

DRAFT

subject to approval

MINUTES OF THE
SANTA FE COUNTY
DEVELOPMENT REVIEW COMMITTEE

Santa Fe, New Mexico

August 21, 2014

This meeting of the Santa Fe County Development Review Committee (CDRC) was called to order by Chair Dan Drobnis, on the above-cited date at approximately 4:00 p.m. at the Santa Fe County Commission Chambers, Santa Fe, New Mexico.

Roll call preceded the Pledge of Allegiance and indicated the presence of a quorum as follows:

Members Present:

Dan Drobnis, Chair
Susan Martin, Vice Chair
Bette Booth
Louie Gonzales
Frank Katz

Member(s) Excused:

Manuel Roybal
Phil Anaya

Staff Present:

Wayne Dalton, Building & Services
Vicki Lucero, Building & Services
Jose Larrañaga, Development Review Specialist
John Lovato, Development Review Specialist
Mathew Martinez, Development Review Specialist
Rachel Brown, Deputy County Attorney
Claudia Borchert, County Utilities Director
Buster Patty, Fire Marshal

III. APPROVAL OF AGENDA

Upon motion by Member Martin and second by Member Katz the agenda was unanimously approved as published.

IV. APPROVAL OF MINUTES: July 17, 2014

Member Martin offered a correction to page 8 clarifying her vote as follows: “Member Martin said she supports the part of the motion to deny the covenant restriction but in the interests of consistency and the fact that it also lifts the restriction on swimming pools she will oppose the motion as proposed.”

With that amendment Member Martin moved to approve the minutes. Member Katz seconded and the motion carried unanimously. [5-0]

VII. NEW BUSINESS

- A. CDRC CASE # V 14-5190 Pablo & Maria Cerquera Variance. Pablo and Maria Cerquera, Applicants, Request a Variance of Ordinance 2007-2 Village of Agua Fria Zoning District, Section 10.6 (Density and Dimension Standards), to Allow Three Dwelling Units on 0.962 Acres. The Property is Located at 2247 Paseo de Tercero, in the Traditional Community of Agua Fria, within Section 5, Township 16 North, Range 9 East, Commission District 2**

Mathew Martinez read the case caption and gave the staff report as follows:

“The subject lot was created in 1991 by way of Family Transfer and is recognized as a legal lot of record. The Applicants have owned the property since 1994. There are currently two dwelling units on the property. Currently the Applicants and their family reside in one of the existing homes and the other is occupied by tenants. The Applicants have stated the proposed home will also be occupied by tenants until such time their children are of age – adults.

“The Applicants request a variance of Ordinance No. 2007-2, Village of Agua Fria Traditional Community Zoning District, § 10.6, Density and Dimension Standards, to allow three dwelling units on 0.962 acres. The Applicants state a variance is needed in order to develop the remaining portion of the property. The Applicants intend to place an additional manufactured home on the property to provide them with additional income and for future use for their children. The property is lacking approximately 0.038 acres or 1,152 square feet in order to meet code requirements for a third dwelling unit.

“Growth Management staff have reviewed this Application for compliance with pertinent Code requirements and finds the project is not in compliance with County criteria for this type of request.”

Mr. Martinez stated staff was recommending denial of a variance of Ordinance No. 2007-2, Village of Agua Fria Zoning District, § 10.6, Density and Dimension Standards, to allow three dwelling units on 0.962 acres. If the decision of the CDRC is to recommend approval of the Applicants’ request, staff recommends imposition of the following conditions:

1. The Applicant shall comply with all applicable water conservation measures. (As per Ordinance No. 2002-13).
2. The Applicant must obtain a development permit from the Building and Development Services Department for the additional dwelling unit. (As per Article II, § 2).
3. The placement of additional dwelling units is prohibited on the property. (As per Ordinance No. 2007-2 § 10.6).
4. The Applicant shall comply with all Fire Prevention Division requirements at time of development permit Application (As per 1997 Fire Code and NFPA Life Safety Code).

Member Katz asked if the only thing preventing them from adding the third home was the .038 and Mr. Martinez replied it was.

Member Booth asked for help in visualizing that area and Member Gonzales said the chambers they were in appeared to be approximately 2,000 square feet, or greater area than the discrepancy.

Member Gonzales how many units were on the property and Mr. Martinez said there are currently two units and they are requesting a third.

Duly sworn, Maria Cerquera stating they were requesting a minimal variance. Initially, the property was part of a larger holding belonging to her parents. They hope to have their children, who are currently in college, have a place to live. Before the children return they hope to use it for supplemental income. She explained the original property ran from Agua Fria to Rufina and was divided into equal parcels. She said they are on community water and city sewer and the additional dwelling will hook up to those services as well.

There was no one from the public wishing to provide testimony.

In Case #V 14-5190, Member Katz moved approval with staff conditions, stating it was a de minimus discrepancy. Member Booth seconded and the motion passed by unanimous [5-0] voice vote.

VII. B. CDRC CASE # V 14-5230 Sam Mendoza Variance. Sam Mendoza, Applicant, Requests a Variance of Article II, Section 4.3.3.b.ii (Small Lot Family Transfers), of the Land Development Code to Allow a Small Lot Family Transfer of 2.79 Acres Into Two Lots Prior to Being in Possession of the Family Proper for a Five-Year Period. The Property is Located at 58 Camino Don Fidel, Off the 599 West Frontage Road, within Section 36, Township 17 North, Range 9 East, Commission District 2

Mr. Martinez read the case caption and gave the staff report as follows:

“The subject lot was created in April 2005, by way of Family Transfer and is recognized as a legal lot of record. The Applicant has owned the property since March 18, 2014. Since the Applicant has only owned the property for a five-month period, the property is not eligible for a small-lot family transfer. The property is currently vacant.

“Article II, Subsection 3.3b.iii, Small-lot Family Transfer of the Land Development Code states proof that the land has been in lawful possession of the family proper for no less than five years and that the recipient is an adult or an emancipated minor is required.

The applicant is requesting a variance of Article II, § 4.3.3.b.ii, of the Land Development Code to allow a Small Lot Family Transfer of 2.79 acres into two lots prior to being in possession of the Family Proper for a five-year period. The applicant states a variance is needed in order to give property to his grandchildren. The applicant purchased the property with the intent of giving his oldest granddaughters a piece of the property of their own. This would allow his grandchildren to reside next to and support each other after the passing of their mother.

“Growth Management staff have reviewed this Application for compliance with pertinent Code requirements and find the project is not in compliance with County criteria for this type of request.”

Mr. Martinez stated staff was recommending denial of a variance of Article II, § 4.3.3.b.ii, Small Lot Family Transfers, of the Land Development Code to allow a Small Lot Family Transfer of 2.79 acres into two lots prior to being in possession of the Family Proper for a five-year period. If the decision of the CDRC is to approve the Applicant’s request, staff recommends imposition of the following conditions:

1. Water use shall be restricted to 0.25 acre-feet per year per lot. A water meter shall be installed for each lot. Annual water meter readings shall be submitted to the Land Use Administrator by January 1st of each year. Water restrictions shall be recorded in the County Clerk’s Office (As per Article III, § 10.2.2 and Ordinance No. 2002-13).
2. A Plat of Survey meeting all County Code requirements shall be submitted to the Building and Development Services Department for review and approval (As per Article III, § 2.4.2).
3. Future division of either tract is prohibited: this shall be noted on the plat. (As per Article III, § 10).
4. The Applicants shall comply with all Fire Prevention Division requirements at time of Plat Review (As per 1997 Fire Code and NFPA Life Safety Code).

Member Katz asked how many dwellings could be built on the property without a variance. Mr. Dalton said only one dwelling per 2.5 acres is allowed in this area.

Chairman Drobni asked if the new Sustainable Land Development Code would preclude a family transfer. Mr. Martinez said that is correct, so a family transfer would have to be done prior to adoption of that code.

Member Katz asked if the CDRC had the option of granting a density variance and not the small-lot transfer. Ms. Lucero stated the request was for a family transfer and Ms. Brown indicated it is the County's practice to address the request specified in the application in accord with noticing to neighbors.

Applicant Gloria Mendoza, duly sworn, stated her daughter, a single mother with five children, died and they hope to help provide some stability for their grandchildren. She said there are other small lots in the area and none of the neighbors have voiced opposition.

Member Gonzales asked if the lots she spoke of are on individual wells. Ms. Mendoza said they plan to use a shared well and individual septic systems.

There was no one from the public wishing to speak.

Member Gonzales moved to grant the variance in Case #V 14-5230 with staff conditions. Member Booth seconded and the motion passed by majority[3-2] voice vote with Members Gonzales, Booth and Drobni voting with the motion and Members Martin and Katz voting against.

VII. C. CDRC CASE # V 14-5240 Julie Lopez Variance. Julie Lopez, Applicant, Michael Sandrin, Agent, Request a Variance of Article 4, Section 4.2 of Ordinance No. 2008-10 (Flood Damage and Stormwater Management) to Allow a Driveway within a Flood Hazard Area. The Property is Located at 12 Calle Dos Puentes, within the Vicinity of Chimayo, within Section 2, Township 20 North, Range 9 East, Commission District 1

John Lovato read the caption gave the following staff report:

“The subject lot was created in 1968, and is considered a legal lot of record. The property is currently vacant. The Applicant requests a variance of Article 4, § 4.2 of Ordinance No. 2008-10, Flood Damage and Stormwater Management, to allow the construction of a driveway within a FEMA designated Special Flood Hazard Area.

“On June 28, 2014, the Applicant submitted an Application for the construction of a driveway. After review of the Application, staff determined that the proposed driveway was located within a FEMA designated 100-Year Special Flood Hazard Area therefore, the Application was denied. The Applicant intends to develop the lot and place a residence on the property. The Applicant states, “denying the

driveway presents a hardship due to it being the only access to the property and only buildable area on the lot.”

“The subject property is accessed off Calle Dos Puentes Private Road. The portion of Calle Dos Puentes that services the property is approximately 690 feet in length and ranges from 16 to 20 feet in width and is a dirt driving surface located within a FEMA designated Special Flood Hazard Area. Calle Dos Puentes may be frequently impassible during inclement weather and thereby is not all-weather accessible. The designated Special Flood Hazard Area runs along the entire frontage of the property, and there is no other location to place a driveway outside of the Special Flood Hazard Area.

“Growth Management staff have reviewed this Application for compliance with pertinent Code requirements and finds the project is not in compliance with County criteria for this type of request. However, this property is accessed via a private road and there is no feasible way to relocate the road or driveway outside the floodplain.”

Mr. Lovato indicated staff recommends denial of a request to allow a variance of Article 4, § 4.2 of Ordinance No. 2008-10, Flood Damage and Stormwater Management. If the decision of the CDRC is to recommend approval of the Applicants request for a variance, staff recommends imposition of the following conditions

1. Water use on the lot shall be restricted to 1.00 acre-feet per year per lot. A water meter shall be installed for each lot. Annual water meter readings shall be submitted to the Land Use Administrator by January 1st of each year. Water restrictions shall be recorded in the County Clerk’s Office (As per Article III, § 10.2.2 and Ordinance No. 2002-13).
2. The Applicant must obtain a Development Permit from the Building and Development Services Department for the driveway and dwelling unit. (As per Article II, § 2).
3. The Applicant shall comply with all Fire Prevention Division requirements at time of Development Permit Application (As per 1997 Fire Code and 1997 Life Safety Code).
4. A restriction must be placed on the Warranty Deed regarding the lack of all-weather access to the subject lot. This restriction shall include language as follows: The access to this property does not meet minimum standards set forth by County Ordinances and Code. Site access, including access by emergency vehicles, may not be possible at all time. (As Per Ordinance 2008-10).

Member Katz asked for clarification of the exact location of the property on the aerial photographs and Mr. Lovato explained the placement and said there are approximately 16 other residences accessed by that road.

Responding to questions from Member Gonzales, Mr. Lovato said the house itself is not in the floodplain and the only time there would be a problem would be during a flood over the driveway.

Chairman Drobnis asked for clarification of Section C.2, as mentioned in paragraph f. in the packet material. Ms. Lucero said she would research that section.

Under oath, Julie Anna Lopez said she a curator of agriculture at Las Golondrinas and in 2010 purchased the land in Chimayo with her partner who subsequently died. At the time of purchase the designated floodplain was smaller and the original driveway crossed very little of the floodplain. After revisions were made more of the floodplain was involved.

Member Katz sought and received verification that the variance is for access to the property which is currently not all-weather.

Member Gonzales verified there was no other access to the building site. Ms. Lopez said she would drill a well after the driveway is in. Electricity will come from the Jemez Co-op. She added it will be an elevated driveway with culvert.

Ms. Lucero said that alternative to a variance would be to have an engineer design and construct an all-weather crossing. She said Camino Dos Puentes is also in the floodplain but that is not Ms. Lopez' property.

Responding to a question from Member Martin, Fire Marshal Buster Patty said they are recommending approval with conditions designed to buy time for the Fire Department to arrive, specifically a sprinkler system, and the applicant has agreed to that condition.

J. J. Gonzales, under oath, pointed out the roads that lead into the property in question, passing through Rio Arriba County. He noted there is some confusion whether Calle Dos Puentes, which is largely in a floodplain, is a County road or not. Using a map of the area, Mr. Gonzales showed the previous map Ms. Lopez relied upon when the floodplain was not as extensive and would have allowed a driveway without the need for a variance. He speculated that in order for that flood water to reach the property the Santa Cruz River would have to be 25 feet deep. He asked the committee to consider granting the variance.

There was no one else wishing to speak.

Ms. Lucero said she did not locate Section C. 2 but there is a set of criteria that need to be taken into account before granting a variance and these are stated in Section J.

Member Martin moved to approve CDRC Case #V 14-5240 with staff conditions, and Member Katz seconded, noting criteria had been met. The motion passed by unanimous [5-0] voice vote.

VII. D. CDRC CASE # V 14-5260 Vincent Mastrantoni/Webb Garrison Variance. (TABLED)

E. **CDRC CASE # S 12-5452 Cielo Colorado Estates Final Plat and Development Plan for Phase 1 and 2. (TABLED)**

VII. F. **CDRC CASE # V/Z 14-5210 Senior Campus at Caja del Rio. Caja del Rio Holdings, LLC, Applicant, Jenkins/Gavin, Agents, Request Master Plan Zoning Approval to Allow the Creation of a Large-Scale Mixed-Use District, to Be Utilized as a Senior Care Facility, to Be Developed in Four Phases on 28 Acres. The Request Also Includes a Variance of Article III, Section 6.4.2 (Density Review) and Article III, Section 10 (Lot Size Requirements) of the Land Development Code. The Property is Located at 28 Caja Del Rio Road, within Section 2, Township 16 North, Range 8 East, Commission District 2**

Jose Larrañaga read the case caption and gave the following staff report:

“The Applicant requests Master Plan Zoning approval to allow a Large Scale Mixed Use Development to be utilized as a Senior Care Facility on 28 ± acres. The proposed Senior Campus at Caja del Rio will provide a full spectrum of senior care and living options, including a skilled nursing facility, assisted living, a memory care facility and independent living.

“The proposed Senior Care Facility will be developed in four phases over a period of 8to10 years: Phase 1 will consist of a 58,000 square foot skilled nursing facility and a waste water treatment system, leach field and centralized drainage pond; Phase 2 will consist of a 150,000 square foot assisted living facility; Phase 3 will consist of a 180,000 square foot retirement housing/independent living complex; Phase 4 will consist of a 35,000 square foot memory care facility.

“The Applicant is requesting the following permitted uses as a Large Scale Mixed Use designation: retirement housing; assisted living facility; life care or continuing care facilities; skilled nursing facility; hospitals; medical clinics; social assistance, welfare and charitable services; services for elderly and disabled; offices; research and development services.

“The Applicant also requests a variance of Article III, § 6.4.2,Density Review, and Article III, § 10 (Lot Size Requirements), of the Land Development Code, to allow a maximum residential density of 20 dwelling units per acre. The proposed site is within the Basin Hydrologic Zone where the minimum lot size is one dwelling unit per 2.5 acres.

“The Applicant states the following reasons to allow the variance: 20 dwellings per acre is in accordance with the multi-family density permitted in the Sustainable Land Development Code; the density is permitted under the current County Land Development Code pursuant to Article III, § 11 which states: “Developments which import water from the surface Rio Grande or other

locations outside Santa Fe County to any location in Santa Fe County designated in the Development Code as other than urban or metropolitan locations are permitted to locate anywhere in the County provided they meet all requirements of the Code, except that in lieu of the density requirements as specified in Article III, Section 10, the proposed development shall meet the following criteria"; the multi-family uses permitted by the Large Scale Residential provisions cannot be developed at the single family density of one dwelling per 2.5 acres.

"Staff Response: The Land Development Code does not provide regulations to fully implement the density permitted in the SLDC; the requested density exceeds the requirements of the Land Development Code; Article III, § 11 of the Land Development Code was reviewed by County Staff and it was determined that this section is not applicable in regards to the density proposed for this development due to the fact that this development will be utilizing County Water; the Application is subject to compliance with Article III, § 10, of the Land Development Code in regards to density.

