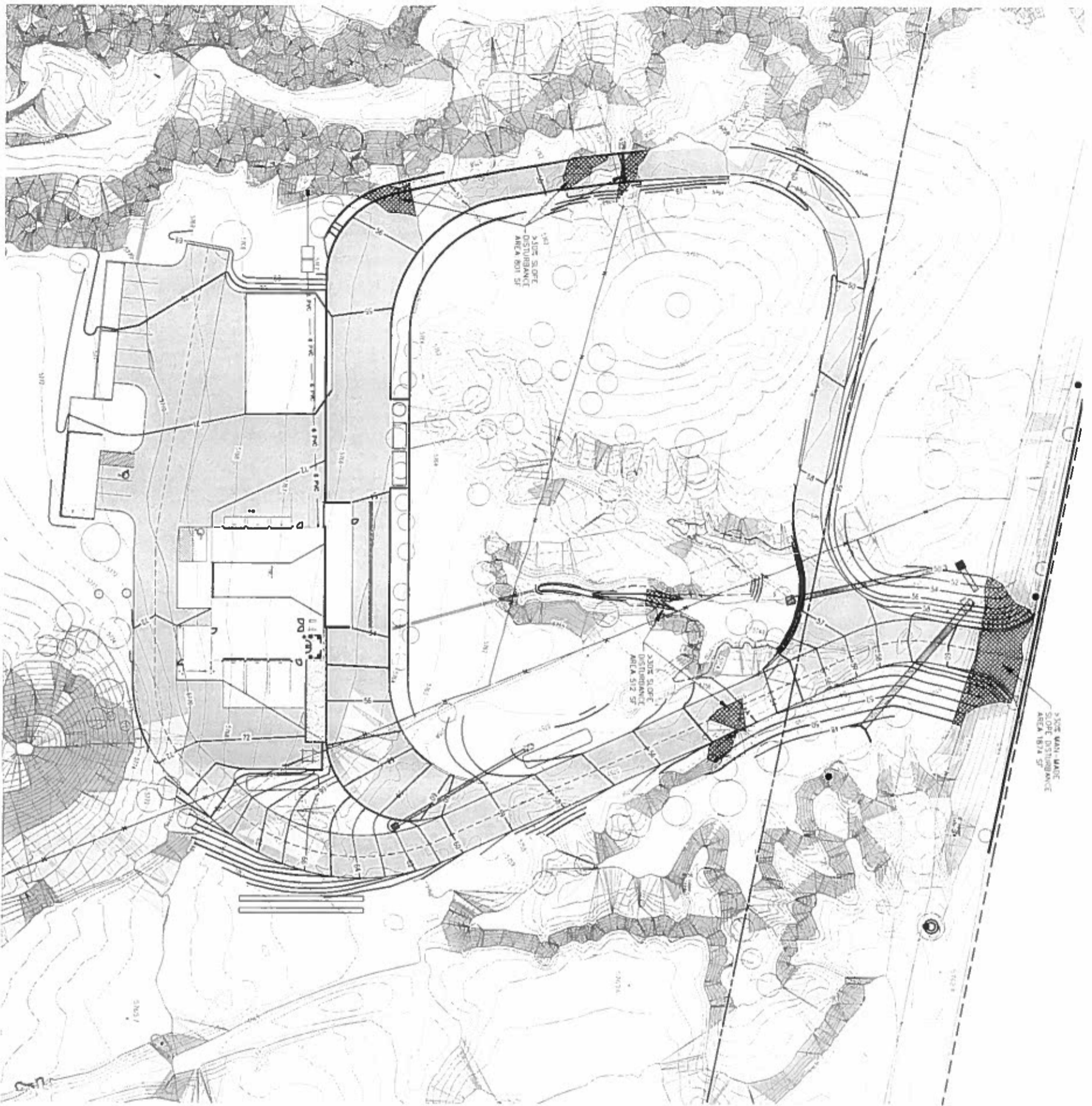
None listed.

VICINITY MAP



SET NUMBER

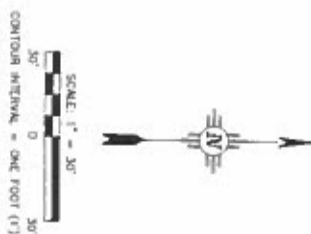
NBC-23
EXHIBIT
2



RECORD DRAWINGS

THIS RECORD DOCUMENT HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION AS PROVIDED BY OTHER ENGINEERS. ENGINEERING SERVICES SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN IN THIS RECORD DOCUMENTATION OF THE FINAL CONSTRUCTION.

DATE: P.L. 12/15/15



SLOPE DISTURBANCE

3:10% MAX. WASTE SLOPE DISTURBANCE AREA 801 SF
 1:1 DISTURBANCE: 1074 SF
 DISTURBANCE ON NATURAL 3:10% SLOPES: 151 DISTURBANCE: 512 SF
 2:1 DISTURBANCE: 801 SF
 TOTAL DISTURBANCE: 1,313 SF

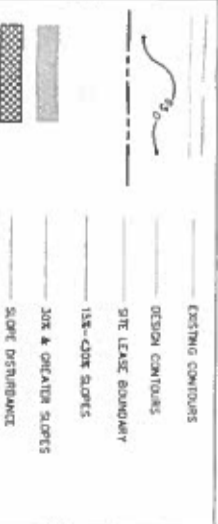
UTILITY NOTE

ALL EXISTING UTILITY LINES, INCLUDING BUT NOT LIMITED TO UNDERGROUND UTILITY LINES, ARE SHOWN ON THE DRAWING. THE LOCATION OF ANY UTILITY LINES HAS BEEN DETERMINED BY FIELD SURVEY. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE CLIENT OR BY OTHERS. THE LOCATION OF UTILITY LINES SHALL BE CONFIRMED BY THE CONTRACTOR OR BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ANY EXISTING UTILITY LINES AND FOR THE PROTECTION OF SUCH UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ANY EXISTING UTILITY LINES AND FOR THE PROTECTION OF SUCH UTILITY LINES.

TOPOGRAPHY NOTE

ALL EXISTING TOPOGRAPHIC SURVEY DATA SHOWN ON THIS PLAN HAS BEEN OBTAINED AND CHECKED BY OTHERS. WALKER ENGINEERING HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS TOPOGRAPHY INFORMATION, AND MAKES NO REPRESENTATION REGARDING THE ACCURACY OF THIS INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ANY EXISTING TOPOGRAPHY LINES AND FOR THE PROTECTION OF SUCH TOPOGRAPHY LINES.

LEGEND



NBC-25

COUNTY REVIEW		
DEPARTMENT	SIGN-OFF	DATE
LAND USE PLANNER		
PUBLIC WORKS DIRECTOR		
S.F. WATER COMPANY		

COUNTY USE ONLY

PROJECT: **JACONA TRANSFER STATION**
 SHEET TITLE: **SLOPE ANALYSIS**



No.	REVISION	BY	APP	DATE

PROJECT: 15-121 DESIGNED BY: P.L.B.
 FILE: 121 GRADE DRAWN BY: P.L.B.
 DATE: 5/13/15 CHECKED BY: M.E.W.
 SCALE: AS NOTED

Civil Engineering • Water Resources • Traffic Engineering
W•E Walker Engineering
 905 Camino Sierra Vista, Santa Fe, NM 87505
 505-820-7890
 FAX 505-820-3538
 E-MAIL: civil@walkerengineering.us

C-1

RECORD DRAWINGS

THIS RECORD DOCUMENT HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION AS PROVIDED BY OTHERS. WALKER ENGINEERING CERTIFIES THAT THE INFORMATION SHOWN IS A REASONABLE DOCUMENTATION OF THE FINAL CONSTRUCTION.

MOREY E. WALKER P.E. 13105 DATE

STAKING NOTE

INFORMATION SHOWN IS FOR GRADING AND DRAINAGE ONLY AND IS NOT TO BE USED FOR STAKING PURPOSES. SEE SITE PLAN FOR ACTUAL LOCATION OF IMPROVEMENTS.

UTILITY NOTE

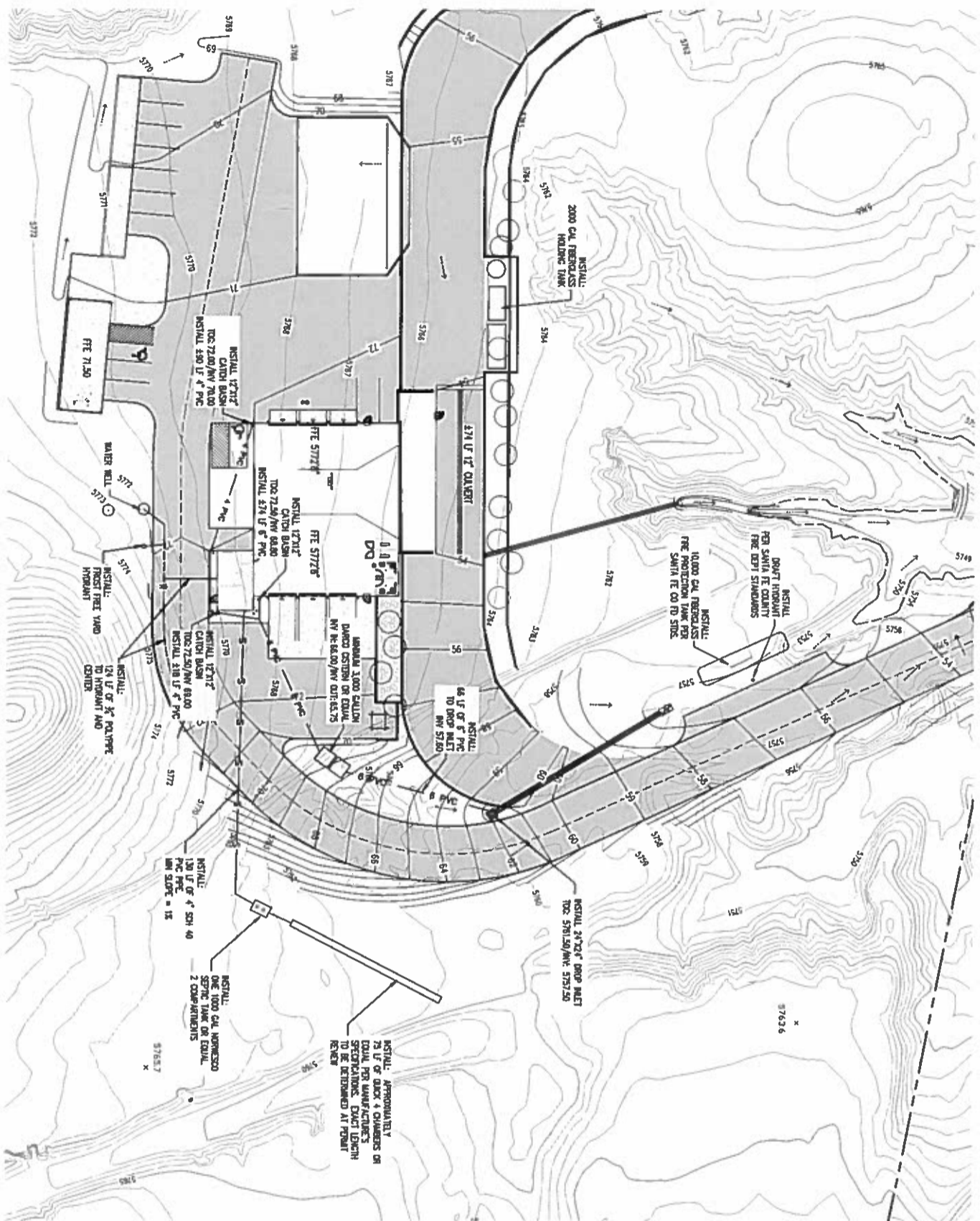
IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THE DRAWING, THEY ARE SHOWN IN APPROXIMATE MANNER ONLY. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITY LINES AND UNDERGROUND UTILITIES AND EXISTING PIPELINES, IN AND NEAR THE AREA OF THE WORK, IN ADVANCE OF ANY EXCAVATION WORK. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY EXCAVATION WORK TO EXISTING UTILITIES AND UNDERGROUND UTILITIES. CONTRACTOR SHALL VERIFY THE LOCATION OF THESE LINES IN PLANNING AND CONDUCTING EXCAVATION WORK.

TOPOGRAPHY NOTE

ALL EXISTING TOPOGRAPHIC SURVEY DATA SHOWN ON THESE PLANS HAS BEEN OBTAINED AND CERTIFIED BY OTHERS. WALKER ENGINEERING HAS CONDUCTED A VISUAL CHECK OF THE TOPOGRAPHY INFORMATION, AND MAKES NO REPRESENTATION PERTAINING THEREOF. CONTRACTOR SHALL VERIFY THE LOCATION OF THESE LINES IN PLANNING AND CONDUCTING EXCAVATION WORK.



SCALE: 1" = 30'
 30' 0 30'
 CONTOUR INTERVAL = ONE FOOT (1')

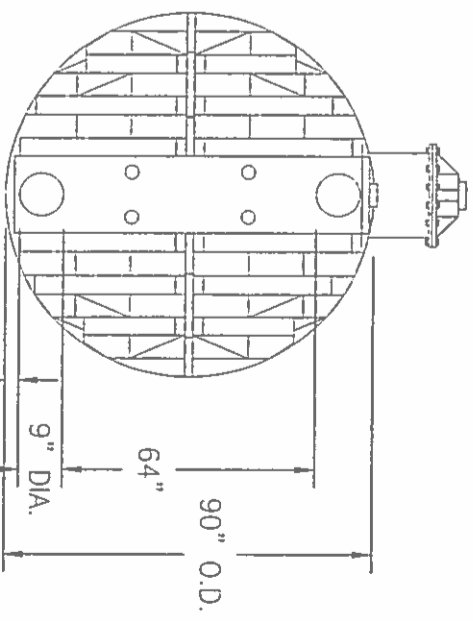
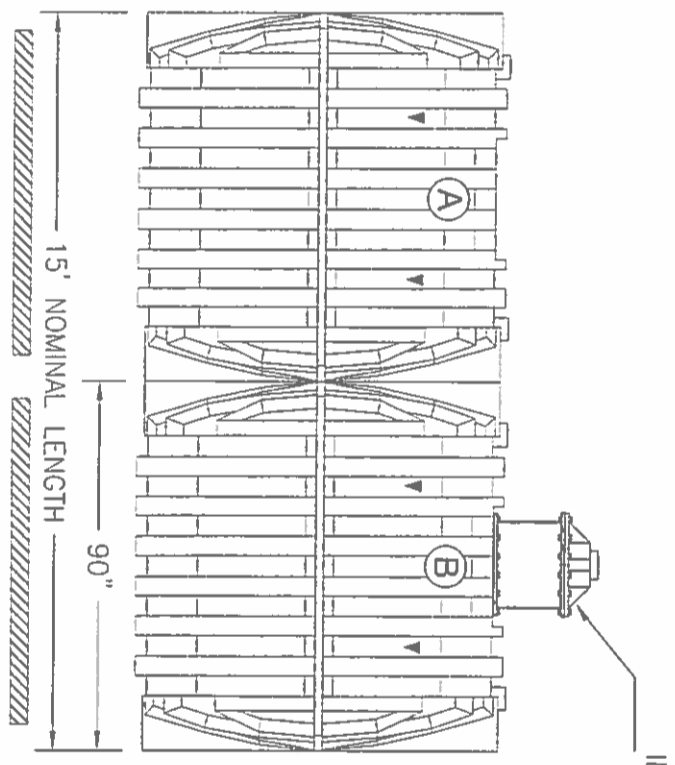
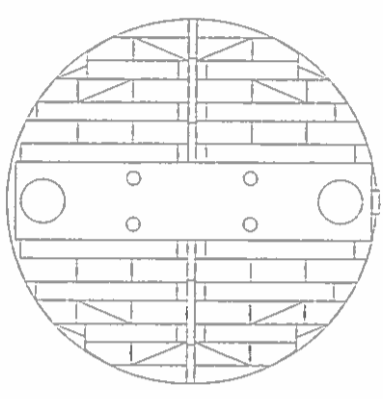
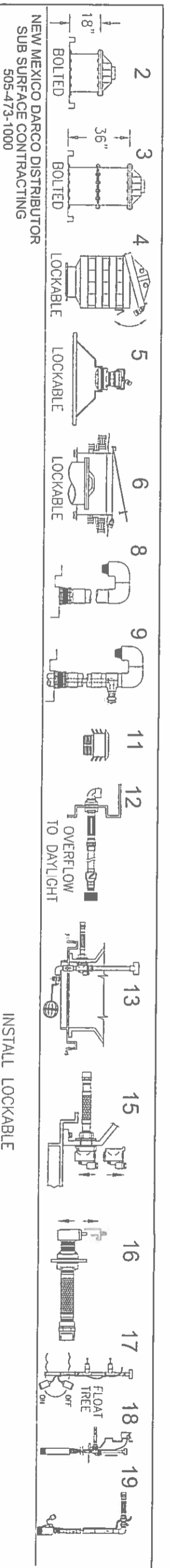


LEGEND

	EXISTING CONTOURS
	DESIGN CONTOURS
	SITE BOUNDARY
	WATER LINE
	SANITARY SEWER
	6" PVC SCH 40
	RETAINING WALL
	CONCRETE
	PROPOSED ASPHALT

NBC-27

<p>COUNTY REVIEW</p> <table border="1"> <tr> <th>DEPARTMENT</th> <th>SIGN-OFF</th> <th>DATE</th> </tr> <tr> <td>LAND USE PLANNER</td> <td></td> <td></td> </tr> <tr> <td>PUBLIC WORKS DIRECTOR</td> <td></td> <td></td> </tr> <tr> <td>S.F. WATER COMPANY</td> <td></td> <td></td> </tr> </table>			DEPARTMENT	SIGN-OFF	DATE	LAND USE PLANNER			PUBLIC WORKS DIRECTOR			S.F. WATER COMPANY			<p>PROJECT: JACONA TRANSFER STATION</p> <p>SHEET TITLE: ONSITE UTILITY PLAN</p>	<table border="1"> <thead> <tr> <th>No.</th> <th>REVISION</th> <th>BY</th> <th>APP.</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	REVISION	BY	APP.	DATE						<p>Civil Engineering • Water Resources • Traffic Engineering</p> <p>W. E. Walker Engineering</p> <p>905 Camino Sierra Vista, • Santa Fe, NM 87505</p> <p>806-820-7990</p>
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IMPORTANT

THE TANK AND ACCESSORIES DEPICTED HERE MAY NOT MEET THE REQUIREMENTS OF THE JURISDICTION HAVING AUTHORITY OR THE ENGINEERED JOB SPECIFICATIONS. PLEASE CONFIRM COMPLIANCE BEFORE ORDERING

- 20 ALARM PANEL
- 21 PUMP
- 22
- 23
- 24 STAINLESS STEEL FLEX
- 25
- 26
- 27 NFPA
- 28
- 29 HARDWARE & TOOL (6 EACH)
- 30
- 31 BASKET & FILTER
- 50 NSF RESIN 61

NOTES:

ANCHOR CABLES (IF USED) ▼

DEADMAN ANCHORS

7'

DARCO POLYETHYLENE OCTANK - 4K (4000 Gal.)

Rev Date	02/22/08	Rev. No.	J
DARCO INC UNDERGROUND TANKAGE			
980 Darco Drive, Bennett, Colorado 80102			
800-232-8660 (phone) 303-644-5001 (fax)			
www.darcoinc.com			



Vegetation Key

existing Juniperus Monosperma	on-site screening tree - Juniper
existing Juniperus Monosperma	Juniper off-site or not in vicinity or too low in arroyo to provide screening
existing Juniperus Monosperma	tree to be removed - Juniper
new planting Juniperus Monosperma	new tree - 6' Juniper - transplant
	on-site tree to be removed

Total on-site screening trees: 64

Of these, a screen from Highway 502 - 45
Of these, a screen from neighboring properties to the east - 18
Additional trees are too low in arroyo or are not dense enough in vicinity to provide screening

Shrubs on-site - none of significance

CALCULATION:

building 1,6713 sq ft
Trees required = $\frac{16713}{1000} = 17$
Shrubs required = $\frac{16713}{420} = 40$ (per exception 4 & 41.8 - Additional trees meeting minimum planting standards may be substituted for shrubs in rural locations or where water restrictions are severe, provided that the buffering or screening function is maintained; each additional tree may substitute for 15 shrubs) = 28 additional trees
Trees provided on-site: 64 (exceeds 42 tree requirement)

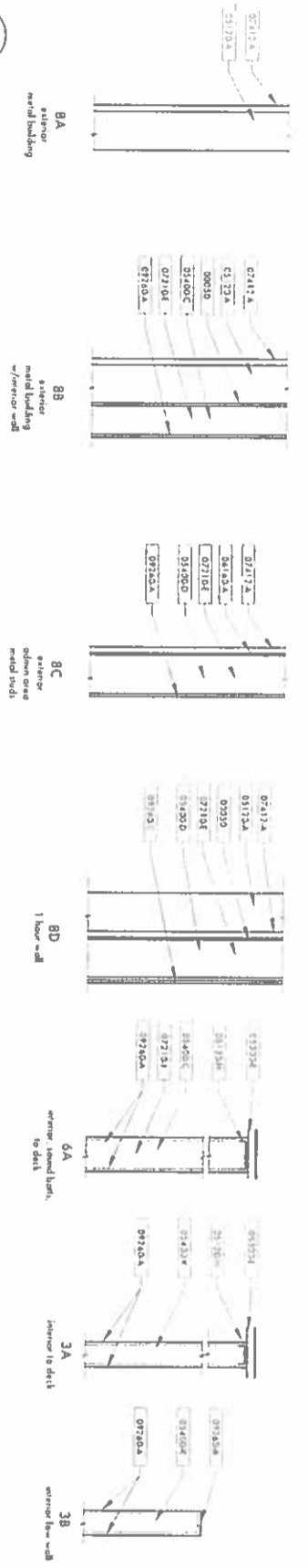
New trees planted (20) 6' h x 6' spread Junipers

Water budget for new trees:

20 gal. 4x/month in summer/fall (6 months) per tree = 480 gallons per tree per year
20 gal. 1x/month in spring/winter (6 months) = 180 gallons per tree per year
Of the 20 new trees, 4 are drip-irrigated

Trees watered from cistern = 16

16 trees x 660 gal per tree = 10560 gallons per year
16 trees x 10560 gal per tree = 168960 gallons required for cistern
(exception to requirement of 100% of roof water due to low water budget requirements)