"Building and Development Services staff has reviewed the Applicants request for a variance of Article III, § 6.4.2, Density Review and Article III, § 10 (Lot Size Requirements), of the Land Development Code, to allow a maximum residential density of 20 dwelling units per acre, for compliance with pertinent Code requirements and has found that the following facts presented do not support the request: the requested density exceeds the requirements of the Land Development Code; no Application shall be approved unless it is determined that the density requirements of the Code will be met; minimum lot size shall be calculated based upon ground water storage only and the minimum lot size shall not be less than 2.5 acres; a variation or modification of this section of the Code may be considered more than a minimum easing of the requirements.

"Building and Development Services staff has reviewed this project for compliance with pertinent Code requirements and has found the following facts presented support the request for Master Plan Zoning to allow a Large Scale Mixed Use Development: the Application is comprehensive in establishing the scope of the project; the proposed uses are in compliance with the uses associated with a Large Scale Mixed Use District; the Application satisfies the submittal requirements set forth in the Land Development Code, with the exception of the density element of the request.

"The review comments from State Agencies and County staff have established that this Application, for Master Plan Zoning to allow a Large Scale Mixed Use Development, is in compliance with: State requirements; Article III, § 4.2.1.d.1 Large Scale Mixed Use Development; Article V, § 5 Master Plan Procedures. This Application is not in compliance with Article III, § 6.4.2 Density Review and Article III, § 10.

“The Santa Fe County Utilities Division (SFCU) has reviewed this submittal and is ready, willing and able to provide water service for this development subject to the following conditions: the BCC approves new water deliveries for this development, as required by Resolution 2006-57; the developer shall provide SFCU with data and calculations upon which the water budget was established. The development’s water budget shall be premised on the Santa Fe County Conservation Ordinance 2002-13, which enumerates required water conservation measures. SFCU may adjust the development’s water budget as appropriate; Approval by the BCC of the project’s water budget of 69.7 acre- feet/year, which is in the excess of the maximum of 35 acre-feet/year identified in Resolution 2006-57, § IX.C; the development shall justify the extraordinary circumstances that merit an exception to the water allocation limit; the developer shall compensate SFCU for the quantity of water rights and supply assigned to the development per Resolution 2006-57, Article X and IV. A. 3 of attached A, currently valued at \$11,000 per acre-feet; the development shall meet all other conditions of Resolution 2006-7, Resolution 2012-88, and all other SFCU water related ordinances and resolutions; The development is responsible for the design and construction of this project in its entirety and pays for all costs associated with the water system. Santa Fe County is not responsible for any costs incurred in order to ensure compliance with the County’s ordinances or other applicable rules and regulations; the development agrees to construct and dedicate all infrastructure needs identified by the SFCU; the development obtains a letter from the City of Santa Fe Water Division that identifies what, if any, additional water utility infrastructure is needed in order to supply the proposed 69.7 acre-feet/year demand; the development agrees to construct and dedicate all infrastructure needs identified by the City’s water utility hydraulic modeling.”

Mr. Larrañaga said staff recommends denial of the Applicants request for a variance of Article III, § 6.4.2, Density Review, and Article III, § 10, Lot Size Requirements. Staff has determined that the density requirements of the Code have not been met therefore staff cannot support the request for Master Plan Zoning to allow a Large-Scale Mixed Use Development.

If the decision of the CDRC is to recommend approval of the density variance and the request for Master Plan Zoning to allow a Large Scale Mixed Use Development, to be utilized as a Senior Care Facility and be developed in four phases on 28 ± acres, staff recommends the following conditions be imposed:

1. The Applicant shall comply with all review agency comments and conditions as per Article V, § 7.1.3.c.
2. Master Plan with appropriate signatures, shall be recorded with the County Clerk as per Article V, § 5.2.5.
3. Prior to submittal of Preliminary Plat or Development Plan the Applicant shall meet the requirements set forth in Resolution 2006-57.

Member Katz asked for clarification of the requirements of Resolution 2006-57. Claudia Borchert, County Utilities Director, stated the Utility is given leeway in what kind of requirements can be placed on development. The practice has been to impose

connection fees to cover the acquisition of water rights. A small, individual residential lot is calculated at \$11,000 per acre-foot. However, a development of this size might require a six-inch meter the fee for which would not cover the water use. Consequently the developer would need to pay more than the typical current installation fee charge.

Clarifying the provisions in Article III, Section 11, Ms. Borchert said this refers to a development contemplating its own surface water directly.

Responding to questions from Member Gonzales, Mr. Larrañaga said the agreement with the County Utility to provide water is not part of the request for a density variance. Ms. Lucero indicated at master plan stage the applicant only needs to show that the utility is willing and able to serve. At later stages they will have to go through an extensive process to procure the water they're requesting and the BCC will have to make that decision.

Jennifer Jenkins, agent for the Cauwels and Stuve who are proposing the project, was duly sworn and gave a presentation [*Exhibit 1*]. She said the request is for a large-scale mixed-use project providing a continuum of care for seniors from independent living to skilled nursing. Santa Fe currently lacks a facility of this type and it is a much needed service. She demonstrated the location and layout of the four phases. There is a single access off Caja del Rio, which will be extended as the project develops. There will be a modular onsite wastewater treatments system with use of effluent for onsite irrigation. If a public system becomes available they will hook up to that.

Ms. Jenkins pointed out the density variance is for the third phase, which is classified as residential. She said density based upon groundwater consideration is not applicable since they plan to tap into the County utility. Additionally, the current code does not accommodate the multifamily uses that are permitted in the code.

In response to a question from Member Katz, Ms. Jenkins said under the Sustainable Land Development Code there would be no need for the master plan or the variance.

Member Gonzales recognized the need for the project and the fact that approval would move up the timeline on the project.

There was no one from the public wishing to speak.

Member Katz moved to approve the master plan and grant the variance in Case #C/Z 14-52, Senior Campus with conditions as recommended by staff. Member Booth seconded and the motion carried by unanimous [5-0] voice vote.

VII. G. PETITIONS FROM THE FLOOR

None were presented.

H. COMMUNICATIONS FROM THE ATTORNEY

None were presented.

I. COMMUNICATIONS FROM THE ATTORNEY

None were presented.

J. COMMUNICATIONS FROM STAFF

Ms. Lucero distributed the requested list of BCC decisions on land use cases acted upon by the CDRC. [Exhibit 2] She noted the BCC's actions were in line with CDRC recommendations.

K. NEXT CDRC MEETING: September 18, 2014

L. ADJOURNMENT

Having completed the agenda and with no further business to come before this Committee, Chair Drobnis declared this meeting adjourned at approximately 5:30 p.m.

Approved by:

Dan Drobnis, Chairman
CDRC

ATTEST TO:

COUNTY CLERK

Before me, this ____ day of _____, 2014.

My Commission Expires:

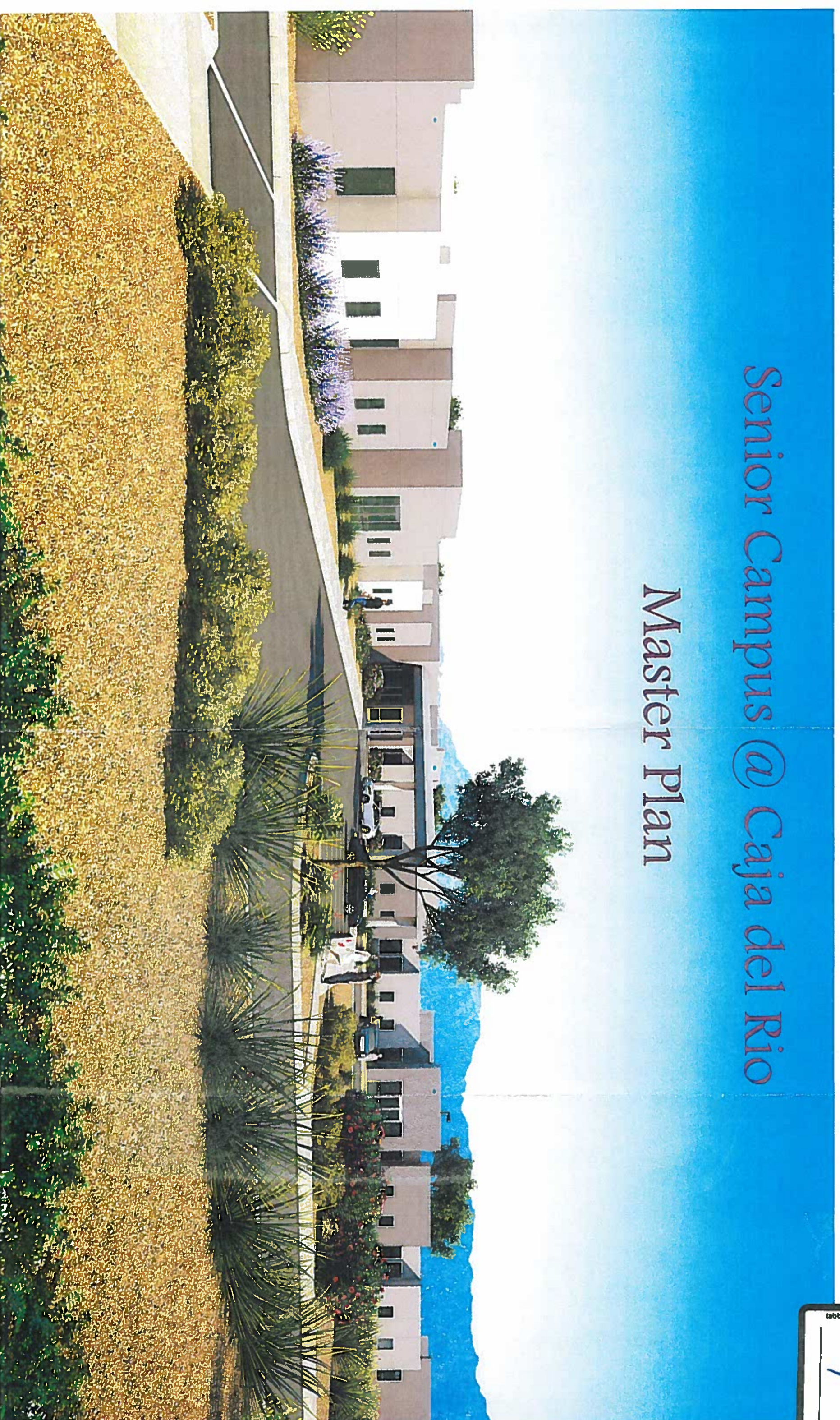
Notary Public

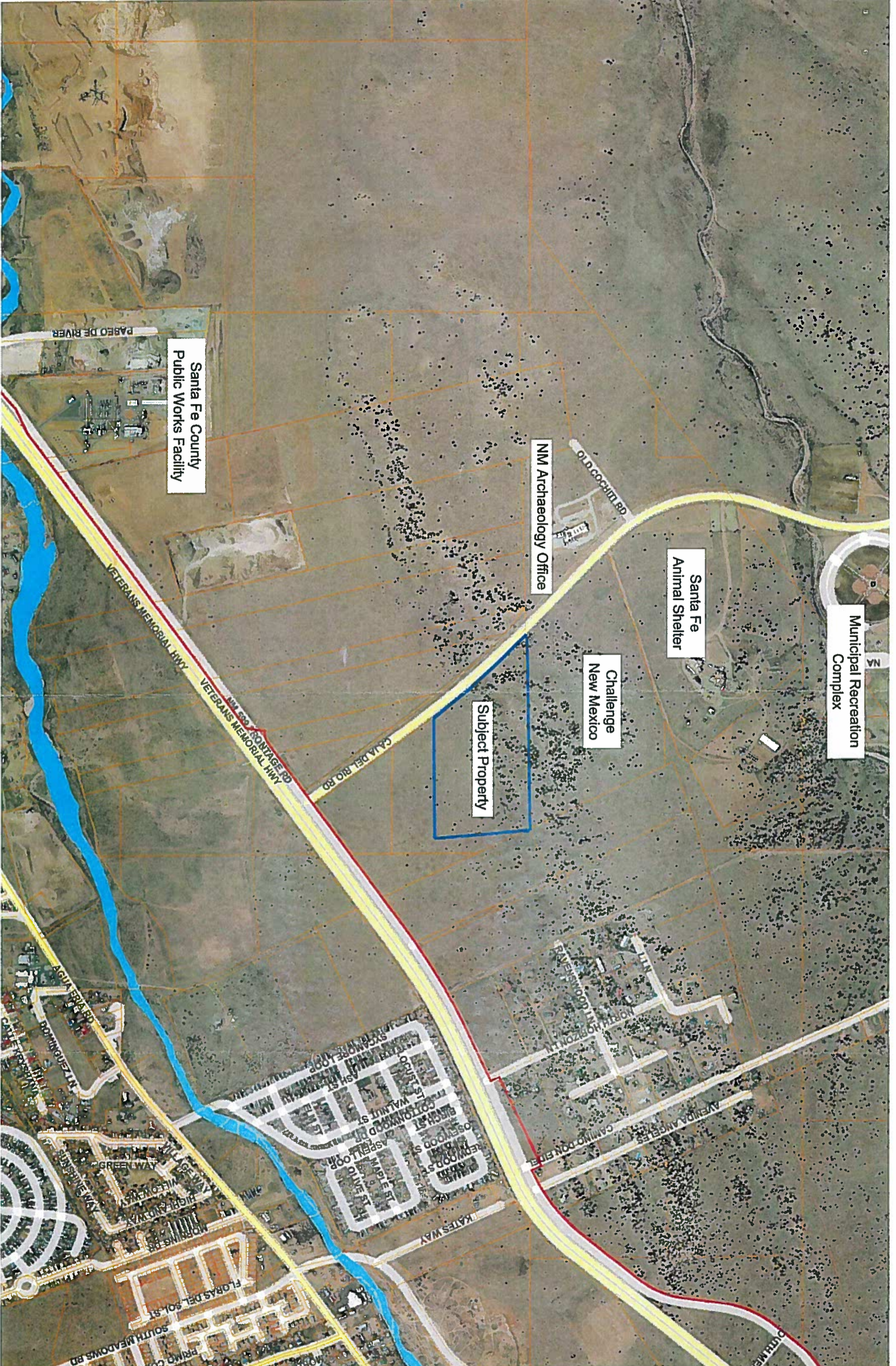
Submitted by:


Debbie Doyle, Wordswork

Senior Campus @ Caja del Rio

Master Plan





Santa Fe County
Public Works Facility

NM Archaeology Office

Santa Fe
Animal Shelter

Municipal Recreation
Complex

Challenge
New Mexico

Subject Property

PABEO DE RIVER

VETERANS MEMORIAL HWY
VETERANS MEMORIAL HWY

OLD COCHITI RD

CALIA DEL RIO RD

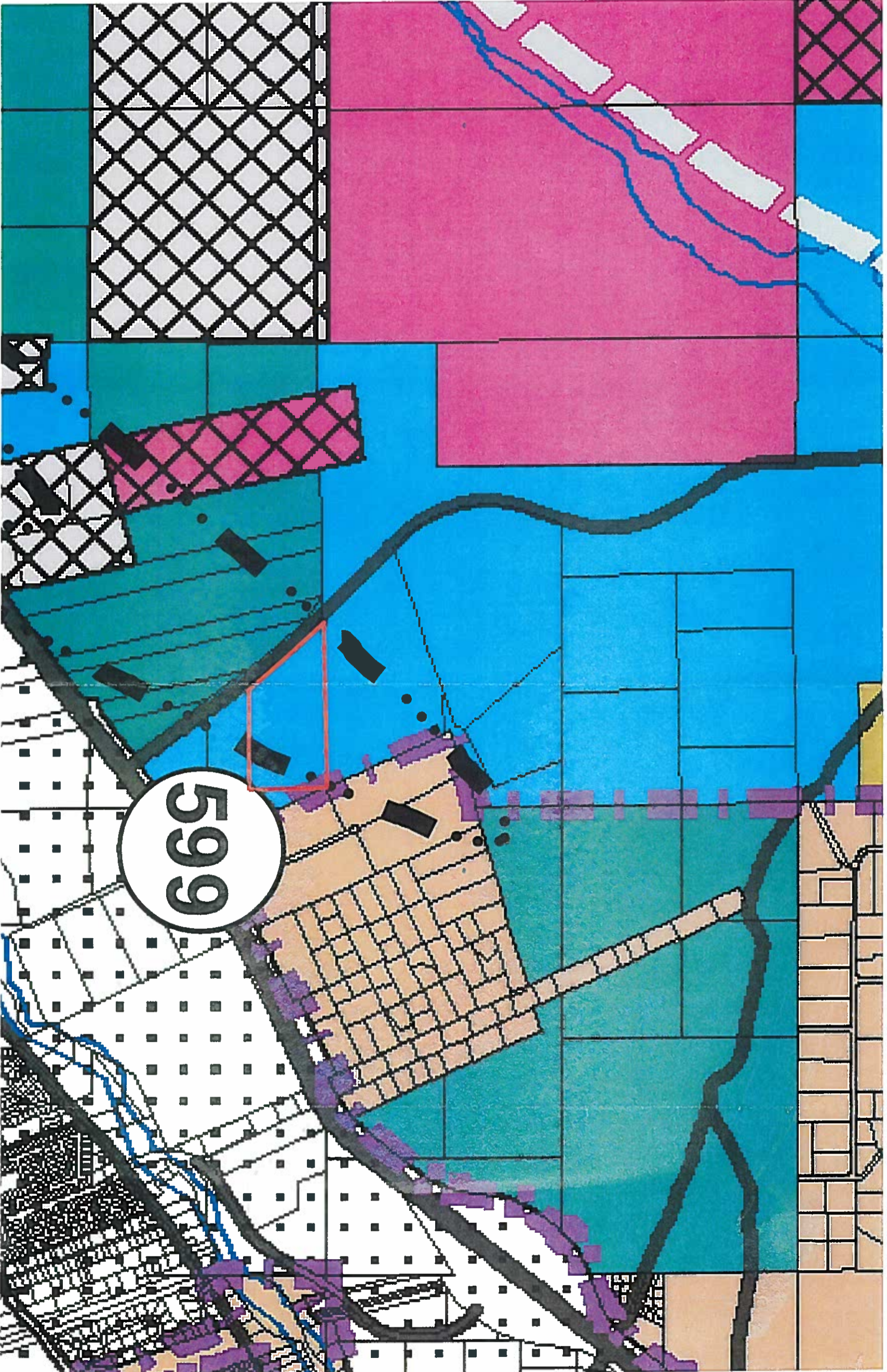
AGUA RIVA RD
DOMINGUEZ LN
NIZARDI LN
GREEN WAY
MORNING DR
FLORAS DEL SOL ST
SOUTH MEADOWS RD
PRIMO C