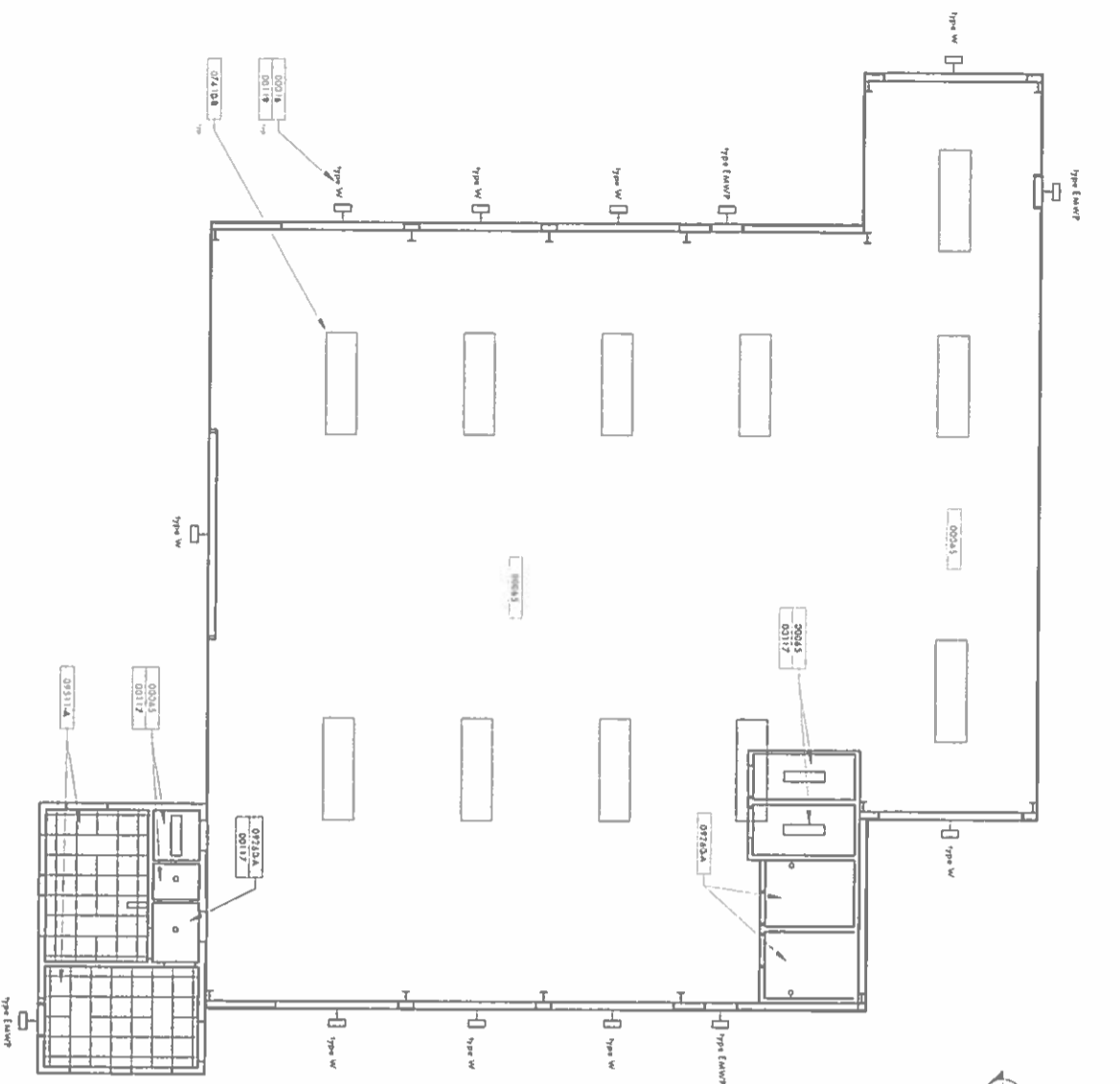


3 WALL TYPES
3/4" = 1'-0"

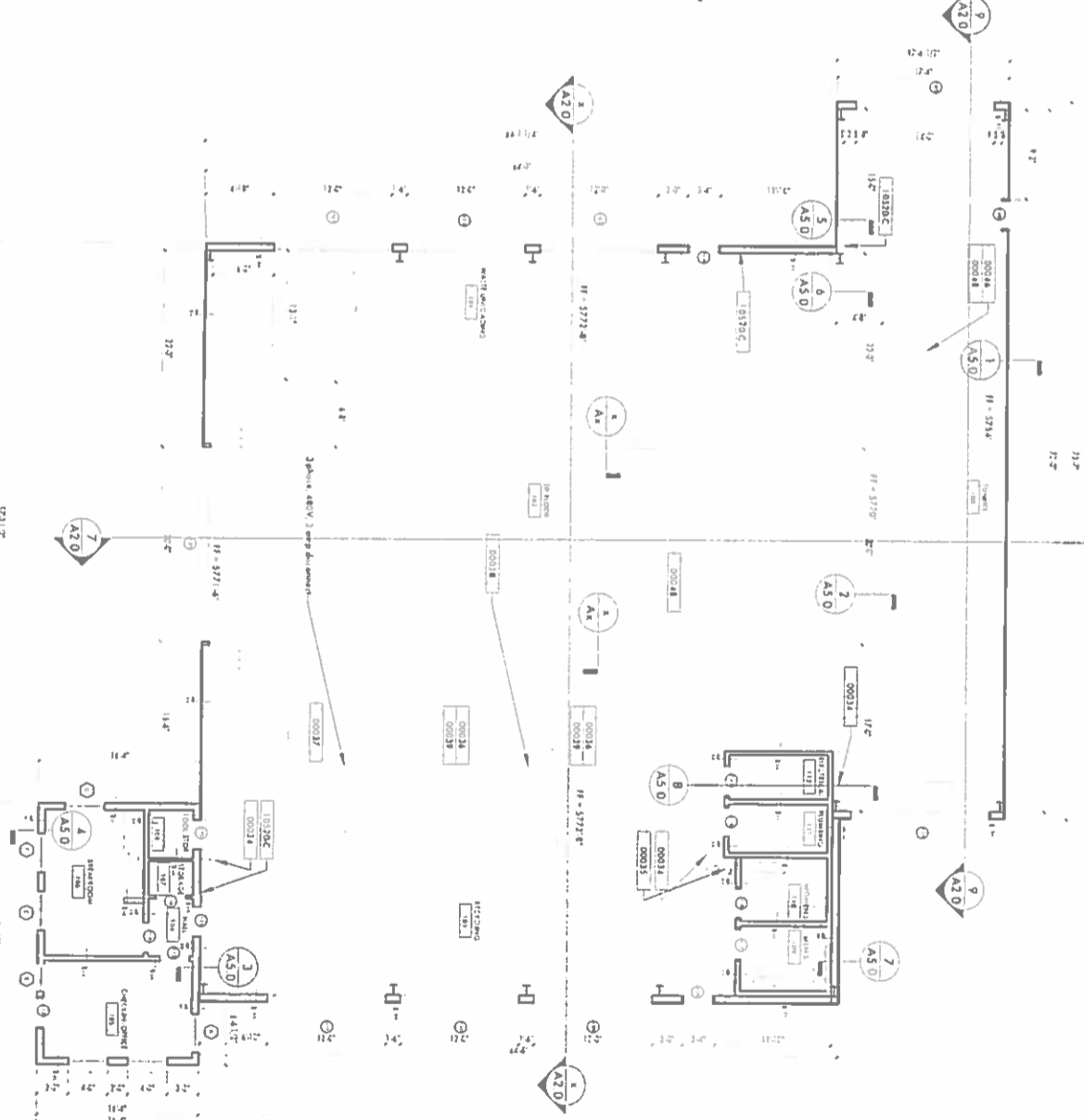
SEE SECTION ON A1.01.02 FOR ADDITIONAL INFORMATION

KEYED NOTES, WALL TYPES

00010	1/2" x 1/2" x 1/2" Gypsum Board
00173A	1/2" x 1/2" x 1/2" Gypsum Board
00173B	1/2" x 1/2" x 1/2" Gypsum Board
00173C	1/2" x 1/2" x 1/2" Gypsum Board
00173D	1/2" x 1/2" x 1/2" Gypsum Board
00173E	1/2" x 1/2" x 1/2" Gypsum Board
00173F	1/2" x 1/2" x 1/2" Gypsum Board
00173G	1/2" x 1/2" x 1/2" Gypsum Board
00173H	1/2" x 1/2" x 1/2" Gypsum Board
00173I	1/2" x 1/2" x 1/2" Gypsum Board
00173J	1/2" x 1/2" x 1/2" Gypsum Board
00173K	1/2" x 1/2" x 1/2" Gypsum Board
00173L	1/2" x 1/2" x 1/2" Gypsum Board
00173M	1/2" x 1/2" x 1/2" Gypsum Board
00173N	1/2" x 1/2" x 1/2" Gypsum Board
00173O	1/2" x 1/2" x 1/2" Gypsum Board
00173P	1/2" x 1/2" x 1/2" Gypsum Board
00173Q	1/2" x 1/2" x 1/2" Gypsum Board
00173R	1/2" x 1/2" x 1/2" Gypsum Board
00173S	1/2" x 1/2" x 1/2" Gypsum Board
00173T	1/2" x 1/2" x 1/2" Gypsum Board
00173U	1/2" x 1/2" x 1/2" Gypsum Board
00173V	1/2" x 1/2" x 1/2" Gypsum Board
00173W	1/2" x 1/2" x 1/2" Gypsum Board
00173X	1/2" x 1/2" x 1/2" Gypsum Board
00173Y	1/2" x 1/2" x 1/2" Gypsum Board
00173Z	1/2" x 1/2" x 1/2" Gypsum Board



2 REFLECTED CEILING PLAN
A1.1 1/8" = 1'-0"



SPACE	NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
100	Tunnel	SCI	none	M1	C3	fire rating
101	Waste Unloading	SCI	none	M1	C3	
102	Tip Floor	SCI	none	M1	C3	
103	Receiving	SCI	none	M1	C3	
104	Hall	SCI	B1	P1	C1	
105	Check-in/Office	SCI	B1	P1	C1	
106	Breadroom	SCI	B1	P1	C1	
107	Storage	SCI	B1	P1	C4	
108	Tool Storage	SCI	B1	P1	C4	
109	Men's Restroom	SCI	T1	P2/T3	C2	Owner provided tile, installation by Contractor
110	Women's Restroom	SCI	T1	P2/T3	C2	Owner provided tile, installation by Contractor
111	Plumbing/Fire Protection	SCI	B1	P1	C4	
112	Electrical	SCI	B1	P1	C4	

FLOOR:

SCI Solid grey conc w/water Concrete-Spec Section 03300 and 03311
 Groun for concrete floor: DAYCO COLOR match concrete

BASE:

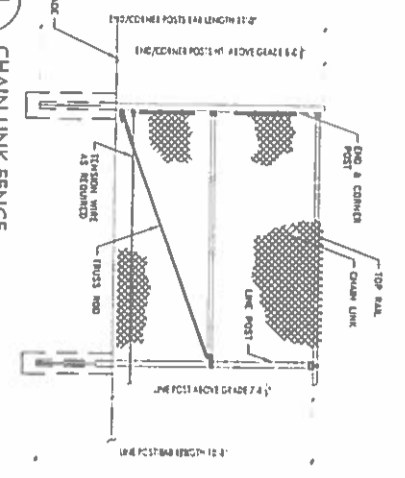
B1 Rubber base, spec section 07653 Johnsonite rubber 4" covered base, color from full manufacturer's range
 T1 Ceramic Tile base - continue Owner provided tile to floor