SYCAMORE LOOP
COTTONWOOD DR
BIRCH ST
OSWOOD ST
REDWOOD ST
MAGNET ST
ASPEN LOOP
WALNUT ST

KATES WAY

AVENIDA ANGELES
CAMINO DON EIDE
NORTH HOPKINSON
RENSHAW DR

PUTNAM



SLDC ZONING MAP

SITE DATA

ZONING: LARGE SCALE MIXED-USE
 PROPOSED DENSITY: INDEPENDENT LIVING SENIOR HOUSING
 20 DWELLINGS/ACRE, 200 UNITS MAXIMUM
 TOTAL ACREAGE: 27,996.4 ACRES +/- (1,219,523.18 +/- S.F.)

NOTES

PURPOSE STATEMENT
 THE PURPOSE OF THIS MASTER PLAN IS TO DESIGNATE THE SUBJECT PROPERTY AS A "LARGE SCALE MIXED-USE DEVELOPMENT" IN ACCORDANCE WITH ARTICLE III, SECTION 4.2.1 D OF THE SANTA FE COUNTY LAND DEVELOPMENT CODE.

PLATTING
 LOT CONFIGURATION IS CONCEPTUAL AND SUBJECT TO MODIFICATION THROUGH THE DEVELOPMENT REVIEW PROCESS WITHOUT THE NEED FOR A MASTER PLAN AMENDMENT.

PERMITTED USE LIST

- RETIREMENT HOUSING
- ASSISTED LIVING FACILITY
- LIFE CARE COMMUNITY
- SKILLED NURSING FACILITIES
- HOSPITALS
- MEDICAL CLINICS
- SOCIAL ASSISTANCE, WELFARE AND CHARITABLE SERVICES
- SERVICES FOR ELDERLY AND DISABLED
- OFFICE
- RESEARCH AND DEVELOPMENT SERVICES

WASTEWATER NOTE:

THE PROJECT WILL BE SERVED BY AN ON-SITE WASTEWATER TREATMENT SYSTEM THAT MEETS THE APPROVAL OF THE SANTA FE COUNTY UTILITY DIVISION AND THE NEW MEXICO ENVIRONMENT DEPARTMENT.

COUNTY APPROVALS:

Approved by the Board of County Commissioners at their meeting of _____ as Case # _____

Chairman _____ Date _____

Approved by _____ County Land Use Administrator _____ Date _____

Approved by _____ County Fire Marshal _____ Date _____

Approved by _____ County Fire Marshal _____ Date _____

OWNER'S CONSENT:

Know all persons by these presents that the undersigned owners have caused this Master Plan to be prepared. All that appears on this plan is made with the free consent and in accordance with the desires of the undersigned owners.

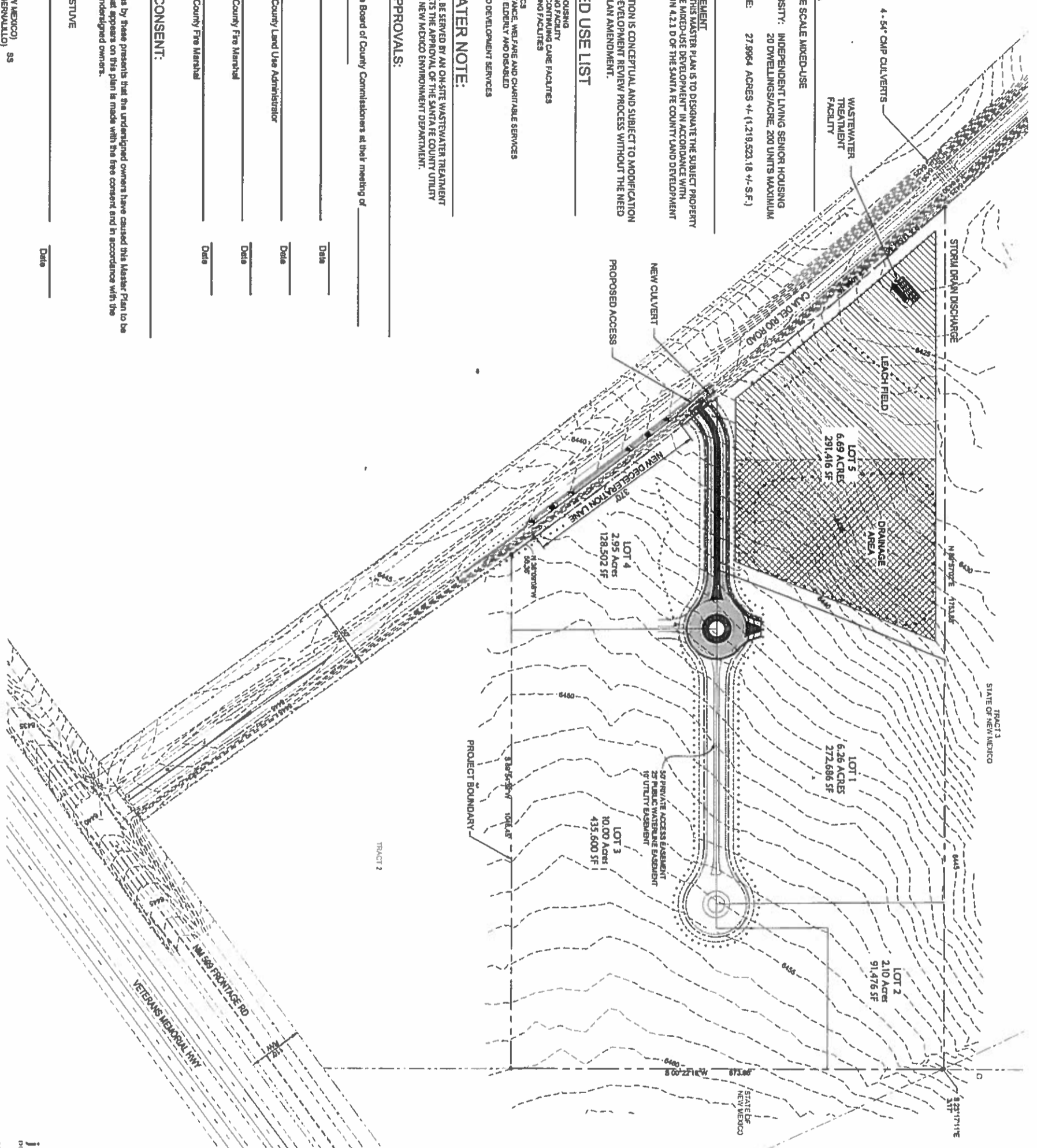
CAUWELLS & STUVE

By _____ Date _____

(STATE OF NEW MEXICO) SS
 (COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ADOPTED BEFORE ME ON _____ 20____
 BY _____ AUTHORIZED SIGNATORY OF CAUWELLS & STUVE, WHO SIGNED THIS INSTRUMENT
 ON BEHALF OF SAID COMPANY.

BY: _____ NOTARY PUBLIC
 MY COMMISSION EXPIRES: _____



LEGEND

- EX RIGHT-OF-WAY / PROPERTY LINE
- EX CURB & GUTTER
- EX STREET LIGHT
- EX WTR VALVE
- EX GAS MANHOLE
- EX FIRE HYDRANT
- EX STERIL DRAIN PIPE
- EX GAS LINE
- EX WATER LINE
- EX SEWER LINE
- EX BARRIERE FENCE
- EX QUAD RAIL
- BENCHMARK
- EX ASPHALT TO BE REMOVED
- EX UTILITY EASIMENT
- NEW CURB AND GUTTER
- NEW ASPHALT
- NEW CONCRETE VALLEY GUTTER
- NEW WATER LINE & WATER BOX
- NEW FIRE HYDRANT
- 7' DOMESTIC METER
- NEW SEWER LINE & MANHOLE
- NEW GAS LINE
- NEW UNDERGROUND ELECTRIC
- NEW TELEPHONE
- NEW CABLE
- TRANSFORMER
- B&T FENCE
- PRIVATE ACCESS EASIMENT
- LIMITS OF DISTURBANCE

MASTER PLAN



Jenkins & Stuve, Inc.
 ARCHITECTS & PLANNERS

1301 Canal Avenue, Suite 101
 Santa Fe, New Mexico 87501

HUTT-ZOLLARS
 ARCHITECTS & PLANNERS

1000 North Third Street, Suite 100
 Santa Fe, New Mexico 87501
 Phone (505) 833-9944 Fax (505) 833-5289

CAUWELLS & STUVE
 CONSULTANTS & DESIGN

PROJECT:
 Senior Campus @ Cim Del Rio
 Santa Fe County, New Mexico

PROJECT DATE & ISSUE DATE:
 Master Plan
 9 May 2014
 Master Plan

TRACT 3
STATE OF NEW MEXICO

N 89°57'02"E 1753.88'

S 23°17'11"E 3.17'

CAJA DEL RIO ROAD

R = 11524.16'

L = 1086.75'

LOT 5
6.69 ACRES
291,420 SF

LOT 1
6.26 ACRES
272,539 SF

LOT 2
2.10 Acres
91,312 SF

LOT 4
2.95 Acres
128,601 SF

LOT 3
10.00 Acres
435,600 SF

PHASE 1

PHASE 1

PHASE 2

PHASE 4

PHASE 3

PHASE 2

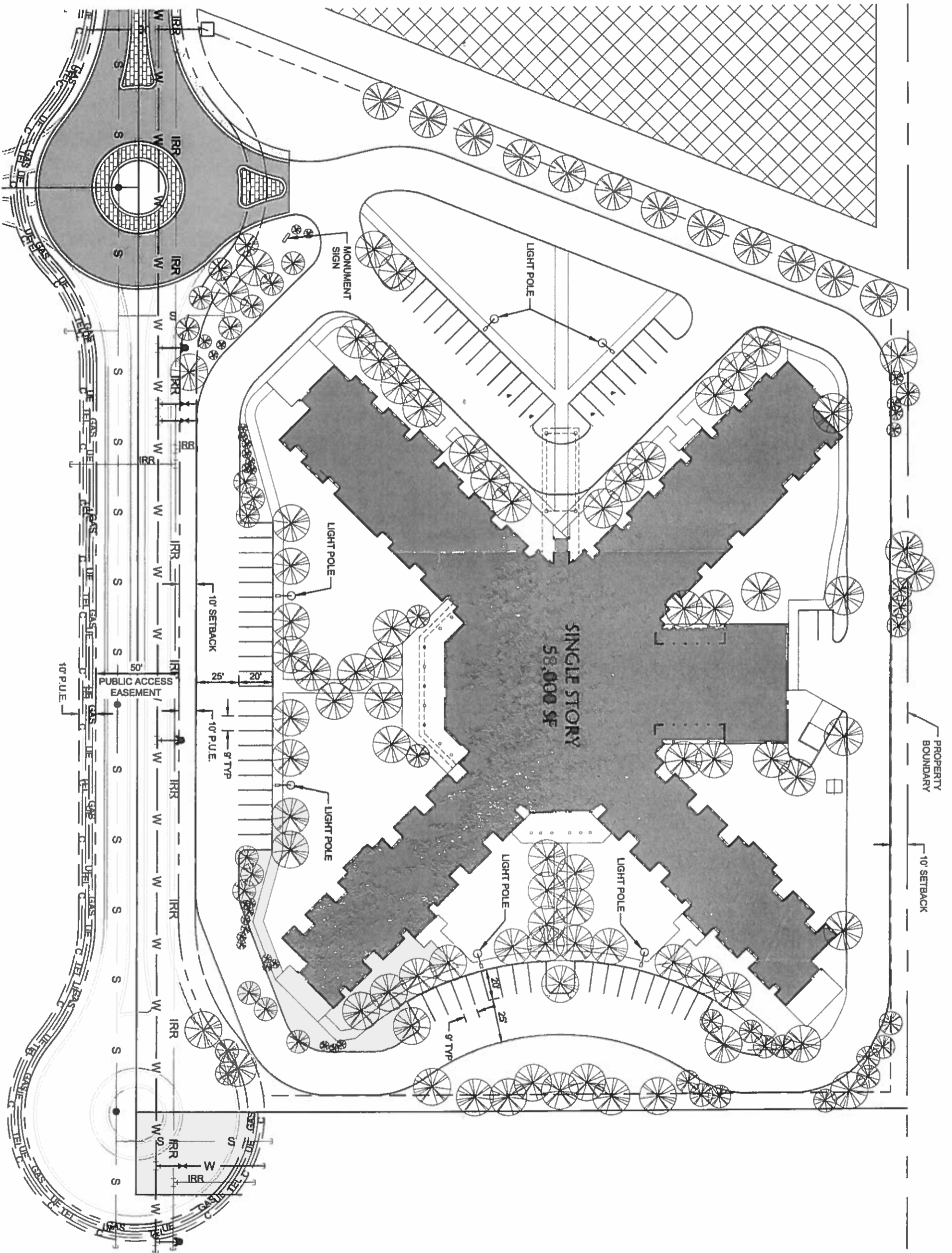
S 00°22'18"W 873.86'

STATE OF
NEW MEXICO

N 36°09'08"W 56.36'

S 89°54'39"W 1048.45'

PROJECT BOUNDARY



LOT TYPICAL - PHASE 1 SKILLED NURSING

T. 16 N. R. 8E. SECTION 2

SECTION 2

SECTION 1

R=11534.16'
A=4:24:27"
N43°30'53"W
LC=887.02'