WALLS:

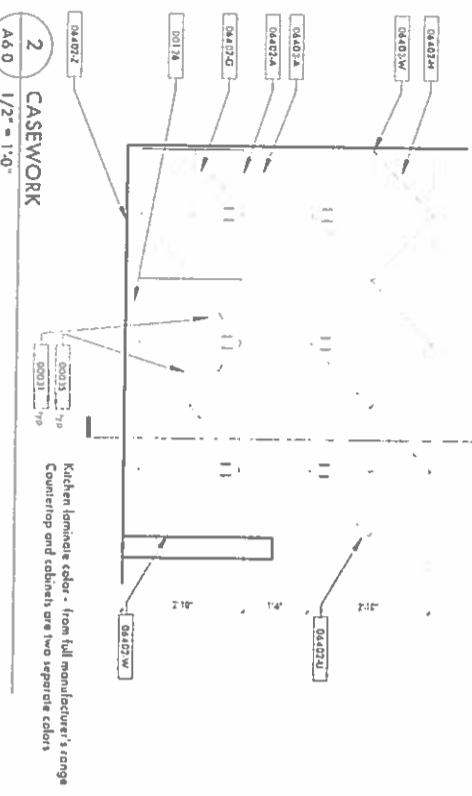
Point - Spec. Section 09912 (color is white, DEW 383 Cool December, unless designated otherwise)
 P1 Eggshell/gpm bd
 P2 Semi-Gloss paint over above board
 T3 Owner provided ceramic tile (indicated by Contractor)

CEILING:

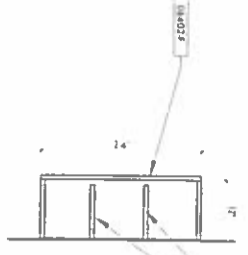
C1 Susp. acoustical tile - 2x2 - WHITE - Duna 1775 [spec sec 09511]
 C2 Gyp. board painted
 C3 Exposed structure, ducts and deck, by metal building manufacturer
 C4 Exposed structure, ducts and deck, painted



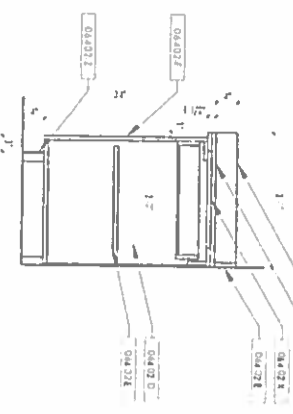
1 CHAIN LINK FENCE
 not to scale



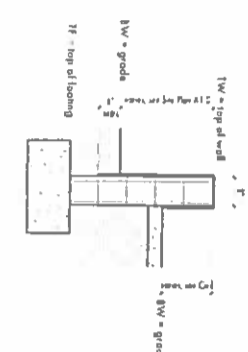
2 CASEWORK
 1/2" = 1'-0"



3 KITCHEN CABINET
 3/4" = 1'-0"



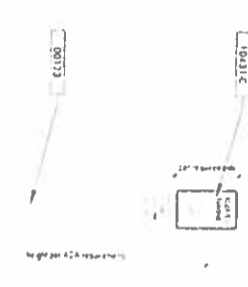
4 KITCHEN CABINET
 3/4" = 1'-0"



5 SITE WALL
 1/2" = 1'-0"



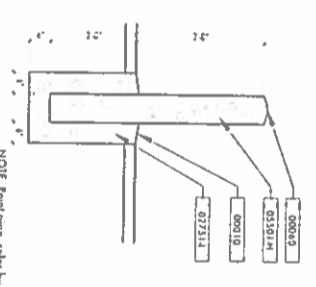
6 STAIR
 1/2" = 1'-0"



7 DISABLED PARKING SIGNAGE
 1/2" = 1'-0"



8 BARBED WIRE FENCE
 1/2" = 1'-0"



9 BOLLARDS
 1/2" = 1'-0"

10 CATWALK
 1/2" = 1'-0"

11 EDGE OF TIP FLOOR
 1/2" = 1'-0"

12 NOT USED
 1/2" = 1'-0"

- KEYED NOTES, SHEET A7.0**
- 0001.0 LUM TO BULK/TM TR
 - 0001.1 3x4 1/2" SCHEDULE 40
 - 0001.2 PLUMBING TRAIL CONC 11/2" DIA
 - 0001.3 CONCRETE
 - 0011.3 MOUNT SOUVENIR MOUNT QUARTER
 - 0011.4 CONCRETE TO HALF HEIGHT OF CABINET DOOR FACE
 - 0021.1 CONCRETE DOORS
 - 0021.2 CONCRETE 3/4" DIA 11/2" DIA
 - 0021.3 1/2" DIA TIE BAR CONC. FIELD
 - 0021.4 1/2" DIA TIE BAR CONC. FIELD
 - 0021.5 1/2" DIA TIE BAR CONC. FIELD
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 - 0021.99 1/2" DIA TIE BAR CONC. FIELD
 - 0021.100 1/2" DIA TIE BAR CONC. FIELD

GENERAL NOTES:

1. All work to be done in accordance with the specifications and drawings.
2. The contractor shall be responsible for obtaining all necessary permits.
3. All materials shall be of the highest quality and shall be approved by the architect.
4. The contractor shall be responsible for the safety of all workers and the public.
5. The contractor shall be responsible for the protection of all existing utilities.
6. The contractor shall be responsible for the cleanup of all construction materials.
7. The contractor shall be responsible for the maintenance of all access roads.

NIBC-35

CDRC	51415
A7.0	
11 of 11	

**FINISH SCHEDULE
 DETAILS, FENCE DETAILS**

JACONA COLLECTION CENTER
 SANTA FE COUNTY
 Santa Fe, New Mexico



STATE OF NEW MEXICO
OFFICE OF THE STATE ENGINEER
CONCHA ORTIZ Y PINO BUILDING, 130 SOUTH CAPITOL, SANTA FE, NM 87501
TELEPHONE: (505) 827-6091 FAX: (505) 827-3806

TOM BLAINE, P.E.
STATE ENGINEER

June 18, 2015

Mailing Address:
P.O. Box 25102
Santa Fe, NM 87504-5102

Jose E. Larrañaga
Development Review Team Leader
Santa Fe County
P.O. Box 276
Santa Fe, NM 87504-0276

CERTIFIED MAIL
RETURN RECEIPT
REQUESTED

Reference: Jacona Transfer Station Variance and Final Development Plan

Dear Mr. Larranaga:

On June 3, 2015, the Office of the State Engineer (OSE) received a request to provide comments for a variance of Ordinance No. 2008-5, Section 12.5 and the Final Development Plan submittal for the Jacona Transfer Station.

The proposal provides a request for a variance of Ordinance No. 2008-5, Section 12.5, Density and Dimensional Standards, to allow the structures to exceed 24 feet in height and a variance of Ordinance No. 2000-01, Section 2.3.6.d.2, to allow retaining walls to exceed 10 feet in height. Also, the developer requests the Final Development Plan to allow a 9,623 square foot facility to be utilized as a County Transfer Station on 19.63 acres. Water will be provided by the owner, who is installing a well. The property is located next to the Pojoaque High School in Jacona within Section 15, Township 19 North, Range 8 East.

This proposal was reviewed pursuant to the Santa Fe County Land Development Code (Code) and the New Mexico Subdivision Act.

The developer provides conflicting and confusing statements in the proposal:

- The water budget does not provide information on how much water is needed for indoor water use.
- The Plat Map shows there are public restrooms, with sinks, and one service sink in the breakroom.
- The proposal uses the name Jacona Transfer Station and the plat map uses the name Jacona Collection Center.

When a subdivision proposal is received by the OSE, the developer's water demand analysis is reviewed to determine if it is technically correct and reasonable. The OSE also verifies that the



NBC-36

appropriate conservation measures are reflected in the analysis. Further, data in the water demand analysis is compared with the data and statements included in the disclosure statement and in the restrictive covenants to make sure that they are consistent with each other. Since the aforementioned documents are not provided with the applicant's submittal, the technical analysis described above was not performed.

Development Plans are not required (by the Code) to provide the level of detail that is required by the OSE for a water demand analysis. Article VII, Section 6.1 of the Code allows the Santa Fe County Land Use staff to refer the development plan to state agencies for review "*if, in the opinion of the County Hydrologist and the Code Administrator, such referrals will provide information necessary to the determination of whether or not a proposed development is in conformance with provisions of this Code*". The OSE recognizes the proactive actions on behalf of the County to solicit the technical opinion of the OSE on this development plan. However, because the proposed development is not formally covered under the New Mexico Subdivision Act, the OSE declines to provide formal comments at this time. We appreciate the opportunity to review the Final Development Plan submittal for the Jacona Transfer Station.

If you have any questions, please call Emily Geery at 505-827-6664.

Sincerely,



Molly Magnuson, P.E.
Water Use & Conservation/Subdivision Review Acting Bureau Chief

cc: OSE Water Rights Division, Santa Fe Office

NBC-37



SUSANA MARTINEZ
Governor
JOHN A. SANCHEZ
Lieutenant Governor

NEW MEXICO
ENVIRONMENT DEPARTMENT

2540 Camino Edward Ortiz
Santa Fe, NM 87507
Phone (505) 827-1840 Fax (505) 827-1839
www.env.nm.gov



RYAN FLYNN
Cabinet Secretary
BUTCH TONGATE
Deputy Secretary

June 4, 2015

Mr. Jose Larrañaga
Development Review Team Leader
Santa Fe County
102 Grant Avenue, P.O. Box 276
Santa Fe, NM 87504-0276

**RE: CDRC CASE # V/DP 15-5170
Jacona Transfer Station**

Hello Mr. Larrañaga:

I have reviewed the Development Plan Report and Drawing Set you sent for the proposed Jacona Transfer Station.

The proposed septic system is described on Page 2 of the Development Plan Report. Specifically, it is stated that "The septic system will be permitted by the selected Contractor." Please be aware that NMED regulations require that the septic system be installed by a contractor licensed to install septic systems in New Mexico.

Additionally, there is no mention of the proposed septic system on the Drawing Set, and no location specified. My concern is that the selected Contractor may not be fully aware of the requirement of the proposed septic system.

Please contact me with any questions or if you need additional information.

Sincerely,

Bill Brown
Liquid Waste Specialist, District II
New Mexico Environment Department
2540 Camino Edward Ortiz
Santa Fe, NM 87507
505-827-1840 office

NBC-38



New Mexico DEPARTMENT OF
TRANSPORTATION

June 29, 2015

Morey Walker; P.E.
Walker Engineering
Santa Fe, NM 87505

RE: Jacona Collection Center, Pojoaque ; NM

Dear Mr. Morey:

The New Mexico Department of Transportation (NMDOT) District 5 Traffic Engineering Staff has reviewed and approved your revised Traffic Impact Study Summary submitted on May 25, 2015 and concurs with the recommendations made within the report on page number 8 (B).

The developer will need to apply for an access permit and include NM 502 construction plans for review before a permit will be issued.
If you need any further information, I can be reached at 505-995-7802.

Sincerely,

M S JAWADI, P.E.
Asst. District 5 Traffic Engineer

Cc: Habib Abi-Khalil, P.E. Acting District Engineer

Susana Martinez
Governor

Tom Church
Acting Cabinet Secretary

Commissioners

Pete K. Rahn
Chairman
District 3

Dr. Kenneth White
Secretary
District 1

Robert R. Wallach
Commissioner
District 2

Ronald Schmeits
Commissioner
District 4

Butch Mathews
Commissioner
District 5

Jackson Gibson
Commissioner
District 6

NBC-39



STATE OF NEW MEXICO
DEPARTMENT OF CULTURAL AFFAIRS
HISTORIC PRESERVATION DIVISION

Susana Martinez
Governor

BATAAN MEMORIAL BUILDING
407 GALISTEO STREET, SUITE 236
SANTA FE, NEW MEXICO 87501
PHONE (505) 827-6320 FAX (505) 827-6338

July 1, 2015

Jose E. Larrañaga
Development Review Team Leader
County of Santa Fe
102 Grant Avenue
P.O. Box 276
Santa Fe, NM 87504-0276

RE: CDRC Case # V/DP 15-5170 Jacona Transfer Station

Dear Mr. Larrañaga:

I am writing in response to your review for review and comment on the above referenced development plan received at the Historic Preservation Division (HPD) on June 03, 2015. On behalf of HPD, I reviewed our records to determine whether the proposed project will impact cultural properties.

According to our records, there are no archaeological sites within the proposed transfer station area; however, an archaeological survey has not been conducted. Archaeological sites were identified nearby, thus there is a potential for unidentified archaeological sites to exist in the project area. This office recommends an archaeological survey be conducted to ensure that no significant archaeological sites are present before construction begins. However, if a survey is not conducted, construction crews should be advised to stop work if archaeological artifacts (i.e. pottery sherds, bone, flaked stone, etc.) are observed. If artifacts are found during construction, please contact this office at (505) 827-6320.

Please do not hesitate to contact me if you have any questions. I can be reached by telephone at (505) 827-4064 or by email at michelle.ensey@state.nm.us.

Sincerely,

Michelle M. Ensey
Archaeologist

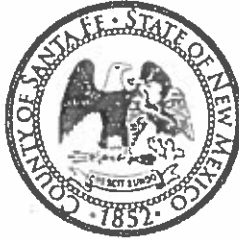
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NBC-40

Henry P. Roybal
Commissioner, District 1

Virginia Vigil
Commissioner, District 2

Robert A. Anaya
Commissioner, District 3



Kathy Hollan
Commissioner, District 4

Elizabeth Stefanics
Commissioner, District 5

Katherine Miller
County Manager

MEMORANDUM

TO: Jose E. Larranaga, Development Review Team Leader
FROM: Jerry Schoeppner, SFC Utilities *JS*
THROUGH: Claudia I. Borchert, Utilities Director
SUBJECT: Development Plan for the Jacona Collection Center
DATE: 7/6/2015

This memorandum provides review of the water supply plan (Plan) portion of the development plan dated May 15, 2015 and the proposed water budget dated June 30, 2015 for the Jacona Collection Center (Center). The project is located in Section 14 of Township 19N, Range 8E and falls under a development in which the project uses less than 0.25 acre-foot (AF) of water annually and lies within the Basin hydrologic zone.

Based on the application, the center proposes to establish 20 new trees to provide screening and will use harvested water stored in an underground cistern to water 16 of them and direct-water 4 others from roof water. The addition of 20 new trees will bring the total number of trees used for screening to 64. The water budget provided for establishing the 20 new trees may be low. Based on general watering guidelines, a commonly used formula suggests 10 gallons of water per week for every 1 inch of tree caliper. Assuming a 2" caliper tree results in a water need of 960 gallons per year which is higher than the proposed water budget of 660 gallons per year. Since the source of water used to establish and maintain the new proposed trees is harvested precipitation, Utilities does not have any comments on water availability for establishing and maintaining these trees. It is also noted that the existing 44 plus trees are native juniper that do not need supplemental water beyond natural precipitation and therefore are not part of the water budget.

The water budget for the facility includes water use for two staff with two restrooms (one toilet and one sink in each) for employee use only and a sink in the break room. Usage is based on 25 gallons per day per person and water will be supplied by a new on-site well which will be permitted from the Office of the State Engineer. Therefore, the water budget for the entire facility is 18,000 gallons per year or 0.06 acre-foot per year for two staff. This is well below 0.25 acre-foot limit imposed by the Santa Fe County Land Development Code. Therefore, no further

NBC-41

action regarding the facilities water availability is required with the exception of requiring the applicant to record meter usage and report monthly readings to Utilities on an annual basis.

NBC-42

Henry P. Roybal
Commissioner, District 1

Miguel M. Chavez
Commissioner, District 2

Robert A. Anaya
Commissioner, District 3



Kathy Holian
Commissioner, District 4

Liz Stefanics
Commissioner, District 5

Katherine Miller
County Manager

Date: June 24, 2015

To: Jose Larranaga, Land Use Department

From: Paul Kavanaugh, Engineering Associate Public Works *R*
Johnny P. Baca, Traffic Manager Public Works

Re: CDRC CASE #V/FDP Jacona Transfer Station, Final Development Plan.

The referenced project has been reviewed for compliance of the Land Development Code, and shall conform to roads and driveway requirements of **Article V (Subdivision Design Standards) and Section 8.1 (General Policy on Roads)**. The referenced project is located within Santa Fe County Zoning Jurisdiction, south of County Road 84-D /New Mexico 502 intersection. The applicant is requesting a Height variance and Final Development Plan approval for a Solid Waste Collection Center on approximately a 19.63 acre tract.

Access:

The applicant is proposing to access the proposed development from New Mexico 502. For the westbound entrance into the site, a dedicated left turn lane will be constructed on NM 502. The applicant has proposed a 25 feet wide paved roadway into the site.

A Traffic Impact Analysis was prepared by Morey Walker and Associates Engineering, Inc., dated May 12, 2015. The purpose of the study is to assess the traffic impacts the proposed project may have on road systems within the area and identify any necessary required on-site /off-site road improvements.

The Traffic Analysis states that *"This project has minimum impact on the Santa Fe County and NMDOT road system. For the intersection of NM 502 and CR 84D, the Jacona Collection Center will not adversely impact the current and future level of service"*

Conclusion:

Public Works has reviewed the applicant's submittal, and feels that they can support the above mentioned project for Final Development approval with the following conditions;

- Applicant shall use 4" of HMA over 6" of Base Course as per the Geotechnical Investigation for the haul road.
- Applicant shall use 3" of HMA over 4" of Base Course as per the Geotechnical Investigation for the parking area.
- Applicant shall provide a minimum of 30' return radius.
- Applicant shall install an R1-1 30x30 at exit of property with 24' Stop Bar.

NBC-43

Henry P. Roybal
Commissioner, District 1

Miguel M. Chavez
Commissioner, District 2

Robert A. Anaya
Commissioner, District 3



Kathy Holian
Commissioner, District 4

Liz Stefanics
Commissioner, District 5

Katherine Miller
County Manager

MEMORANDUM

DATE: June 9, 2015

TO: Jose Larranaga, Development Review Team Leader

FROM: Mathew Martinez, Development Review Specialist

VIA: Vicki Lucero, Building and Development Services Manager
Wayne Dalton, Building and Development Services Supervisor

FILE REF.: CDRC CASE # V/DP 15-5170 Jacona Transfer Station
Variance Development Plan

REVIEW SUMMARY

ARCHITECTURAL, PARKING, LIGHTING, AND SIGNAGE:

The referenced project has been reviewed for compliance with the Santa Fe County Land Development Code and Ordinance No. 2008-5, Section 12.5, Density and Dimensional Standards. The subject property is located adjacent to Pojoaque High School within Section 15, Township 19N Range 8E Directly across from County Road 84D.

PARKING:

The Applicant has provided a detailed Parking Plan. The Applicant proposes various collection sites (waste, recycling, re-use, green waste, scrap metal and tires). The proposed parking for these sites is adequate and is only utilized when disposing of material at the individual collection sites. 9 parking spaces and 2 handicap accessible spaces will be located at the main building and re-use area. The Application complies with the parking requirements set forth in Article III, Section 9 (Parking Requirements). Staff has determined that the Parking element of this Application is complete.

ARCHITECTURAL:

The Applicant has submitted Building Elevations. Due to the functions of the facility the Applicant is requesting a variance for the height of the building. The overall height is 49'-9" The (Maximum Height) set forth in Ordinance No. 2008-5 Section 12.5 Density and Dimensional Standards is 24

feet. Staff has determined that the Architectural element of the Application does not comply with Ordinance No. 2008-5 (Maximum height).

SIGNAGE:

The Applicant provided a detailed Signage Plan. A 4'x8' informational sign is shown at the entrance of the development. The Application complies with the signage requirements within Article VIII, Section 7.14 (Sign Regulations). Staff has determined that the signage element of this Application is complete.

LIGHTING:

The Applicant submitted a Lighting Plan. Lighting consists of LED exterior lights over each door that is on an astroclock to come on at dusk and turn off at 9pm. The Application is in compliance with outdoor lighting requirements within Article III, Section 4.4.4 h. Staff has determined that the lighting element of the Application is complete.

Due to the nature of the comments contained herein, additional comments may be forthcoming upon receipt of the required information.

MEMORANDUM

DATE: June 15, 2015

TO: Jose Larranaga, Commercial Development Case Manager

FROM: Miguel Romero, Development Review Specialist Sr.

VIA: Penny Ellis-Green, Land Use Administrator
Vicki Lucero, Building and Development Services Manager
Wayne Dalton, Building and Development Services Supervisor

FILE REF.: Case # V/DP 15-5170 Jacona Transfer Station

REVIEW SUMMARY:

The referenced project has been reviewed for compliance with the Santa Fe County Land Development Code 1996-10 and Ordinance No. 2008-5 (Amending Article XIV Traditional And Contemporary Community Zoning Districts, Of The Santa Fe County Land Development Code, Ordinance 1996-10 As Amended To Add A New Section 12 Pojoaque Valley Traditional Community District). The subject property is located on 19.63 acres, in Jacona across from the Pojoaque High School; within Section 15, Township 19 North, Range 8 East.

Landscaping

The Applicant is proposing to plant twenty (20) trees for added screening from Highway 502. The Applicant has stated that there are hundreds of trees on the site and 63 of these trees provide screening for the Collection Facility. The Applicant is proposing to utilize a drip irrigation system to water all new plantings. The Applicant is also proposing to use river rock around the trees instead of shrubs. The Applicant is proposing 11 parking spaces total, 2 of being handicap parking spaces. The parking spaces will be located at the main building and reuse area. The existing landscaping along with the buildings will provide a buffer from Highway 502. This aspect of the code meets requirements.

Water Harvesting

Ordinance 2008-4 (Water Harvesting) requires commercial development to collect all roof drainage into a cistern. Cisterns shall be sized to hold 1.5 gallons per sq. ft. of roofed area. The roofed area for this project is 6,713 sq. ft. The Applicant would have to conceptually provide a cistern sized to hold 10,069.50 gallons of roof drainage. However, the Applicant has provided a Water Budget for the landscape project and is proposing to utilize a cistern sized to capture 4,000 gallons. The Applicant will use a drip irrigation system with the cistern. This aspect of the Code meets requirements.

Additional Comments

Due to the nature of the comments contained herein, additional comments may be forthcoming upon receipt of the required information.