TRACT 3
N/F
STATE
OF
NEW MEXICO

CAJA DEL RIO
150' RIGHT OF ROAD

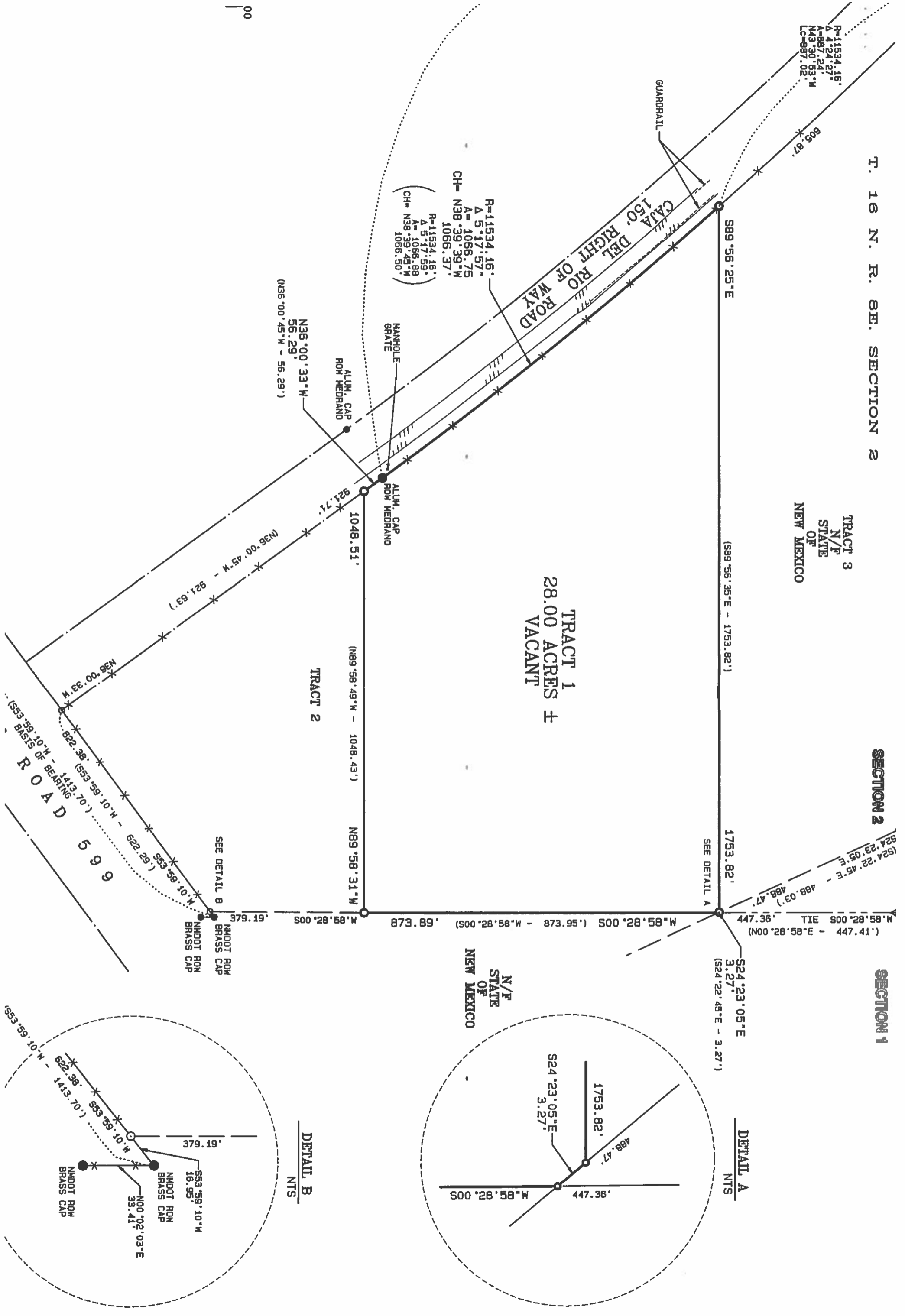
R=11534.16'
A=5:17:57"
A=1066.75'
CH= N38°39'39"W
1066.37'

R=11534.16'
A=5:17:58"
A=1066.88'
CH= N38°39'45"W
1066.50'

TRACT 1
28.00 ACRES ±
VACANT

TRACT 2

599 ROAD
BASIS OF BEARING



DETAIL A
NTS

DETAIL B
NTS



BCC Action on Land Use Cases for August 2014

CDRC CASE # V 14-5150 Lorenzo Atencio Variance, Lorenzo Atencio, Applicant, Requests A Variance Of Ordinance No. 2008-5 (Pojoaque Valley Traditional Community District), § 12.5 (Density Standards) To Allow A Land Division Of 1.45 Acres Into Two Lots. The Property Is Located At 10 Frances Lane, Within The Traditional Community Of Pojoaque, Within Section 7, Township 19 North, Range 9 East, (Commission District 1). **John Lovato, Case Manager.**

CDRC recommended denial by a 6-0 vote.
BCC denied the request by 5-0 vote.

CDRC CASE # V/FDP 14-5090 Stanley Cyclone Center. Santa Fe County, Applicant, Lorn Tryk (Lorn Tryk Architects), Agent, Request Final Development Plan Approval To Allow A 51,250 Square Foot Structure, To Be Utilized As An Event Center For Equestrian Events, On 11 Acres +. The Applicant's Request Also Includes A Variance Of Article III, Section 2.3.6 (Height Restrictions) To Allow The Proposed Structure To Exceed 24 Feet In Height And A Variance Of Article III, Section 4.4.4.F (Landscaping) Of The Land Development Code. The Property Is Located At 22 West Kinsell Avenue, Within Sections 27 & 28, Township 11 North, Range 9 East, (Commission District 3). **Jose E. Larrañaga, Case Manager.**

CDRC recommended approval by 7-0 vote.
BCC granted approval by a 5-0 vote.

CDRC CASE # S 13-5201 Oshara Village Preliminary And Final Development Plan. Century Bank, Applicant, Design Enginuity (Oralynn Guerrerortiz), Agent, Request Preliminary And Final Plat And Development Plan Approval For A 5-Lot Residential Subdivision Located On Tract C Of Oshara Village Phase 1, Which Consists Of 10.41 acres. The Property Is Located On The East Side Of Richard's Avenue, South Of I-25, Within Section 16, Township 16 North, Range 9 East (Commission District 5). **Vicente Archuleta, Case Manager.**

CDRC recommended approval by 7-0 vote.
BCC granted approval by a 5-0 vote.

CDRC CASE # S 10-5551 Tessera Subdivision Phase 2. Homewise Inc., Applicant, Design Enginuity (Oralynn Guerrerortiz), Agent, Request Preliminary Plat And Development Plan Approval For Phase 2 Of The Tessera Subdivision Which Consists Of 78 Residential Lots On 69.4 Acres. The Property Is Located Off The NM 599 Frontage Road, West Of The La Tierra Exit, Within Section 20, Township 17 North, Range 9 East (Commission District 2). **Vicente Archuleta, Case Manager.**

CDRC recommended approval by a 6-0 vote.
BCC granted approval by a 5-0 vote.

CDRC CASE # Z/V 13-5131 Ranch At Santa Fe Canyon. Ranch At Santa Fe Canyon LLC (Formerly Known As Santa Fe Canyon Ranch LLC), Applicant, Requests A Master Plan Amendment To The Previously Approved Master Plan (Santa Fe Canyon Ranch) To Remove Six Tracts Of Land (Containing 845 Acres) From The Approved Master Plan Which Consisted Of A Total Of 1,316 Acres. The Request Also Includes A Variance Of Article VII, Section 6.6.2g (Water Budgets And Conservation Covenants) And Ordinance No. 2007-1 (Swimming Pool Ordinance) To Allow The Installation Of A Swimming Pool On The 845 Acres Utilizing Permitted Water Rights And To Amend The Water Restrictive Covenants To Reflect The Allowance Of A Swimming Pool And To Specify That Water Restrictions For Landscaping And Irrigation Restrictions Shall Apply To 72-12-1 Wells Only. The Property Is Located Off Entrada La Cienega Along Interstate 25 In The La Cienega/La Cieneguilla Traditional Historic Community Within Sections 1, 2, 10, 12, 13, Township 15 North, Range 7 East And Sections 5, 6, 7, 8, Township 15 North, Range 8 East (Commission District 3). **Vicente Archuleta, Case Manager**

CDRC recommended approval by a 5-0 vote.

BCC granted approval by a 5-0 vote.

Daniel "Danny" Mayfield
Commissioner, District 1

Miguel M. Chavez
Commissioner, District 2

Robert A. Anaya
Commissioner, District 3



Kathy Holian
Commissioner, District 4

Liz Stefanics
Commissioner, District 5

Katherine Miller
County Manager

DATE October 16, 2014

TO: County Development Review Committee

FROM: Mathew Martinez, Development Review Specialist *MM*

VIA: Penny Ellis-Green, Growth Management Director *PEG*
Vicki Lucero, Building and Development Services Manager *VL*
Wayne Dalton, Building and Development Services Supervisor *WD*

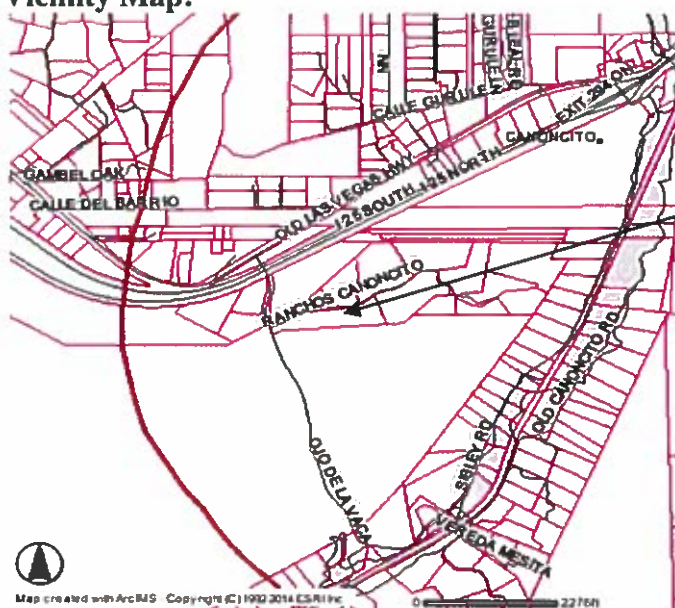
FILE REF.: CDRC CASE # MIS 14-5360 Mark Martineau Accessory Structure.

ISSUE:

Mark Martineau, Applicant, requests approval to allow a 2,184 square foot accessory structure on 15.03 acres to be utilized as a garage/storage building.

The property is located at 22 Ranchos Canoncito, off of Ojo De La Vaca Rd, within Section 14, Township 15 North, Range 10 East, (Commission District 4).

Vicinity Map:



Site Location

NBA-1

SUMMARY:

On March 11, 1997, the Board of County Commissioners adopted Ordinance No. 1997-4 which states that the CDRC is required to review for approval, any accessory structure which is greater than 2,000 square feet.

The Applicant requests approval to construct an accessory structure totaling 2,184 square feet to be utilized as a garage/storage building. The purpose of the structure is to store and protect the Applicants recreational vehicles, sports equipment, and personal vehicles. The proposed structure is steel framed, and will be constructed on a concrete slab. There is currently a residence on the property.

This Application was submitted on September 5, 2014.

Growth Management staff has reviewed this Application and has found the following facts to support this Application: Ordinance No. 1997-4 states residential uses and accessory structures are allowed anywhere in the County provided all of the requirements of the Code are met; the accessory structure is incidental and subordinate to the principal use; an accessory structure includes, an office/art studio/workshop, garage or carport for storage of personal vehicles, utility or storage sheds, a stable or barn, or greenhouse; the structure meets the requirements of Ordinance No. 1997-4.

APPROVAL SOUGHT: Approval of an accessory structure totaling 2,184 square feet to be utilized as a garage/storage building

GROWTH MANAGEMENT AREA: SDA-3

HYDROLOGIC ZONE: Basin Zone, minimum lot size per Code is 10 acres per dwelling unit. Lot size can be reduced to 2.5 acres per dwelling with signed and recorded water restrictions. There are currently water restrictions on the property.

FIRE PROTECTION: Hondo.

WATER SUPPLY: Domestic Well

LIQUID WASTE: Conventional Septic System

VARIANCES: No

AGENCY REVIEW: Agency: Fire Prevention Recommendation: Comments not received

NBA-2

STAFF RECOMMENDATION: Approval of an accessory structure totaling 2,184 square feet to be utilized as a garage/storage building subject to following conditions:

1. Compliance with minimum standards for Terrain Management as per the Land Development Code and compliance with Ordinance No. 2003-6 Water Harvesting.
2. The structure shall not be utilized for commercial use.
3. The height of the accessory structure shall not exceed 24 feet.

EXHIBITS:

1. Letter of request
2. Structural Drawings
3. Site Plan
4. Aerial of Site and Surrounding Area
5. Site Photo
6. Ordinance 1997-4 (Accessory Structures)

SOMMER KARNES & ASSOCIATES LLP

Mailing Address

Post Office Box 2476
Santa Fe, New Mexico 87504-2476

Street Address

200 West Marcy Street, Suite 133
Santa Fe, New Mexico 87501

Telephone: (505) 989.3800
Facsimile: (505) 982.1745

Karl H. Sommer, Attorney at Law
khs@sommer-assoc.com
Joseph M. Karnes, Attorney at Law
jmk@sommer-assoc.com

Mychal L. Delgado, Certified Paralegal
mld@sommer-assoc.com

James R. Hawley, Attorney at Law
Of Counsel
Licensed in New Mexico and California
jrh@sommer-assoc.com

September 5, 2014

VIA HAND DELIVERY

Mr. John Lovato
Development Review Specialist
Santa Fe County Land Use Department
102 Grant Avenue
Santa Fe, New Mexico 87501

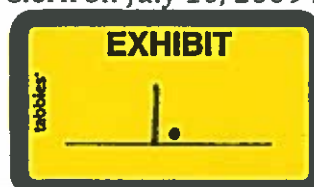
Re: Martineau Application for An Accessory Structure in Excess of 2,000 Square Feet
22 Ranchos Cañoncito, Santa Fe, New Mexico

Dear John:

This firm represents Mr. Mark J. Martineau, who owns the property located at 22 Ranchos Cañoncito, Santa Fe New Mexico. Mr. Martineau desires to construct and install a 2,184 sq. ft. accessory garage/outbuilding. The purpose of the garage is to store and protect Mr. Martineau's recreational vehicles, sports equipment, and his personal vehicles.

I enclose herewith the following documents:

1. The executed Application Form/Development Permit Application;
2. A Site plan showing a bird's eye view of the property and all of the current improvements;
3. A plan set for the garage/outbuilding with elevations and floor plans;
4. A copy of the Warranty Deed from Ms. Ellen Pierpont King in favor of Mr. Martineau, recorded in the records of Santa Fe County Clerk on August 7, 2009, as Instrument No. 1573268;
5. The recorded plat of survey showing Lot 1-A as legal lot of record approved by the Santa Fe County Land-Use Administrator on July 7, 2009, and recorded in the records of the Santa Fe County Clerk on July 10, 2009 in Plat Book 705, Page 012;



NBA-4

SOMMER KARNES & ASSOCIATES LLP

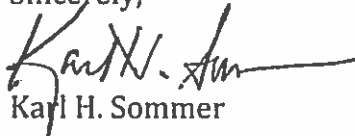
Mr. John Lovato
September 5, 2014
Page 2 of 2

6. A copy of the existing septic permit for the property;
7. A copy of the well permit for the property;
8. A copy of the proof of taxes paid for the property;
9. A copy of the vicinity map showing the relative location of the property.

Please let me know if there is anything more I need to provide you at this point.

I understand this matter will be heard by the County Development Review Committee on October 16, 2014. Please let me know when I can pick up the poster to be posted on the property.

Sincerely,



Karl H. Sommer

cc: Mark J. Martineau

NBA-5

GENERAL NOTES AND SPECIFICATIONS

- The materials and labor shown on these plans that are provided by Cleary Building Corp. are limited to those materials and labor as defined by the Cleary Building Corp. contract. Additional materials or accessories that are not being provided by Cleary Building Corp. may be shown on plans for context or building code compliance.
- The building is designed in accordance with the following codes and specifications:
 - 2009 International Residential Code (IRC)
 - 2005 Edition of National Design Specifications for Wood Construction
 - Building Gross Square Footage: 2650 Sq. Ft.

Building Design Loads:

Design Snow Load:	34 PSF Total Load
Design Wind Load:	20 PSF Ground Snow Load (Pg)
Design Wind Speed:	90 MPH (DGP C)
System Use Group:	1
Maximum Considered Earthquake Ground Motion for 0.2 Second Spectral Response (S _{0.2}):	47.12g
Maximum Considered Earthquake Ground Motion for 1.0 Second Spectral Response (S _{1.0}):	14.32g
Floor Deck Design Loads:	40 PSF LL + 10 PSF DL

- All lumber, unless otherwise noted, shall be S4S #2 SPF or better. All lumber embedded in the ground shall be treated with Chromated Copper Arsenate to a minimum level of 0.60 pounds per cubic foot.
- Grading should be such that the surface water is drained away from the foundation. Minimum grade would be six inches of vertical drop per ten feet of horizontal away from the foundation (5%).
- 3/4" used for concrete floor slab sub grade. If present, shall be economy graded granular material. Fill used in column holes shall be the excavated soil unless otherwise noted. All fill shall be free from debris, stones over 4", and frozen material.
- Electrical work is not a part of this drawing and shall be installed as per applicable codes.
- Heating, venting, and air conditioning work is not a part of this drawing and shall be installed as per applicable codes.
- Plumbing work is not a part of this drawing and shall be installed as per applicable codes.
- All nails are to be threaded hardened steel unless otherwise noted.
- This design is based on a building site with sand, silt, gravel, clayey gravel soil. As per the EIC building code and Referenced Standard ASCE 488.1, an assumed soil bearing design value of 1500 psf with increases for depth and width has been used in this design. If information is discovered before or during construction contrary to this, the building designer should be contacted.