NBC-46

MEMORANDUM

DATE: June 18, 2015

TO: Jose Larranaga, Development Review Team Leader

FROM: John Lovato, Senior Development Review Specialist

VIA: Penny Ellis-Green, Land Use Administrator
Vicki Lucero, Building and Development Services Manager
Wayne Dalton, Building and Development Services Supervisor

FILE REF: CDRC CASE # V/DP 15-5170 / Jacona Transfer Station

REVIEW SUMMARY

The referenced project has been reviewed for compliance with the Santa Fe County Land Development Code and Ordinance 2008-10 Flood Damage Prevention and Stormwater Management Ordinance. The request is for Development Plan approval to allow a 6,713 square foot transfer station. The request includes a variance to allow a retain wall to exceed 10' and a variance to allow 4 separate isolated 30% slope disturbance for access.

Terrain Management

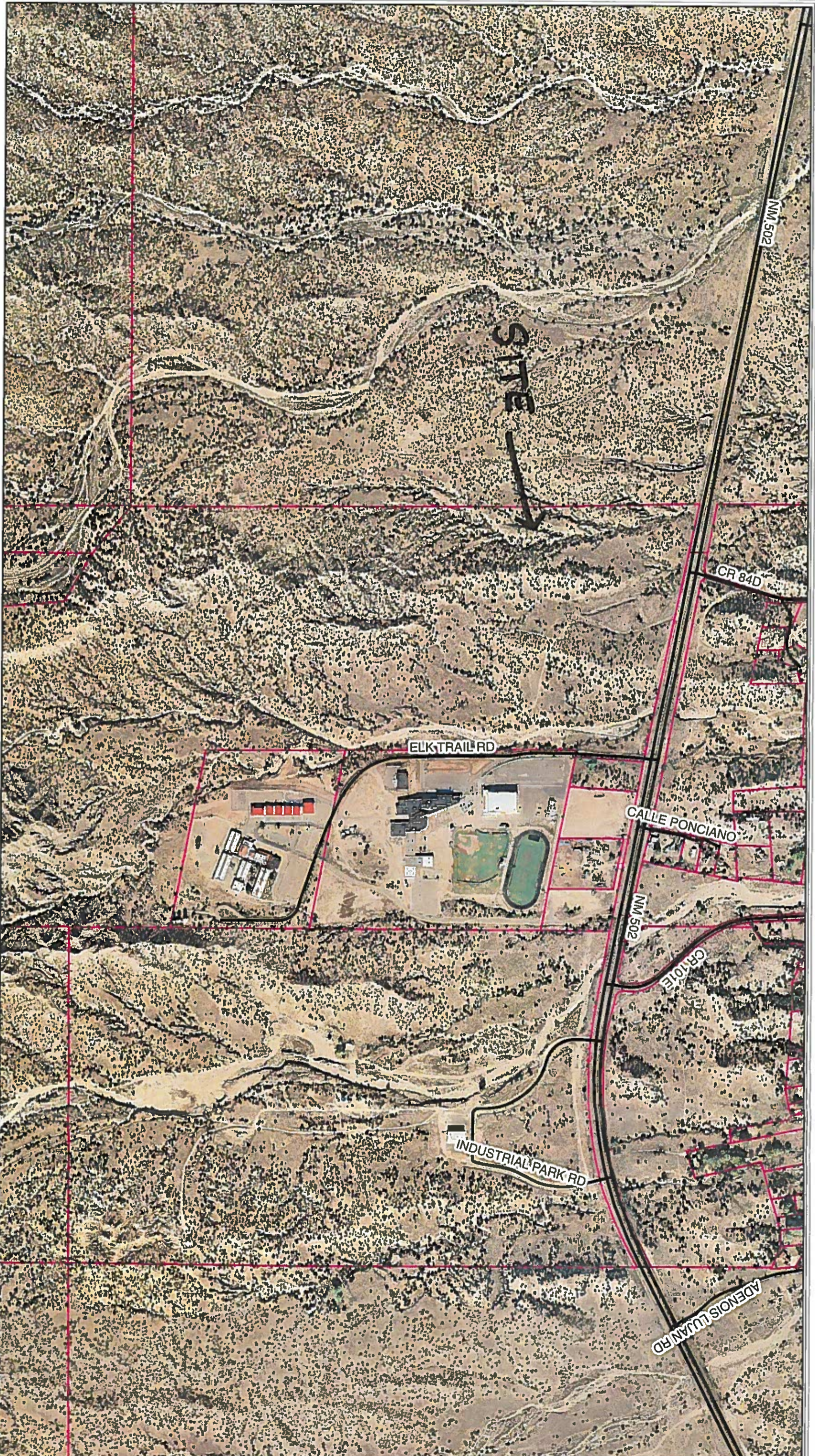
The site has slopes 0-30% and all cut slopes are less than 2:1 and all fill slopes are 3:1. The project will require a variance of Article VII, Section, 3.4.1.1.c.1 (No Build Areas) to allow five (5) isolated disturbances of 30% slope for access roads totaling 1,313 square feet disturbance. Article VII, Section 3.4.1.1.c.1, states access corridors, utility corridors, and landscape areas proposed on natural slopes in excess of thirty percent (30%) that disturb no more than three (3) separate areas of no more than one thousand (1,000) square feet each provided that the Applicant demonstrates that no alternative development location is available. The request is not conformance and will require a variance of Article VII, Section 3.4.1.1.c.1.

Storm Drainage and Erosion Control:

The Applicant's proposal shows a proposed Grading and Drainage Plan. The proposal indicates the TR-20 Pond routing results is 12.80 cfs into the pond with 2.42 cfs out of pond. The existing

NBC-47

flow is 3.12 cfs, and the results of the pond will control onsite discharge to predevelopment flows as indicated on sheet C-1 by Walker Engineering. The request is in conformance of Article VII, Section 3.4.6 and Ordinance 2008-10 Flood Damage Prevention and Stormwater Management Ordinance.



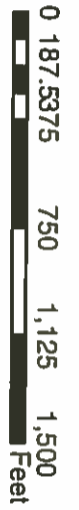
Legend

ROADS

PARCELS

1:8,000

1 inch represents 666,666.667 feet



2008 Imagery
2 FOOT CONTOURS

This information is for reference only.
Santa Fe County assumes no liability for
errors associated with the use of these data.
User are solely responsible for
confirming data accuracy.



NRSC-49 June 22, 2015



THE BOARD OF COUNTY COMMISSIONERS OF
SANTA FE COUNTY

ORDINANCE NO. 2010-13

AN ORDINANCE AMENDING ARTICLE III, SECTION 7, COMMUNITY
SERVICE FACILITIES OF THE SANTA FE COUNTY LAND DEVELOPMENT
CODE, ORDINANCE 1996-10 FOR THE PURPOSE OF CLARIFYING
STANDARDS AND SUBMITTAL REQUIREMENTS

BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF
SANTA FE COUNTY THAT ARTICLE III, SECTION 7 OF THE SANTA FE
COUNTY LAND DEVELOPMENT CODE, ORDINANCE 1996-10, IS AMENDED
BY REPLACING THE EXISTING PROVISION WITH THE FOLLOWING:

SECTION 7 – COMMUNITY SERVICE FACILITIES

Community service facilities are facilities which provide service to a local community organization. These may include governmental services such as police and fire stations, elementary and secondary day care centers, schools and community centers, and churches.

7.1 Standards

Community service facilities are allowed anywhere in the County, provided all requirements of the Code are met, if it is determined that:

7.1.1 The proposed facilities are necessary in order that community services may be provided for in the County;

7.1.2 The use is compatible with existing development in the area and is compatible with development permitted under the Code; and

7.1.3 A master plan and preliminary and final development plan for the proposed development are approved.

7.2 Submittals and Review

The submittals and reviews for community service facilities shall be those provided for in Article III, Section 4.4 and Article V, Section 5.2 (Master Plan Procedure) and Section 7 (Development Plan Requirements).



NBC-50

PASSED, APPROVED, and ADOPTED this 12th day of October, 2010, by the Board of County Commissioners of Santa Fe County.

THE BOARD OF COUNTY COMMISSIONERS
OF SANTA FE COUNTY

By: [Signature]
Harry B. Mentoya, Chair

ATTEST:
[Signature]
Valerie Espinoza, Santa Fe County Clerk



Approved As To Form:

[Signature]
Stephen C. Ross, County Attorney



COUNTY OF SANTA FE) BCC ORDINANCE
STATE OF NEW MEXICO) ss PAGES: 2

I Hereby Certify That This Instrument Was Filed for
Record On The 20TH Day Of October, 2010 at 10:55:33 AM
And Was Duly Recorded as Instrument # 1614420
Of The Records Of Santa Fe County

[Signature] Witness My Hand And Seal Of Office
Deputy _____ Valerie Espinoza
County Clerk, Santa Fe, NM

1306065

~~agency comments which relate to potential limitations of lot size, intensity, or character of development.~~

~~7.1.4 Criteria for development plan phase approval~~

- ~~a. Conformance to the approved master plan;~~
- ~~b. The plan must meet the criteria of Section 5.2.4 of this Article V.~~



7.2 Final Development Plan

7.2.1 Submittals

A final development plan conforming to the approved preliminary plan and approved preliminary plat, if required, and containing the same required information shall be submitted. In addition, the final development plan shall show, when applicable, and with appropriate dimensions, the locations and size of buildings, heated floor area of buildings, and minimum building setbacks from lot lines or adjoining streets. Documents to be submitted at this time are: proof of ownership including necessary title documents, articles of incorporation and by-laws of owners' association; required disclosure statements; final engineering plans and time schedule for grading, drainage, and all improvements including roads, water system, sewers, solid waste, utilities; engineering estimates for bonding requirements; development agreements; and final subdivision plats, if required.

7.2.2 Review

The final development plan shall be submitted to the County Development Review Committee accompanied by a staff report. The County Development Review Committee shall review the plan and make a determination as to its compliance with the County General Plan and Code. The County Development Review Committee may recommend changes or additions to the plan as conditions of its approval. The final development plan as approved by the County Development Review Committee shall be filed with the County Clerk. The approved final development plan becomes the basis of development permits and for acceptance of public dedications. Any changes in the plan must be approved by the County Development Review Committee.

History. 1980 Comp. 1980-6. Section 7 of Article V was amended by County Ordinance 1987-1 adding language relating to master plans.

SECTION 8 - SUBDIVISION DESIGN STANDARDS

These standards shall be binding upon the subdivider unless modifications are justified by sound engineering principles. Such modifications from these standards may be approved by the Board after a review by the County Development Review Committee upon presentation of documented justification by a licensed professional engineer.

8.1 General Policy on Roads

8.1.1 General

The arrangement, character, extent, width, grade and location of all roads shall be considered in relation to convenience and safety, and to the proposed uses of land to be served by such roads. Prior to grading or roadway cuts, all applicable permits shall be granted by the Code Administrator.