BUILDING LOCATION

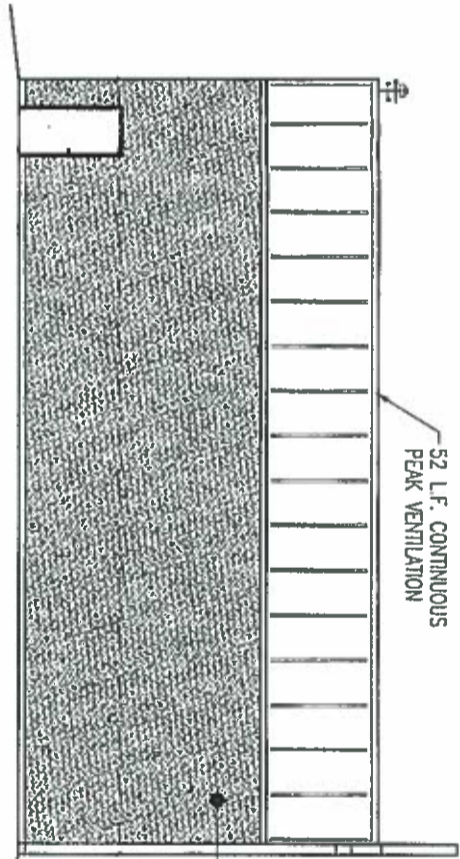
22 QUINCY CANYON
 SANTA FE, NM 87508
 COUNTY: SANTA FE
 BUILDING USAGE: PRIVATE GARAGE

NOTE:
 This building, as depicted, must be constructed 5 feet or more from any and all lot lines and 10 feet or more from any other buildings on the same lot. See IRC 2009 code and/or the local building official for exceptions.

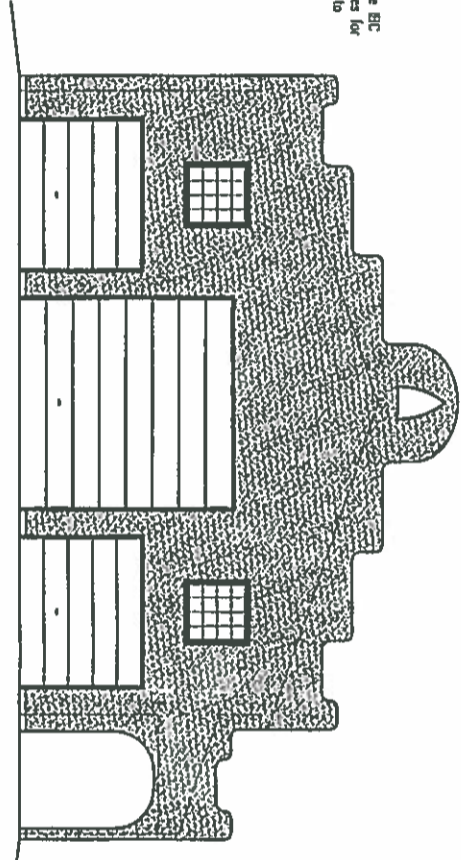
NOTE:
 This document, as presented and sealed, is not intended to be, nor should it be construed as such, a complete building design. This represents only the structural design of the entire shaft of the building. It should be noted that neither Cleary Building Corp., nor the designer, have investigated the soil conditions at the building site and the footings and foundation designs, where shown, are based on prescriptive bearing values. The client or general contractor is encouraged to contact other professional engineers or architects for the design of the interior layout, electrical, mechanical, plumbing, and site work and to contact the local building official to determine if he will require a soils investigation report. If any of the footings are to be placed on fill material, the client is encouraged to engage a professional engineer to test the soil for assurance that the fill material has a bearing capacity equal to or greater than the present value used in the building design. If a concrete floor will be finished, the design of the concrete floor is not part of these plans, nor is it intended to be. If shown, the concrete floor is only depicted to show its location with respect to other components of the building. The client or general contractor is encouraged to consult with other professional engineers or architects for the design of the concrete floor and its subgrade.

I hereby certify that the engineering document was prepared by me or under my direct personal supervision and that I am a Licensed Professional Engineer under the laws of the State of New Mexico.

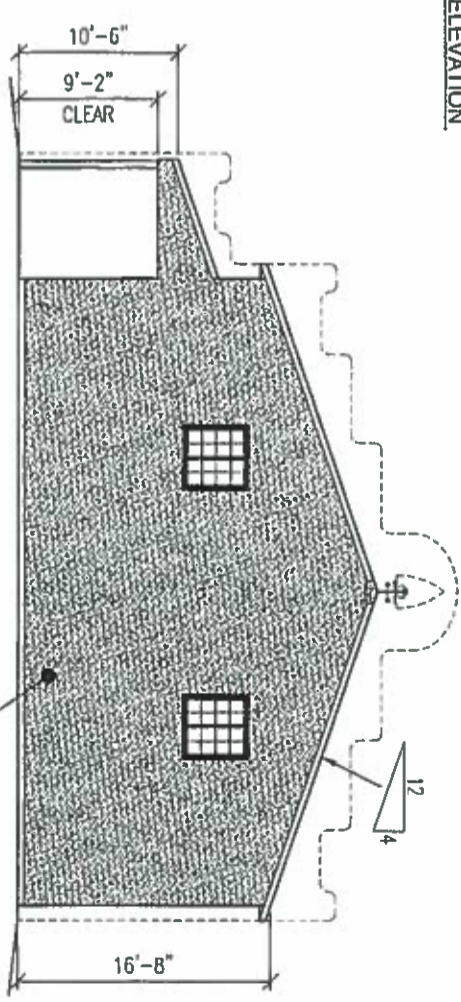
Signature: *Matthew B. Lowinger*
 Matthew B. Lowinger
 Printed or Typed Name
 License No. 16088
 License Renewal Date: December 31, 2014
 Pages covered by this seal: Pages 1-12



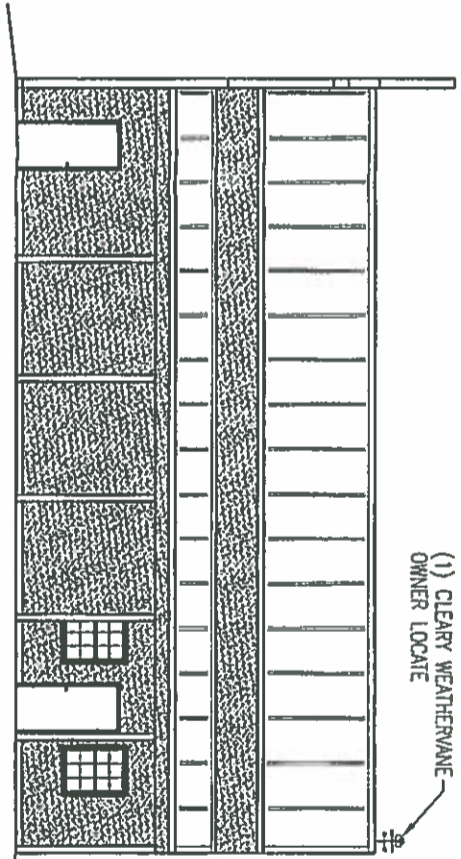
2-COAT STUCCO FINISH (ESR-2564) BY CLEARY SUBCONTRACT



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

TABLE OF CONTENTS

- ELEVATIONS
- FLOOR PLAN
- DECK FRAMING PLAN
- TYPICAL SECTION "A"
- TYPICAL SECTION "B"
- TYPICAL SECTION "C"
- TYPICAL SECTION "D"
- TYPICAL SECTION "E"
- STITCH SCREW DETAILS
- WEST ENDWALL FRAMING DETAILS
- DIAPHRAGM ACTION DETAILS
- TRUSS DIAGRAMS

DATE:	1/9/14	
DRAWN BY:	A. JORENBY	
SCALE:	NONE	
SALES SPECIALIST:	HERRON	
REVISIONS:	PUERTO WEST	
NO.	DATE	BY
1		
2		
3		

MARTINEAU, MARK
 42'x52'x16'-8" COMMERCIAL
 ELEVATIONS

CLEARY BUILDING CORP.
 190 PAQU STREET
 P.O. BOX 390220
 VERONA, WI 53593
 (800) 573-5550

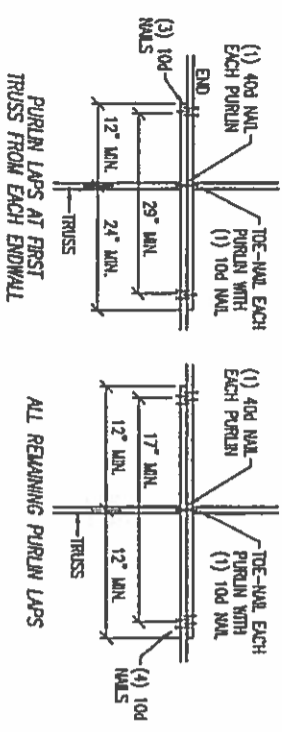
JOB NO. 2013106605
 SHEET 1 OF 12

COLUMNS:	COLUMN SIZE:	HOLE DEPTH:	HOLE DIAMETER:	FOOTING SIZE:	NUMBER OF COLUMNS REQUIRED:
(A) SIDEWALL	3-PLY 2x6x22'-0"	6'-2"	20"	10'x20" POURED CONCRETE (SEE NOTE)	5
(B) SIDEWALL	3-PLY 2x6x22'-0"	6'-4"	24"	12'x24" POURED CONCRETE (SEE NOTE)	7
(C) CORNER	3-PLY 2x6x22'-0"	5'-6"	18"	4'x14" PRECAST CONCRETE FOOTING	2
(D) ENDWALL	3-PLY 2x6x24'-8"	5'-6"	18"	4'x14" PRECAST CONCRETE FOOTING	2
(E) ENDWALL	3-PLY 2x6x27'-4"	5'-6"	18"	4'x14" PRECAST CONCRETE FOOTING	2
(F) ENDWALL	3-PLY 2x6x29'-0"	5'-6"	18"	4'x14" PRECAST CONCRETE FOOTING	1
(G) FULL LENGTH	3-PLY 2x6x12'-0"	5'-6"	20"	10'x20" POURED CONCRETE (SEE NOTE)	2
(H) FULL LENGTH	3-PLY 2x6x25'-0"	5'-6"	20"	10'x20" POURED CONCRETE (SEE NOTE)	1
(I) ENDWALL	3-PLY 2x6x25'-3"	5'-6"	18"	4'x14" PRECAST CONCRETE FOOTING	2
(J) ENDWALL	3-PLY 2x6x29'-4"	5'-6"	18"	4'x14" PRECAST CONCRETE FOOTING	4
(K) SIDEWALL	3-PLY 2x6x16'-0"	5'-8"	18"	4'x14" PRECAST CONCRETE FOOTING	5
(L) CORNER	3-PLY 2x6x16'-0"	5'-8"	18"	4'x14" PRECAST CONCRETE FOOTING	1
(M) CORNER	3-PLY 2x6x18'-0"	4'-9"	18"	4'x14" PRECAST CONCRETE FOOTING	1

NOTE: 18 TON BAGS OF SACKCRETE REQUIRED FOR COLUMN ANCHORAGE

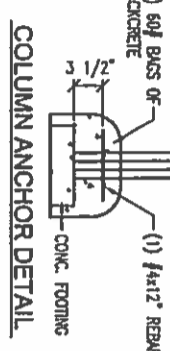
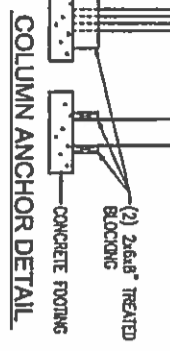
NOTE: 1.50 CU. YDS. CONCRETE NEEDED FOR POURED FOOTINGS

CONT. PURLIN DESIGN

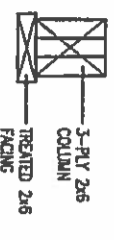


ANCHOR COLUMNS WITH (2) 2x6x6" TREATED BLOCKS ATTACHED TO COLUMN WITH (4) 20d NAILS PER EACH BLOCK FOR UPLIFT
 NOTE: COLUMN SETS ON TOP OF CONC. FOOTING - CHECK COLUMN CHART FOR EXACT FOOTING SIZE REQUIREMENTS

ANCHOR COLUMNS WITH (3) 6x6" BAGS OF SACKCRETE AND (1) 4x12" REBAR FOR UPLIFT
 NOTE: COLUMN SETS ON TOP OF CONC. FOOTING - CHECK COLUMN CHART FOR EXACT FOOTING SIZE REQUIREMENTS



NOTE: FACE ALL OPEN BAY COLUMNS WITH 2x6 TREATED LUMBER ATTACHED TO COLUMN WITH (1) 20d NAIL AT 12" O.C. (STAGGERED) (IF BAY HEIGHT IS 14' OR TALLER, INSTALL FACING TO FOOTING)

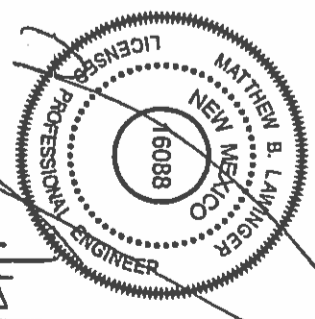
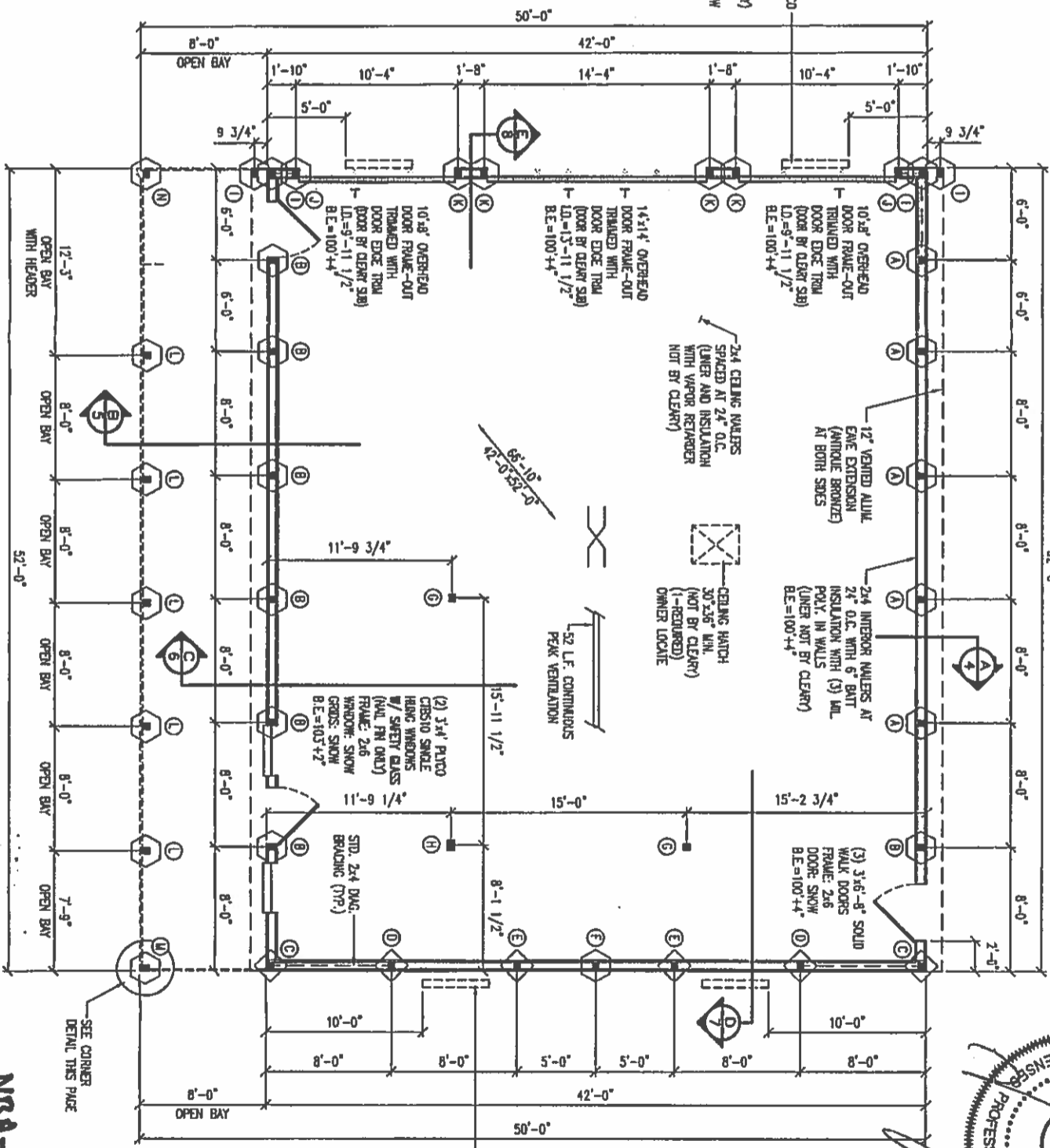


NOTE: TREATED 2x6 COLUMN-FACING (RIP FACING TO 4 1/2" E COLUMN TO BE WRAPPED WITH TRUSS)

CORNER DETAIL AT PORCH COLUMNS

- NOTES:
- FIELD VERIFY ALL DOOR AND WINDOW ROUGH OPENING SIZES PRIOR TO INSTALLING FRAME-OUTS
 - ATTACH ALL ROOF, SIDE, END AND GABLE STEEL WITH PAINTED SCREWS
 - ENDWALL COLUMNS ARE 3-PLY TO THE BUILDING CEILING HEIGHT AND SINGLE PLY FROM THERE TO THE ROOF PLANE
 - 2x6 JACKBRACING AT ENDWALL COLUMNS
 - SEE DETAIL PAGE 11
 - 2x4 PURLIN BLOCKING AT ENDWALL TRUSSES
 - 2x4 PURLIN WITH 2x4 ROOFLINE X-BRACING
 - SEE DETAIL PAGE 11

STEEL COLORS:	NOTES:	BUILDING ACCESSORIES:
ROOF: ANTIQUE BRONZE SIDES: 1/2" COX PLYWOOD GABLES: 1/2" COX PLYWOOD SLIDE DOORS: --- TRIM: ANTIQUE BRONZE ACCENTS: --- WAINSCOTING: ---	(1) CLEAR WEATHERWANE (OWNER LOCATE) ATTACH ROOF STEEL TO PURLINS WITH PAINTED SCREWS IN PAN AREA 6" BATT INSULATION WITH (3) MIL POLY. W WALLS	



11/7/14 NORTH

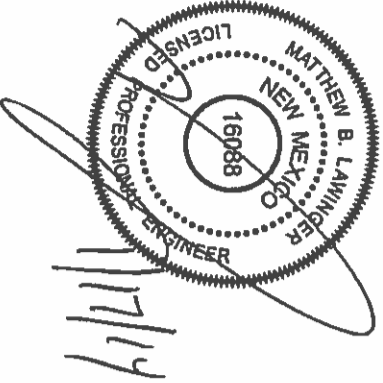
NSA-7

TEARY BUILDING CORP.
 ClearyBuilding.com
 190 PULU STREET
 P.O. BOX 830220
 VERONA, WI 53593
 (900) 373-5550

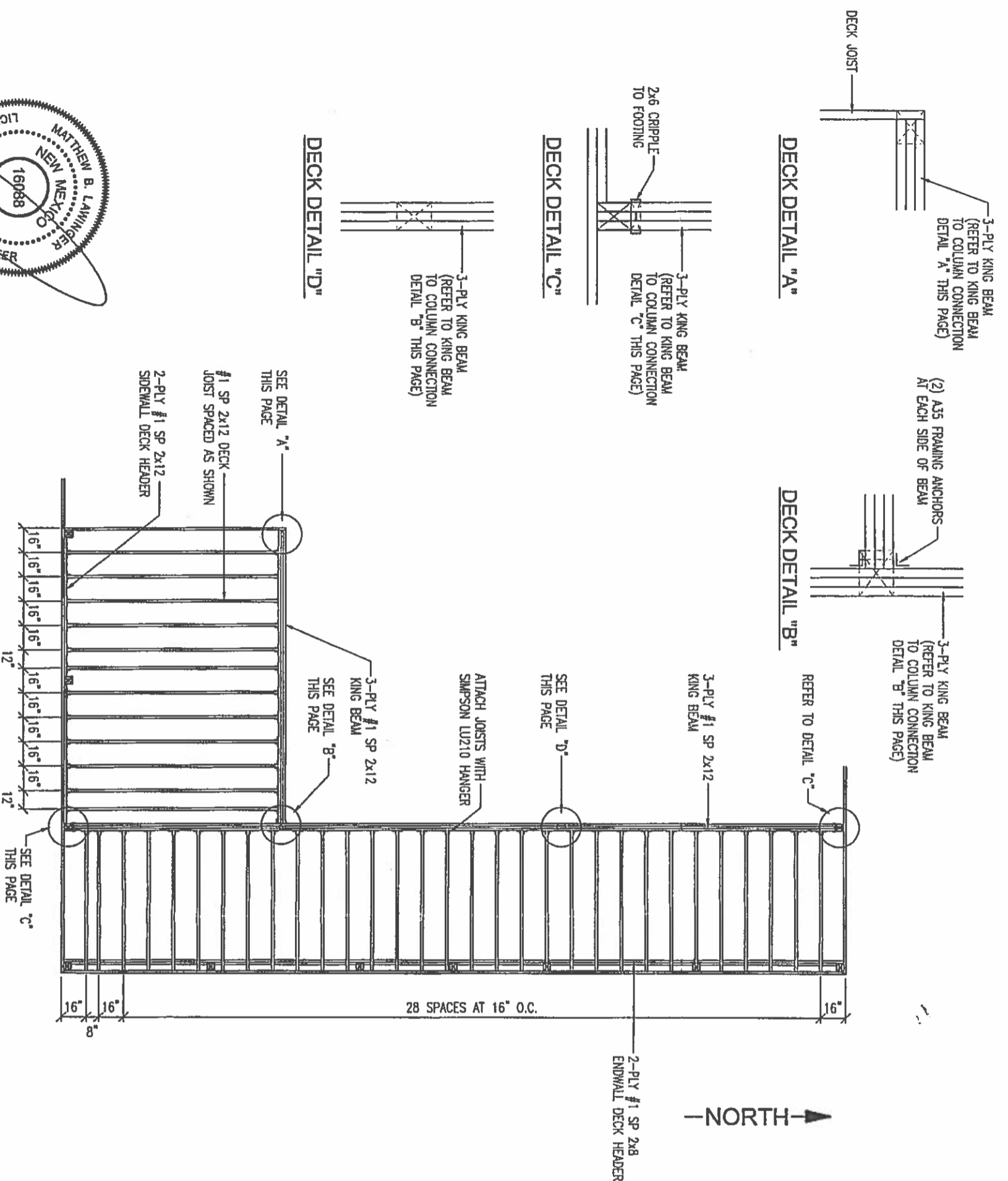
MARTINEAU, MARK
 42'x52'x16'-8" COMMERCIAL
 FLOOR PLAN

JOB NO. 2013106605
SHEET 2 OF 12

DATE:	1/9/14	
DRAWN BY:	A. JOREMBY	
SCALE:	NONE	
SALES SPECIALIST:	HERRON PUEBLO WEST	
REVISIONS:		
NO.	DATE	BY
1		
2		
3		

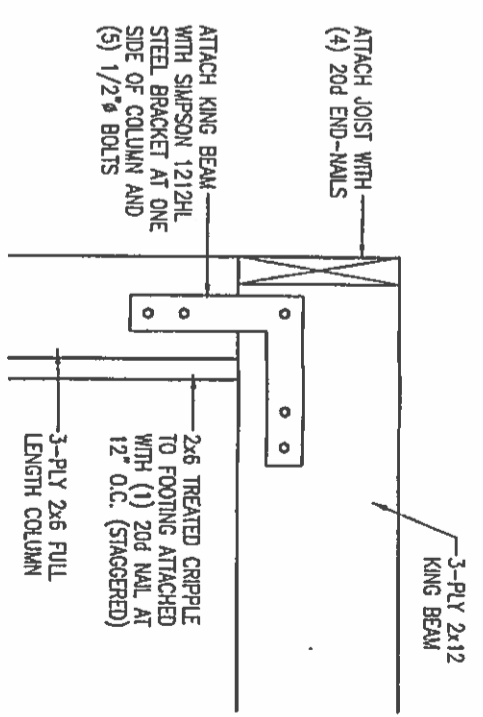


1/17/14

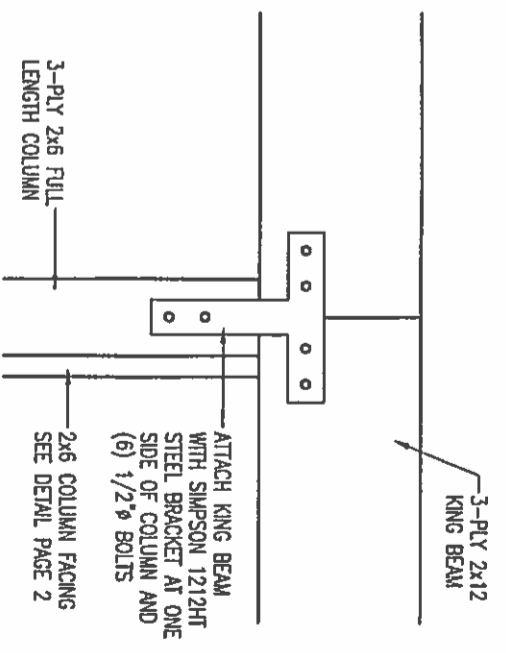


NBA-8

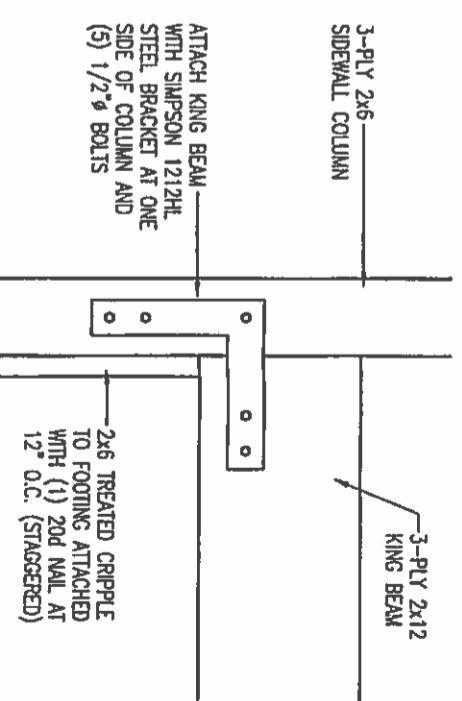
NORTH



KING BEAM TO COLUMN CONNECTION DETAIL "A"



KING BEAM TO COLUMN CONNECTION DETAIL "B"



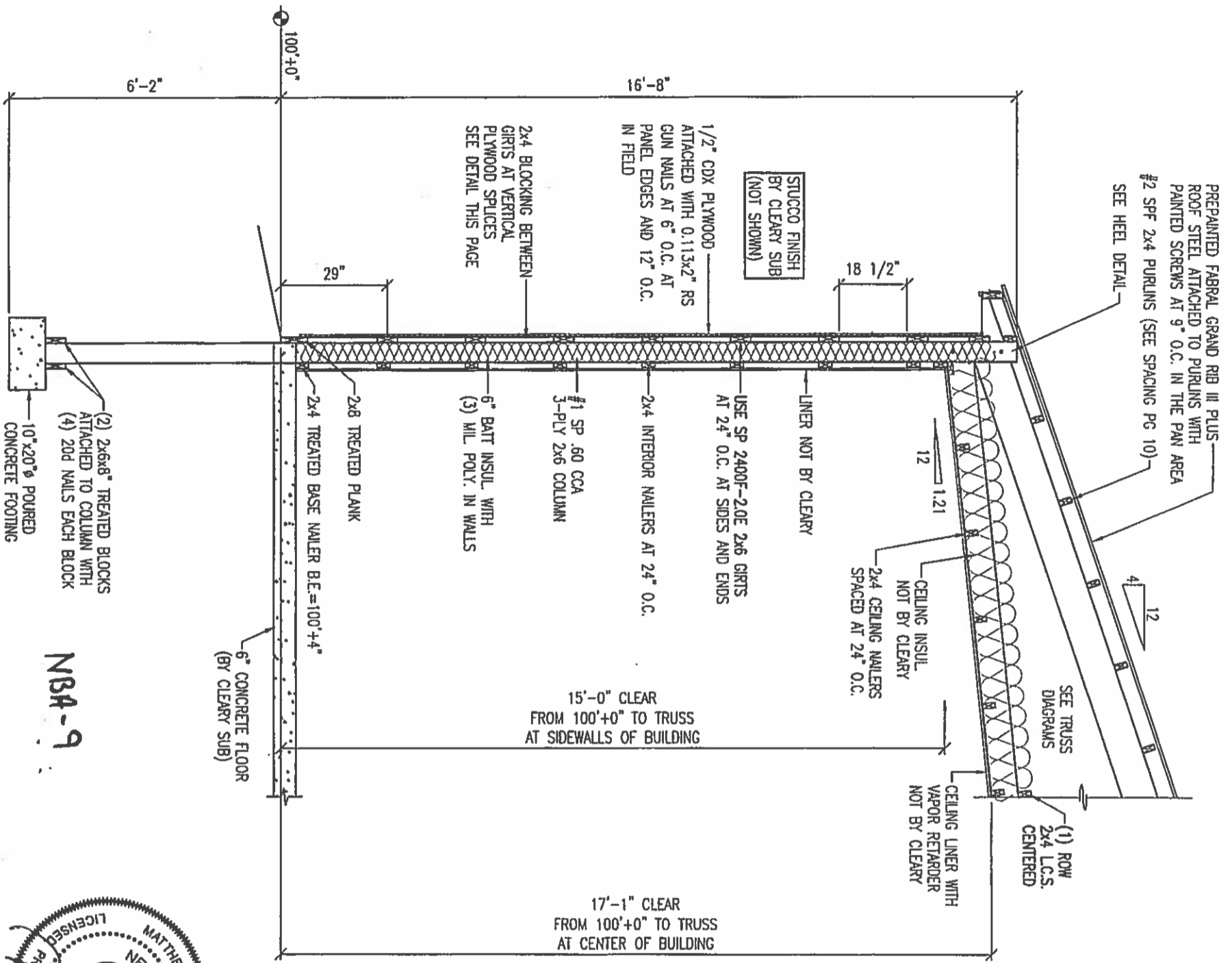
KING BEAM TO COLUMN CONNECTION DETAIL "C"

DATE:	1/9/14	
DRAWN BY:	A. JORENBY	
SCALE:	NONE	
SALES SPECIALIST:	HERRON PUERLO WEST	
REVISIONS:		
NO.	DATE	BY
1		
2		
3		

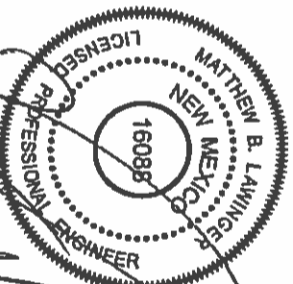
MARTINEAU, MARK
 42'x52'x16'-8" COMMERCIAL
 DECK FRAMING PLAN

CTEARBY
 BUILDING CORP.
 190 PAQU STREET
 P.O. BOX 930220
 VERONA, IN 43083
 (800) 373-5550

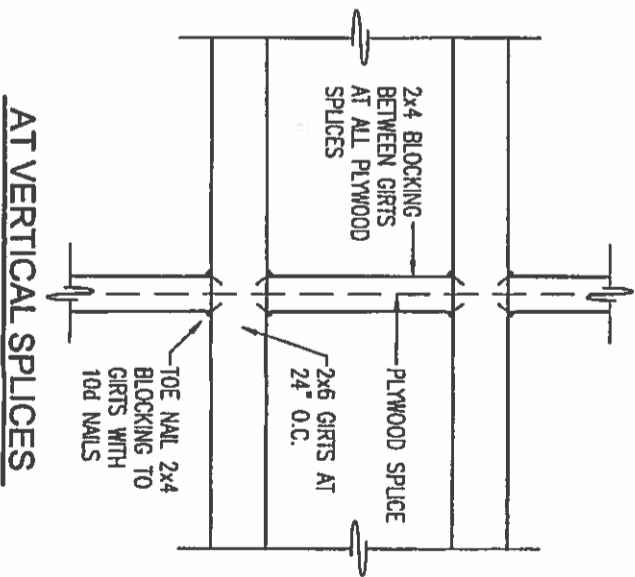
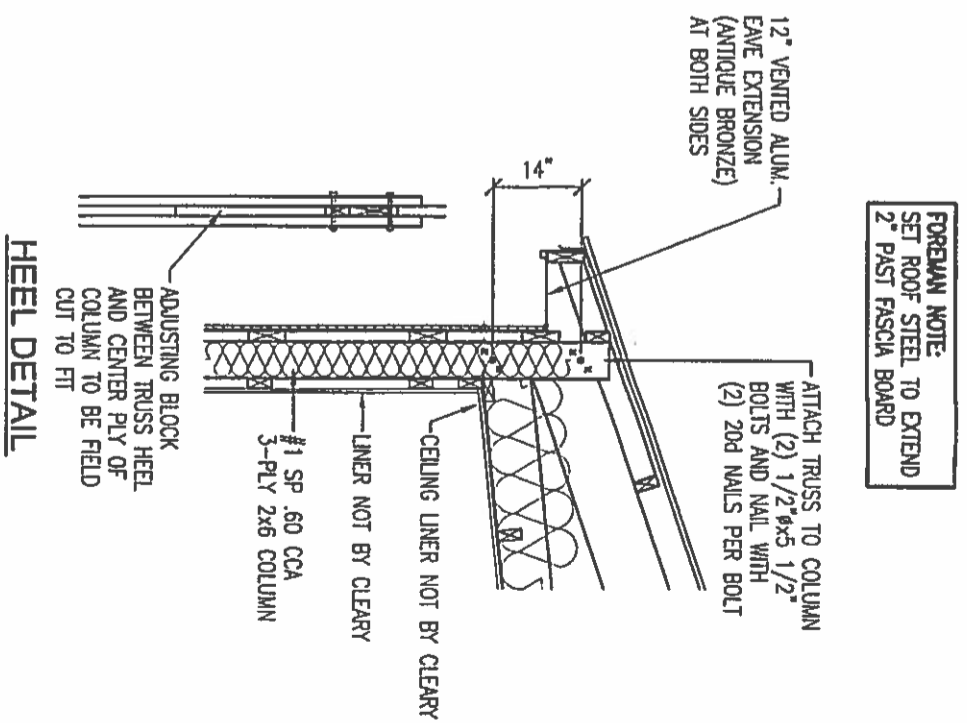
JOB NO.
 2013106605
 SHEET
 3 OF 12