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SANTA FE COUNTY
Ordinance No. 2002- 6

2128851

AN ORDINANCE AMENDING ORDINANCE 1996-10, SANTA FE COUNTY LAND DEVELOPMENT CODE, ARTICLE III, SECTION 4.4.4.C AND ARTICLE III, SECTION 6.3.4 FOR THE PURPOSE OF CLARIFICATION OF BUILDING HEIGHT DEFINITIONS

BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF SANTA FE THAT THE SANTA FE COUNTY LAND DEVELOPMENT CODE, ORDINANCE 1996-10, IS HEREBY AMENDED AS FOLLOWS:

ARTICLE III ZONING REGULATIONS, SUBMITTALS, AND REVIEWS

Section 4.4.4(c), "Maximum Height" shall be amended to read as follows:

Maximum Height

C. Structures shall be limited to a maximum of thirty- six (36') feet high in Major or Community Center Districts and to twenty- four (24) feet high in Neighborhood or Local Center Districts. Height is measured from any point on the upper surface of a building or structure to the natural grade or finished cut grade; whichever is lower, directly below that point. The vertical depth of fill material from the natural grade, with or without retaining walls, shall be considered as a component of the building or structure; this depth shall be included in determination of building height.

Section 6.3.4, "Maximum Height" shall be amended to read as follows:

Maximum Height

6.3.4 Structures shall be limited to a maximum height of thirty-six (36') feet from any point on the upper surface of a building or structure to the natural grade or finished cut grade; whichever is lower, directly below that point. The vertical depth of fill materials from the natural grade, with or without retaining walls, shall be considered as a component of the building or structure; this depth shall be included in determination of building height. Chimneys may extend three feet (3') beyond the height limitation.

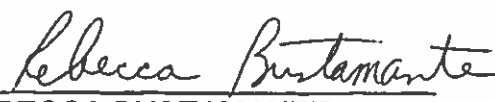


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PASSED, ADOPTED AND APPROVED this 9 day of April 2002, by the Santa Fe County Board of County Commissioners.


PAUL DURAN, CHAIRMAN

ATTEST:


REBECCA BUSTAMANTE
COUNTY CLERK

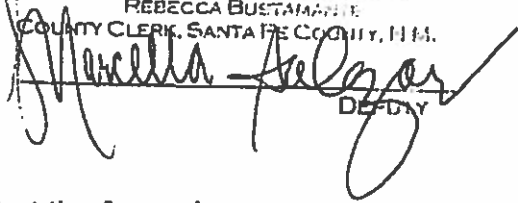


APPROVED AS TO LEGAL FORM AND SUFFICIENCY:

1206 791

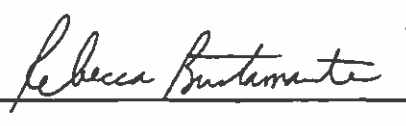

COUNTY ATTORNEY

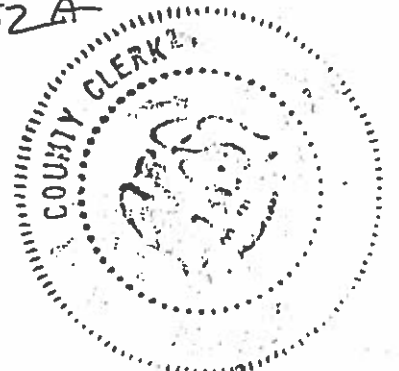
COUNTY OF SANTA FE
STATE OF NEW MEXICO
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED
FOR RECORD ON THE 15 DAY OF May A.D.
20 02 AT 2:41 O'CLOCK PM
AND WAS DULY RECORDED IN BOOK 2128
PAGE 851-852A OF THE RECORDS OF

SANTA FE COUNTY
WITNESS MY HAND AND SEAL OF OFFICE
REBECCA BUSTAMANTE
COUNTY CLERK, SANTA FE COUNTY, N.M.

DEPUTY

CERTIFICATE OF FILING

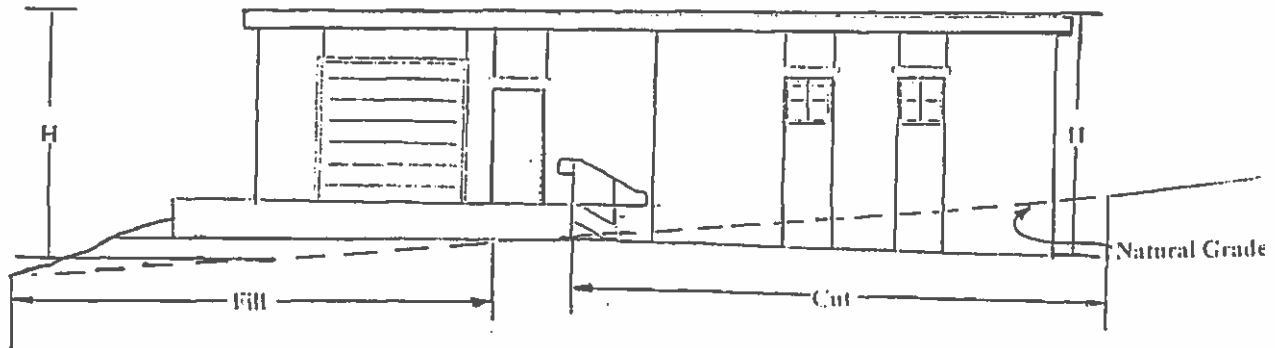
I, Rebecca Bustamante, County Clerk, do hereby certify that the foregoing ordinance, designated as Ordinance No. 2002-6, was filed in my office on the 15 day of May, 2002, in book Number 2128 at Page 851-852A

SANTA FE COUNTY CLERK




2128852⁺

H = 36' or 24'



Proposed Article III, Section 4.4.4c

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SANTA FE COUNTY

Ordinance No. 2000 - 01

1734876

AN ORDINANCE AMENDING ART. III, SECTION 2.3.6, Height Restrictions For Dwellings Or Residential Accessory Structures, ART. III, 4.4.4 F 13) B. Screening And Buffering For Residential Uses, AND ART. X, DEFINITIONS OF THE SANTA FE COUNTY LAND DEVELOPMENT CODE, COUNTY ORDINANCE 1996-10, TO CREATE HEIGHT STANDARDS FOR WALLS AND FENCES FOR RESIDENTIAL USES.

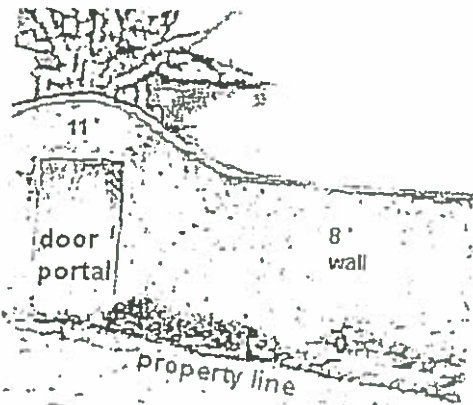
BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF SANTA FE COUNTY THAT THE SANTA FE COUNTY LAND DEVELOPMENT CODE IS AMENDED AS FOLLOWS:

Section 1.

A new subsection Art. III, 2.3.6 d., creating height standards for walls and fences and requiring Development Permits for some walls and fences, is added as follows:

2.3.6 d. Walls and Fences

1. The maximum height of walls or fences shall not exceed eight feet (8'); the height of pedestrian door or gate portals built into a wall or fence shall not exceed eleven feet (11').



NBC-56

(9) Walls and fences within residential developments shall conform to the height restrictions of Art. III, Section 2.3.6d. Walls constructed in non-residential developments to screen adjacent residential uses shall not exceed eight feet (8') in height.

Section 3.

Art. X, DEFINITIONS is amended to change the definition of structure and to add definitions for wall and opaque fence in alphabetical order and renumber definitions as appropriate as follows:

1.130 Structure - means anything constructed or installed or portable, the use of which requires a location on, above or under a parcel of land, including without limitation a dwelling, a movable structure while it is located on land, usable for housing, business, commercial, storage, agricultural or office purposes either temporarily or permanently; advertising signs, billboards; poles; pipelines, transmission lines and tracks; provided, however, that structure does not include fences and signs used for advertising consisting of less than three (3) square feet. "Structure" does not mean walls or fences of six feet (6') or less in height, telephone booths, swimming pools, wells, septic tanks, drainfields, cesspools or privies

Wall - a solid upright barrier, usually constructed of, but not limited to, concrete block, adobe brick or stone, used to enclose or screen areas of land. Walls that are part of a building are not included in this definition. See Building.

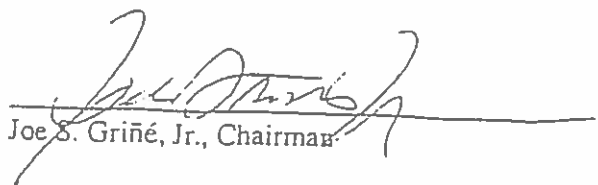
Retaining wall - a wall for holding in place a mass of earth or other material.

Fence, Opaque - a barrier constructed to enclose or screen areas of land, of solid material and/or in such a manner that the area enclosed cannot be clearly seen through it. For example, coyote fences or chain link fences with slats are opaque; barbed wire and pole fences are usually not.

Severability

If any part of this Ordinance or the application thereof to any person or circumstance is held invalid, the remainder of the Ordinance and its application to other persons or circumstances shall not be affected thereby.

PASSED, ADOPTED AND APPROVED this 8th day of February 2000 by the Santa Fe County Board of County Commissioners.


Joe S. Griné, Jr., Chairman

NBC-57

b. Buildable Areas. Each lot shall have a Buildable Area which shall meet the following criteria:

- 1) The natural slope is less than thirty percent (30%);
- 2) New lots shall contain an area suitable for building, including areas suitable for access corridor and utility sites and corridors which can be developed in accordance with these terrain management regulations and other requirements of the Code.
- 3) Meet all required setback standards for ridgetops, drainage ways, etc.
- 4) Contain a site with slope of less than fifteen percent (15%) and soils adequate by type and thickness in order for installation of a septic tank with leach field to be approved. In all other cases, alternative liquid waste disposal will be required.

c. No Build Areas

- 1) The following areas shall be set aside from use for development:
 - a) areas of rock outcropping, wetlands, arroyos and natural drainage ways;
 - b) A minimum of twenty-five feet (25') set back is required from the natural edge of streams, waterways, drainage ways or arroyos that may convey a discharge ("Q") of one hundred cubic feet per second (100 cfs) or more, generated by a design storm (100 year recurrence, 24 hour duration); the required setback may be increased if the Code Administrator determines that a clear hazard exists because of slope stability and hydrologic/hydraulic conditions. In evaluating the need to increase the setback, the Code Administrator shall consider property and channel slope, velocity of channel flow, hydraulic radius, roughness coefficient and sectional area of the particular drainage way. A requirement for increased setback imposed by the County shall not be interpreted to be an engineered development plan for development or encroachment to any FEMA designated 100 year floodplain or significant tributary thereof.
 - c) Natural slopes of thirty percent (30%) or greater. Exceptions may be approved by the Code Administrator for :
 - i. access corridors, utility corridors and landscape areas proposed on natural slopes in excess of thirty percent (30%) that disturb no more than three (3) separate areas of no more than one thousand (1000) square feet each, provided the applicant demonstrates that no alternative development location is available; and
 - ii. arroyo crossings may be approved which disturb more than one thousand (1000) square feet in each instance provided that slope stability and hydrologic/hydraulic conditions are not changed from pre-development values; and
 - iii. siting of structures to preserve remaining traditional agricultural lands and uses.
 - iv. The applicant shall demonstrate that crossing such slopes has minimal impact to terrain or to visual quality and otherwise would conform to the purposes and standards set forth in Article III, Section 2.3 and Article VII, Section 3.4. See the Guidelines for Site Planning and Development in Santa Fe County.
- 2) No Build Areas may be used as part of the dedicated open space or may be included in lots as conservation easements or may be platted as common area within a subdivision or land division.