NBA-9



1/17/14



DATE:	1/9/14	
DRAWN BY:	A. JORENBY	
SCALE:	NONE	
SALES SPECIALIST:	PUEBLO WEST	
REVISIONS:		
NO.	DATE	BY
1		
2		
3		

MARTINEAU, MARK

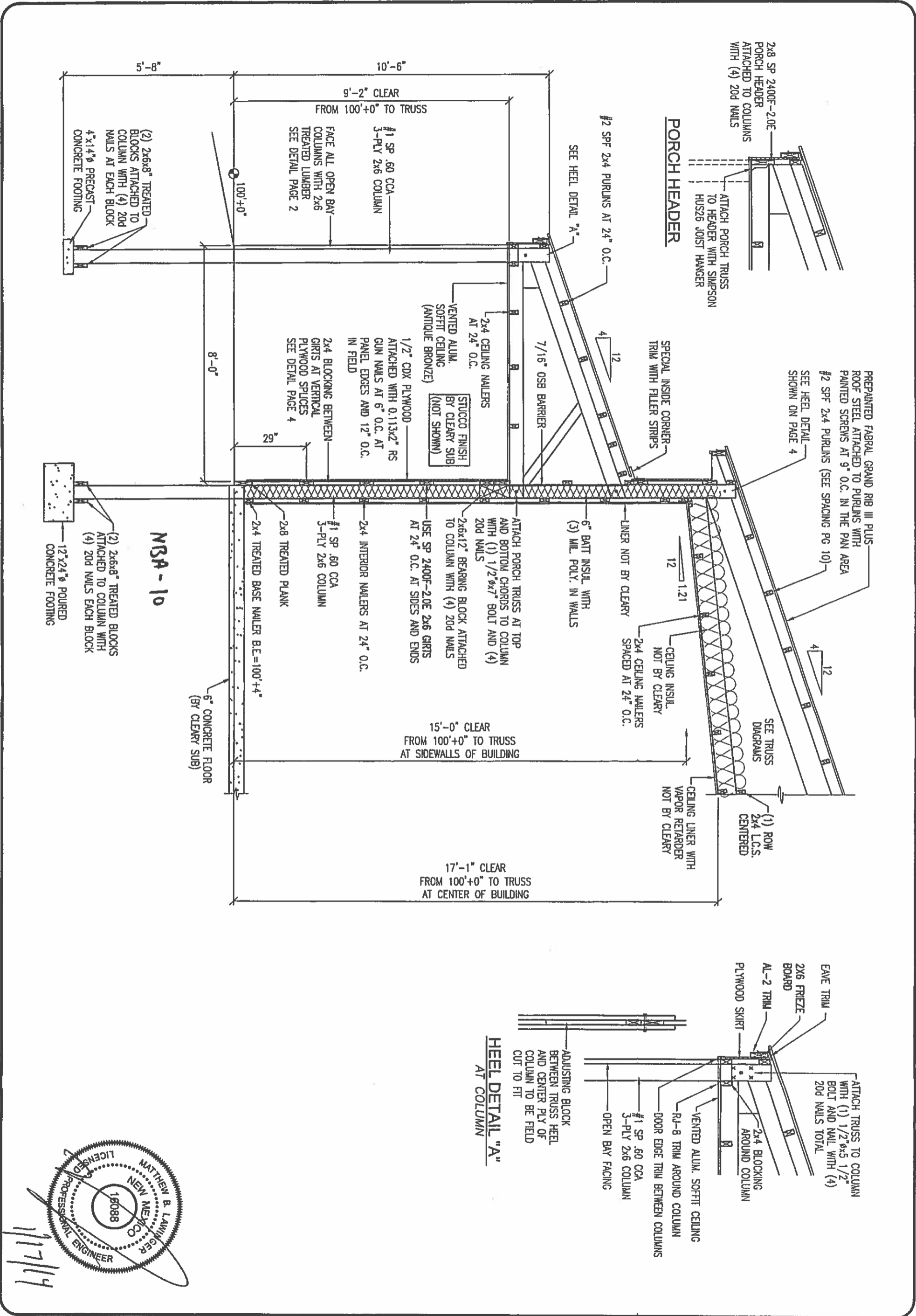
42'x52'x16'-8" COMMERCIAL

TYPICAL SECTION "A"



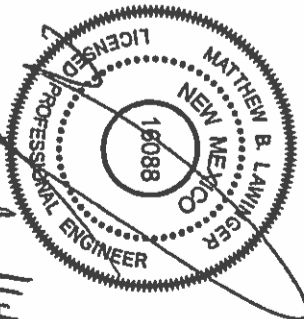
JOB NO. 2013106605

SHEET 4 OF 12



MSA-10

HEEL DETAIL "A"
AT COLUMN



1/17/14

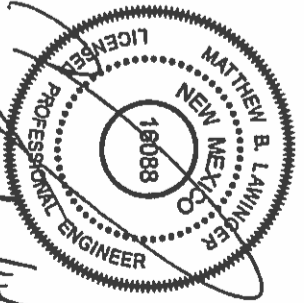
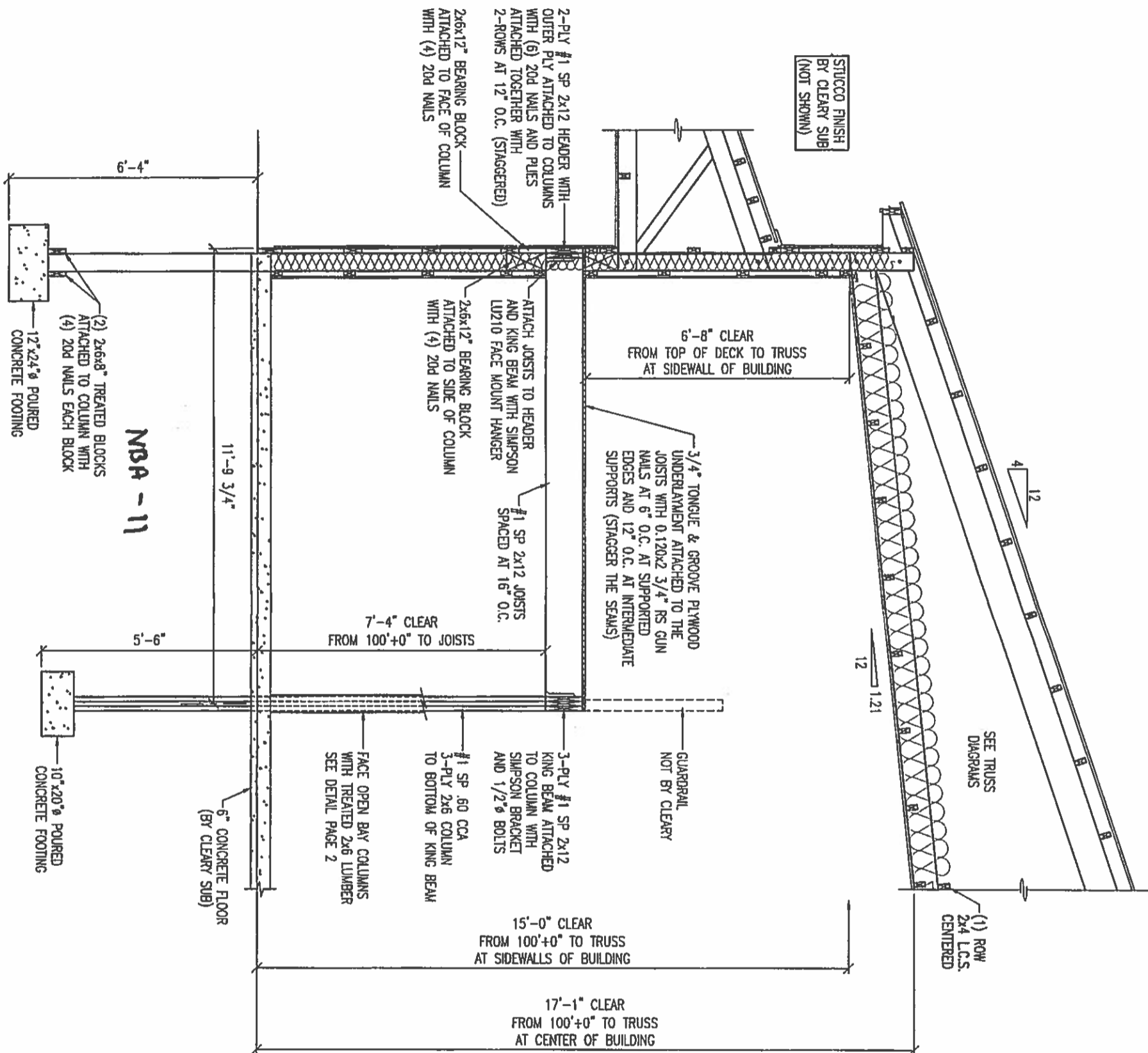
DATE:	1/9/14
DRAWN BY:	A. JORENBY
SCALE:	NONE
SALES SPECIALIST:	HERRON PUEBLO WEST
REVISIONS:	
NO. DATE BY	
1	
2	
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MARTINEAU, MARK
 42'x52'x16'-8" COMMERCIAL
 TYPICAL SECTION "B"

CTEARY BUILDING CORP.
 190 PAQU STREET
 P.O. BOX 930220
 VERNOIA, WI 53593
 (800) 373-5550
CTEARY
 CTEARYBUILDING.COM

JOB NO.
2013106605

SHEET
5 OF 12



1/17/14

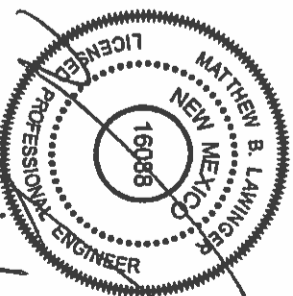
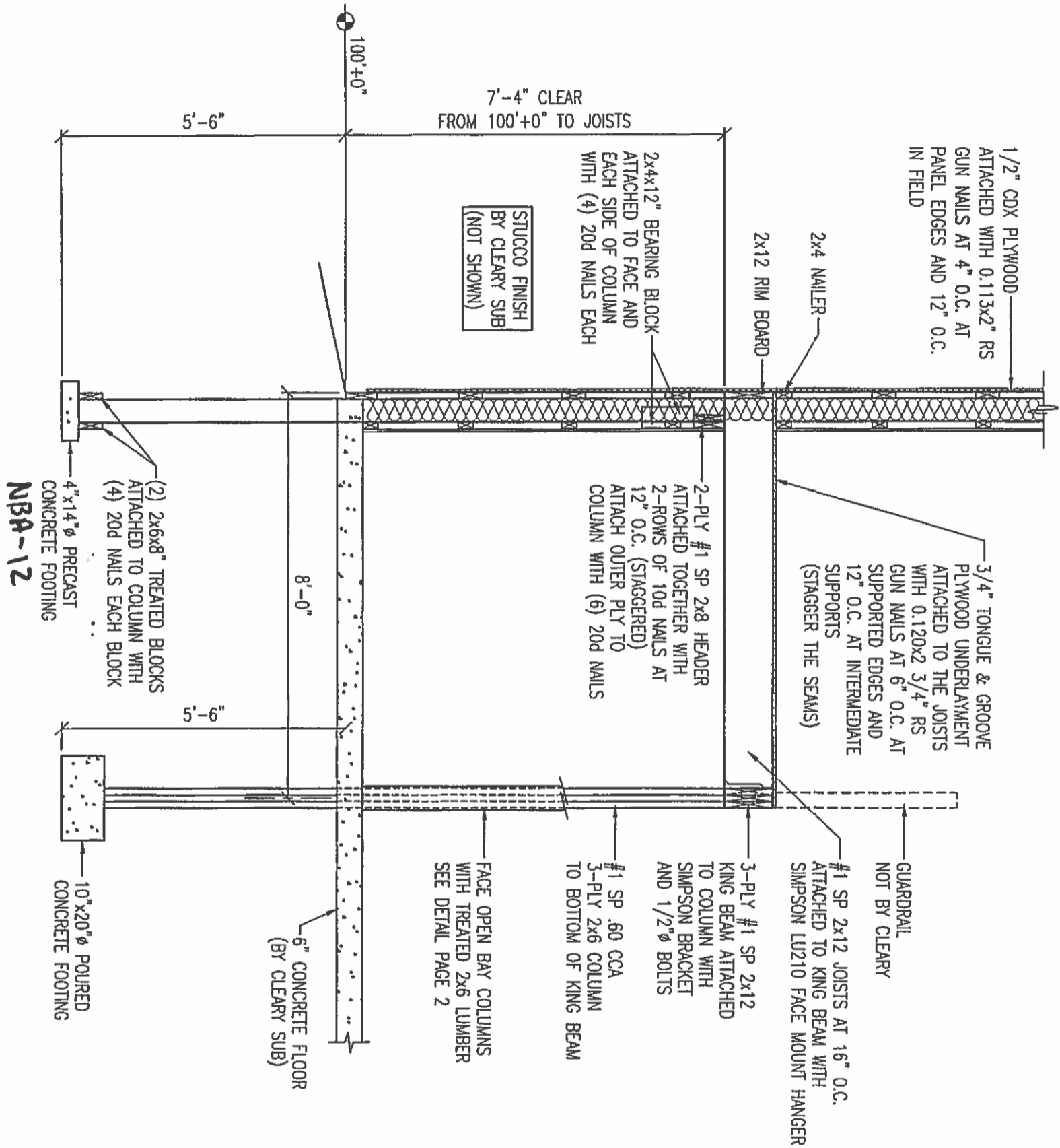
CFEARY
 BUILDING CORP.
 ClearlyBuilding.com
 190 PLOU STREET
 P.O. BOX 530220
 VERONA, WI 53593
 (800) 373-5550

JOB NO. 2013106605

SHEET 6 OF 12

MARTINEAU, MARK
 42'x52'x16'-8" COMMERCIAL
 TYPICAL SECTION "C"

DATE:	1/9/14	
DRAWN BY:	A. JORENBY	
SCALE:	NONE	
SALES SPECIALIST:	HERRON PUEBLO WEST	
REVISIONS:		
NO.	DATE	BY
1		
2		
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MARTINEAU, MARK

42'x52'x16'-8" COMMERCIAL

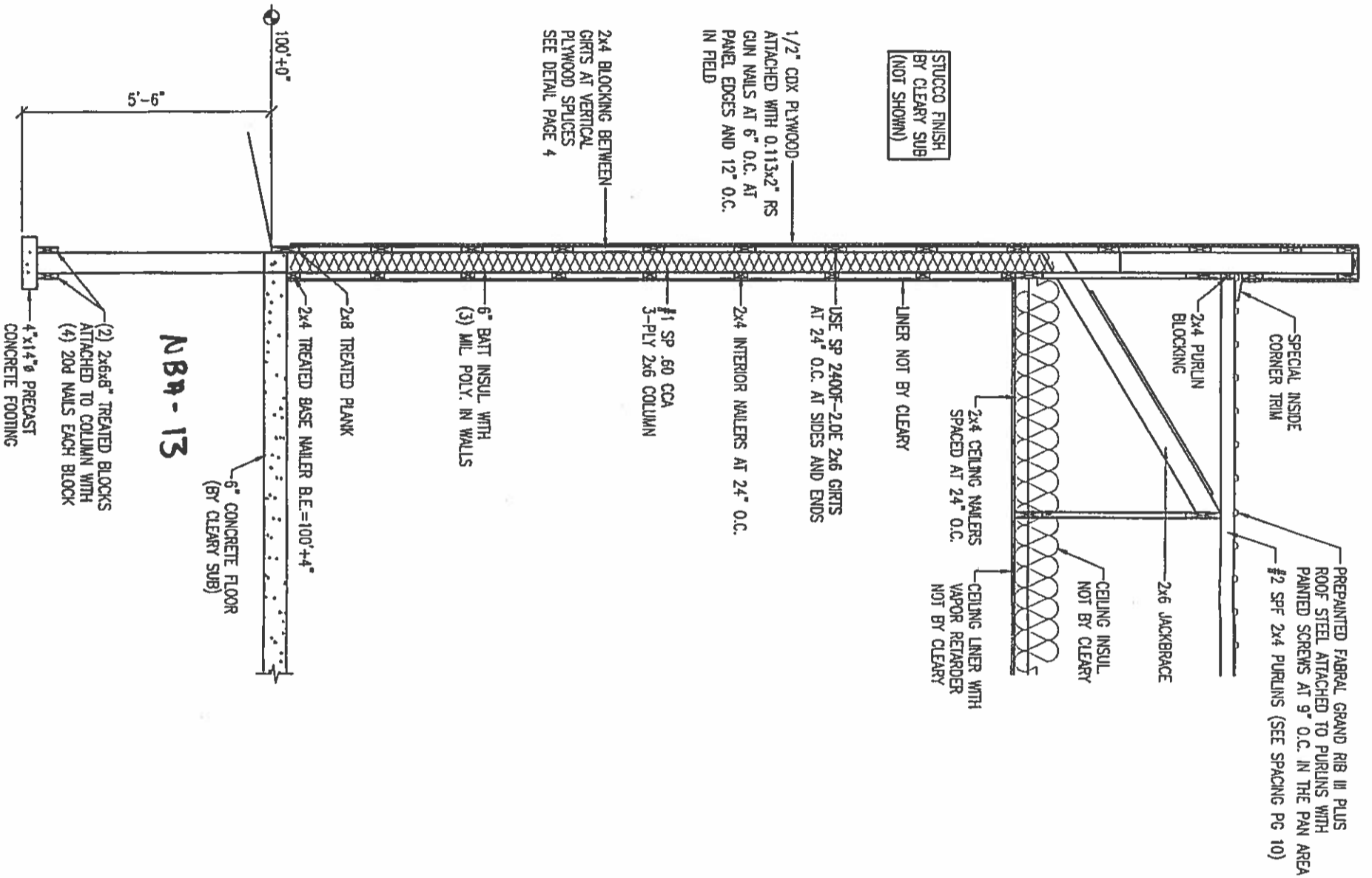
TYPICAL SECTION "D"