~~2.5 Zoning~~

~~In connection with the review of an application for a development permit with respect to matters described in the New Mexico Statutes concerning zoning, the procedures concerning zoning matters set forth in the New Mexico Statutes, as amended from time to time, shall apply in addition to the review procedures provided in the Code. The time limits established in this Article II may be extended if required, in order to comply with the procedures concerning zoning matters.~~

~~2.6 Subdivisions~~

~~In connection with review of an application for a development permit with respect to matters described in the New Mexico Subdivision Act, as it may be amended from time to time, the procedures for review provided for in Article V of the Code and the New Mexico Subdivision Act shall apply in addition to the review procedures provided in this Article II of the Code. The time limits established in this Article II shall be extended if required in order to comply with the procedures concerning subdivision matters.~~

~~2.7 Other Requirements~~

~~The time limits set forth in this Article II shall be extended in order to comply with other provisions of the Code providing for time limits in connection with reviews and requirements under the Code.~~

SECTION 3 - VARIANCES

3.1 Proposed Development

Where in the case of proposed development, it can be shown that strict compliance with the requirements of the Code would result in extraordinary hardship to the applicant because of unusual topography or other such non-self-inflicted conditions or that these conditions would result in inhibiting the achievement of the purposes of the Code, an applicant may file a written request for a variance. A Development Review Committee may recommend to the Board and the Board may vary, modify or waive the requirements of the Code and upon adequate proof that compliance with Code provision at issue will result in an arbitrary and unreasonable taking or property or exact hardship, and proof that a variance from the Code will not result in conditions injurious to health or safety. In arriving at its determination, the Development Review Committee and the Board shall carefully consider the opinions of any agency requested to review and comment on the variance request. In no event shall a variance, modification or waiver be recommended by a Development Review Committee, nor granted by the Board if by doing so the purpose of the Code would be nullified.

3.2 Variation or Modification

In no case shall any variation or modification be more than a minimum easing of the requirements.

3.3 Granting Variances and Modifications

In granting variances, and modifications, the Board may require such conditions as will, in its judgment, secure substantially the objectives of the requirements so varied or modified.

~~3.4 Height Variance in Airport Zones~~

~~All height variance requests for land located with approach, Transitional, Horizontal and Conical surfaces as described within Map #31 A, incorporated herein by reference, shall be reviewed for compliance with Federal Aviation Administration Regulations. The application for variance shall be accompanied by a determination from the Federal Aviation Administration as to the~~



NBC-59

The United States of America,

To all to whom these presents shall come, Greeting:

P. L. C.
Docket No. 92, New Mexico.

WHEREAS, There has been deposited in the General Land Office of the United States evidence whereby it appears that in accordance with the provisions of the Act of Congress approved March 3, 1891, entitled "An act to establish a court of private land claims and to provide for the settlement of private land claims in certain States and Territories," the private land claim known as the Town of Jacona Grant, has been duly confirmed to the HEIRS, SUCCESSORS, ASSIGNS, and LEGAL REPRESENTATIVES of IGNACIO de ROIBAL, FRANCISCA GOMEZ, and THEIR CHILDREN; and

WHEREAS, Said Claim has been surveyed and designated as in Townships eighteen and nineteen north of Ranges eight and nine east of the New Mexico Meridian, New Mexico, containing six thousand nine hundred fifty-two and eight hundred forty-four thousandths acres, according to the plat and survey of the said grant approved by the Court of Private Land Claims, September 7, 1899, copies of which are on file in the office of the Surveyor General for the Territory of New Mexico and in the General Land Office; said Grant being more particularly described as follows:

On the east by the lands of Juan de Mestas and lands of Oyu formerly of Francisco de Anaya de Almazan; on the north by a road that leaves from the New Town (Santa Cruz de la Canada) to Jacona and some bluffs above said road; on the west by a canada which comes down by a house built by Metias Madrid and some red bluffs near the little Mesa of San Ildelfonso; and on the south by the forest (wooded hills) between this town (Santa Fe and Jacona):

NOW KNOW YE, That the UNITED STATES OF AMERICA, in consideration of the premises, HAS GIVEN AND GRANTED, and by these presents DOES GIVE AND GRANT, unto the said Heirs, Successors, Assigns, and Legal Representatives of Ignacio de Roibal, Francisca Gomez and their children, and to their heirs, the tract above described; TO HAVE AND TO HOLD the same, together with all the rights, privileges, immunities, and appurtenances, of whatsoever nature thereunto belonging, unto the said Heirs, Successors, Assigns, and Legal Representatives of Ignacio de Roibal, Francisca Gomez and their children, and to their heirs and assigns, forever, in accordance with the terms of the decree of said Court, but subject to the proviso that this grant shall not confer any right or title to any gold, silver, or quicksilver mines or minerals of the same, but all such mines and minerals shall remain the property of the United States, with the

B-1

NBSC-60



right of working the same; and that said grant is made subject to all the limitations and terms of the said Act of Congress of March 3, 1891, and all the restrictions and limitations of said decree.

IN TESTIMONY WHEREOF, I, William H. Taft, President of the United States of America, have caused these letters to be made Patent, and the seal of the General Land Office to be hereunto affixed.

GIVEN under my hand, at the City of Washington, the FIFTEENTH day of NOVEMBER, in the year of our Lord one thousand nine hundred and NINE, and of the Independence of the United States the one hundred and THIRTY-FOURTH.

(SEAL)

By the President: Wm H Taft
By M. W. Young Secretary.
W. H. Anderson
Recorder of the General Land Office.

B-2

NBC-61

Legal#98638

CDRC CASE # V/FDP 15-5170 Jacona Collection Center NOTICE OF PUBLIC HEARING Notice is hereby given that a public hearing will be held to consider a request by Santa Fe County for final development Plan approval to allow a facility to be utilized as a County Collection Center on 19.63 acres plus/minus. The request also includes a variance of Ordinance No. 2002-6, Article III, Section 4.4.4(c) (Maximum Height) to allow the structure to exceed 24 feet in height, a variance of Ordinance No. 2000-01, Section 2.3.6.d.2, to allow retaining walls to exceed 10 feet in height and a variance of Article VII, Section, 3.4.1.1.c.1 (No Build Areas) to allow 5 isolated disturbances of 30% slope for access roads totaling 1,313 square feet disturbance. The property is located off of Highway 502, within the Jacona Land Grant, within Section 15, Township 19 North, Range 8 East, (Commission District 1).

A public hearing will be held in the County Commission Chambers of the Santa Fe County Courthouse, corner of Grant and Palace Avenues, Santa Fe, New Mexico on the 16th day of July 2015, at 4 p.m. on a petition to the County Development Review Committee.

Please forward all comments and questions to the County Land Use Administration Office at 986-6225.

All interested parties will be heard at the Public Hearing prior to the Commission taking action.

All comments, questions and objections to the proposal may be submitted to the County Land Use Administrator in writing to P.O. Box 276, Santa Fe, New Mexico 87505-0276; or presented in person at the hearing.

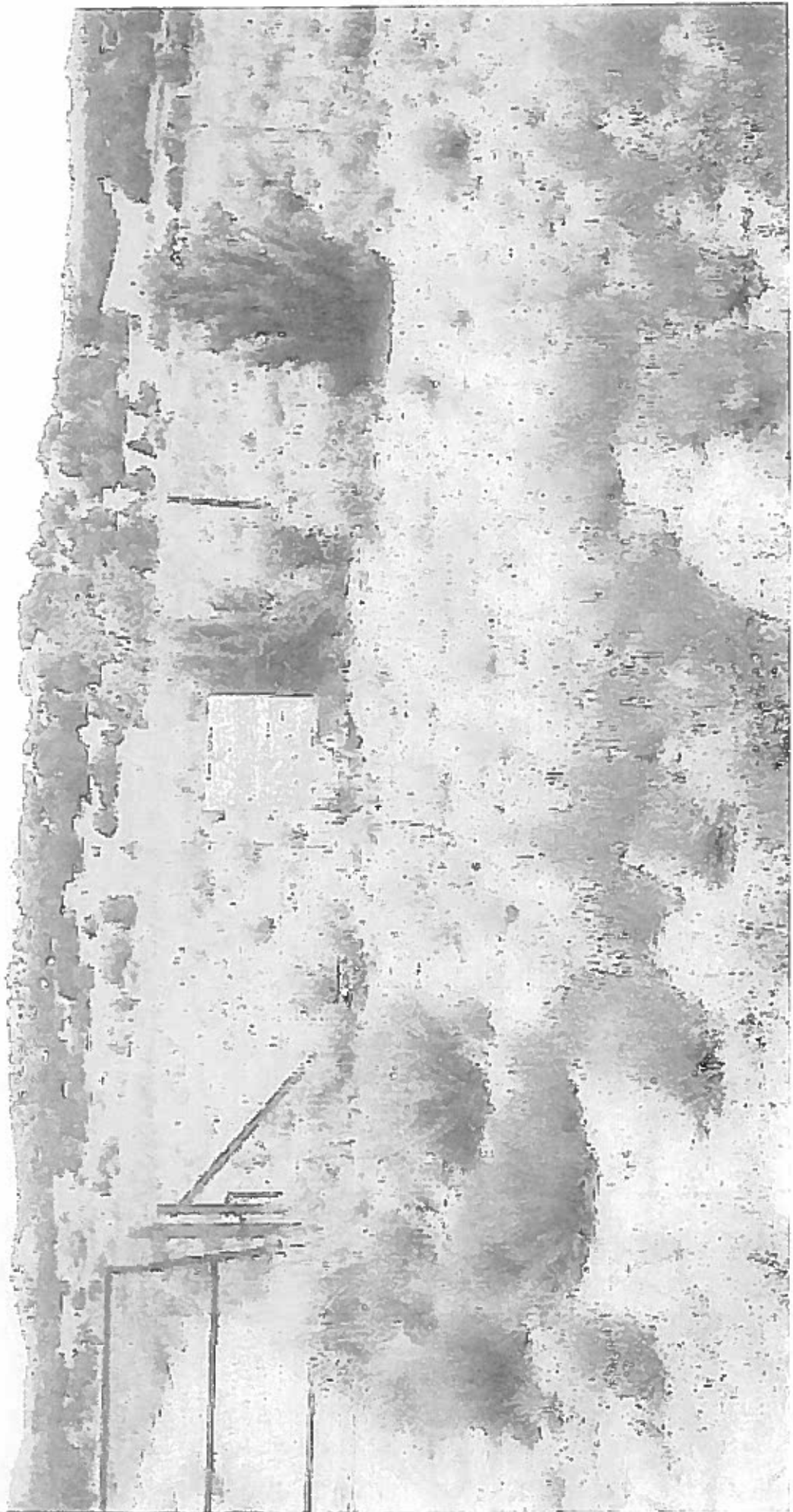
Please forward affidavit of publication to the County Land Use Administrator, P.O. Box 276, Santa Fe New Mexico 87504-0276.

AFFIDAVIT MUST BE DELIVERED TO THE LAND USE DEPARTMENT AT LEAST (3) DAYS AFTER POSTING.

Published in the Santa Fe New Mexican on



NBC-62



NBC-65

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 Street, Apt. No., or PO Box No.: *11 West Gutierrez*
 City, State, ZIP+4: *Santa Fe, NM 87506*

PS Form 3800, June 2002 See Reverse for Instructions

NBC-66