DATE:	1/9/14	
DRAWN BY:	A. JORENBY	
SCALE:	NONE	
SALES SPECIALIST:	HERRON PUEBLO WEST	
REVISIONS:		
NO.	DATE	BY
1		
2		
3		

CLEARLY
 BUILDING CORP.
 ClearlyBuilding.com
 190 PAOLI STREET
 P.O. BOX 930220
 VERONA, WI 53593
 (800) 373-5550

JOB NO.
 2013106605

SHEET
 7 OF 12



NBA-13

(2) 2x6x8" TREATED BLOCKS
 ATTACHED TO COLUMN WITH
 (4) 20d NAILS EACH BLOCK

4'x14'9" PRECAST
 CONCRETE FOOTING

6" CONCRETE FLOOR
 (BY CLEARY SUB)

2x4 TREATED BASE WALLER B.E.=100'+4"

2x8 TREATED PLANK

6" BAT INSUL WITH
 (3) MIL POLY. IN WALLS

#1 SP .60 CCA
 3-PLY 2x6 COLUMN

2x4 INTERIOR WALLERS AT 24" O.C.

USE SP 2400F-2.0E 2x6 GIRTS
 AT 24" O.C. AT SIDES AND ENDS

LINER NOT BY CLEARY

2x4 CEILING WALLERS
 SPACED AT 24" O.C.

CEILING LINER WITH
 VAPOR RETARDER
 NOT BY CLEARY

CEILING INSUL.
 NOT BY CLEARY

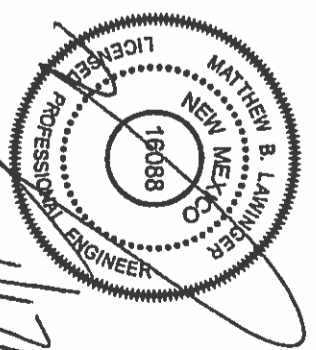
2x6 JACKBRACE

PREPARED FABRAL GRAND RIB III PLUS
 ROOF STEEL ATTACHED TO PURLINS WITH
 PAINTED SCREWS AT 9" O.C. IN THE PAN AREA
 #2 SPF 2x4 PURLINS (SEE SPACING PG 10)

STUCCO FINISH
 BY CLEARY SUB
 (NOT SHOWN)

1/2" CDX PLYWOOD
 ATTACHED WITH 0.113x2" RS
 GUN NAILS AT 6" O.C. AT
 PANEL EDGES AND 12" O.C.
 IN FIELD

2x4 BLOCKING BETWEEN
 GIRTS AT VERTICAL
 PLYWOOD SPLICES
 SEE DETAIL PAGE 4



1/17/14

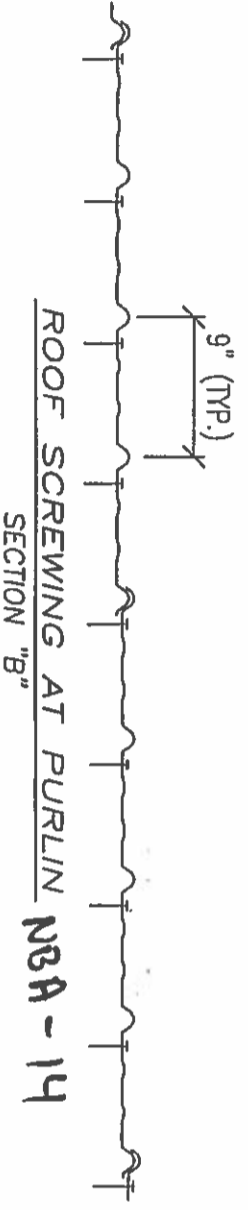
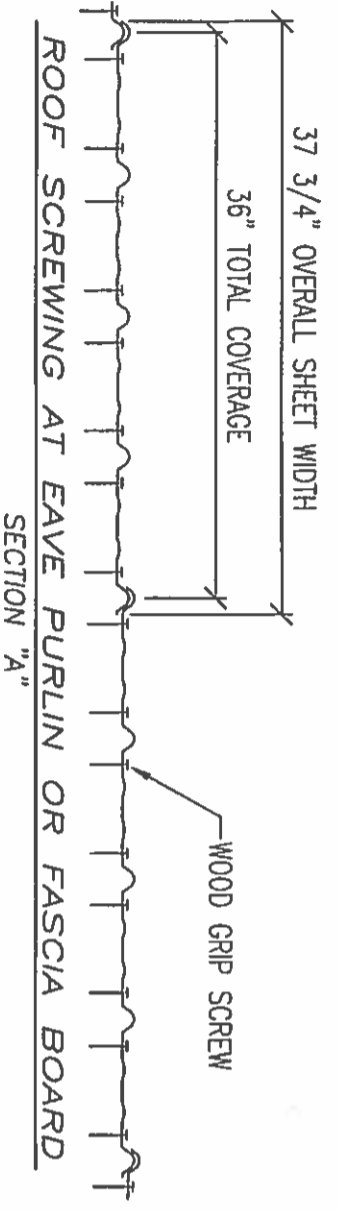
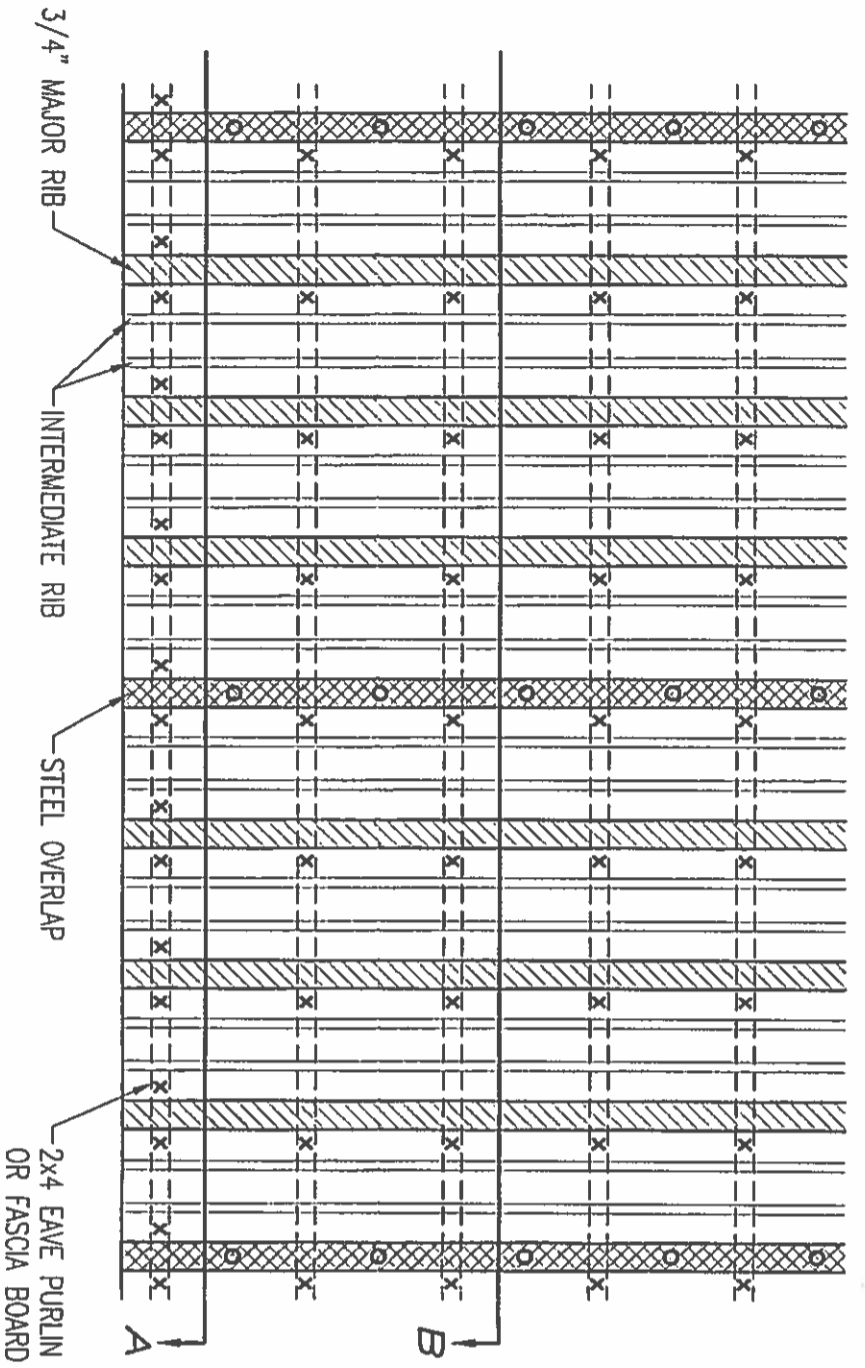
DATE:	1/9/14	
DRAWN BY:	A. JORENBY	
SCALE:	NONE	
SALES SPECIALIST:	HERRON	
	PUEBLO WEST	
REVISIONS:		
NO.	DATE	BY
1	---	---
2	---	---
3	---	---

MARTINEAU, MARK
 42'x52'x16'-8" COMMERCIAL
 TYPICAL SECTION "E"

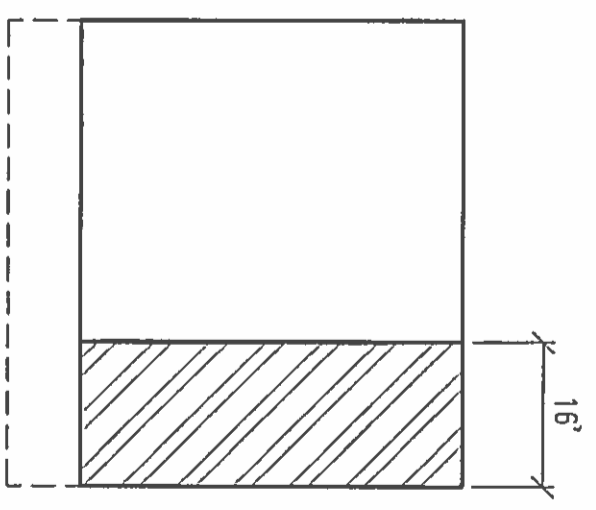
CLEARY BUILDING CORP.
 ClearyBuilding.com
 190 PAOLI STREET
 P.O. BOX 930220
 VERONA, WI 53593
 (800) 373-5550

JOB NO.
 2013106605

SHEET
 8 OF 12



CONSTRUCTION FORMAN NOTE:
 STITCH SCREW TO NEXT STEEL LAP
 BEYOND REQUIRED DISTANCE FROM
 ENDWALL OF BUILDING



= STITCH SCREW AREA AT 24" O.C.

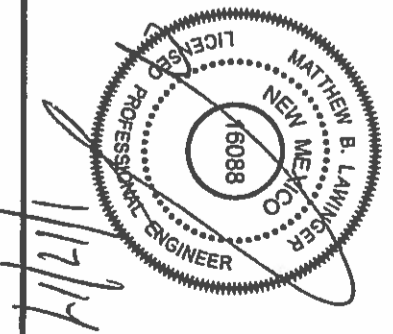
DATE:	1/9/14	
DRAWN BY:	A. JORENBY	
SCALE:	NONE	
SALES SPECIALIST:	HERRON PUEBLO WEST	
REVISIONS:		
NO.	DATE	BY
1	---	---
2	---	---
3	---	---

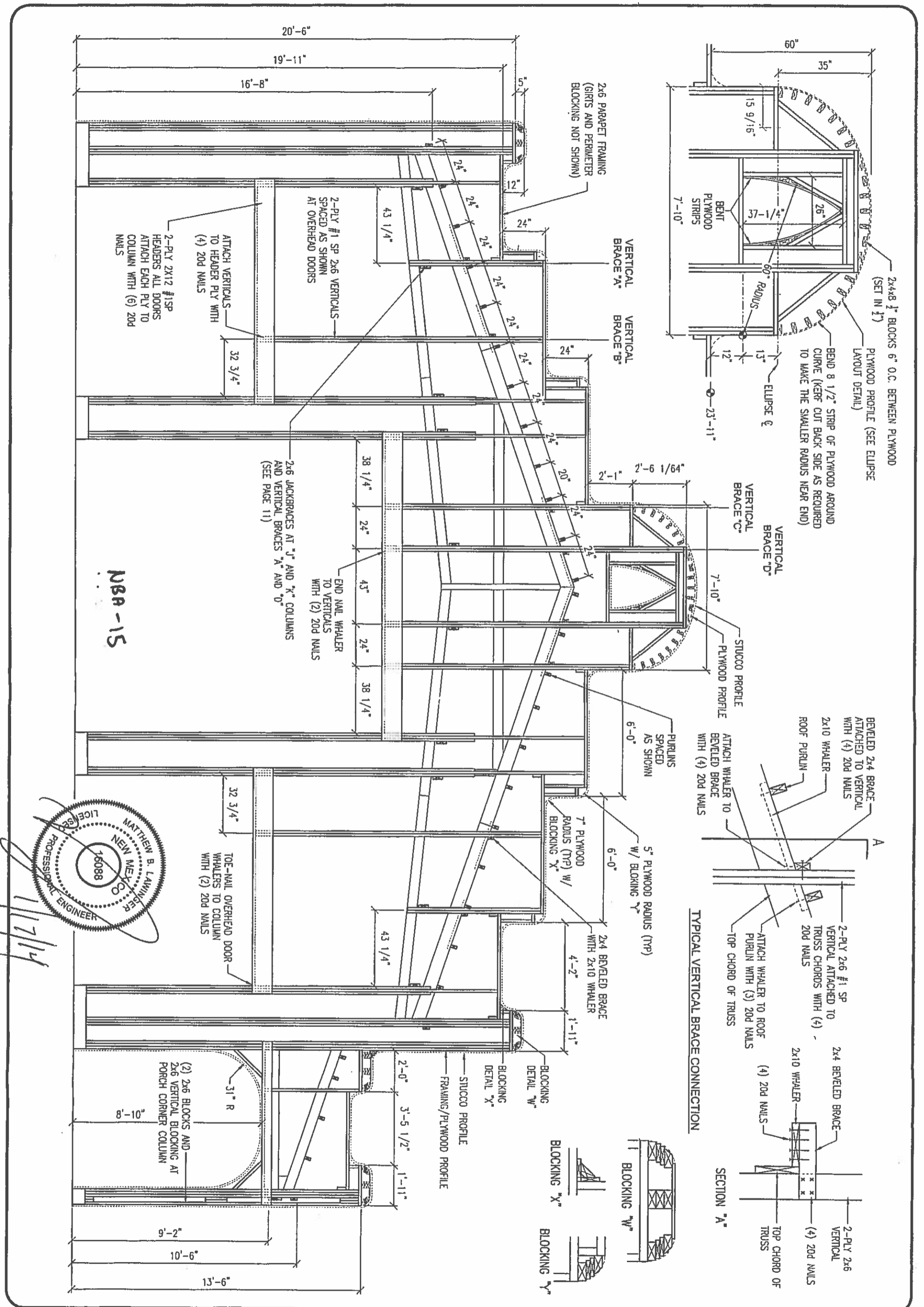
MARTINEAU, MARK
 42'x52'x16'-8" COMMERCIAL
 STITCH SCREW DETAILS

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 190 PAQU STREET
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 VERONA, WI 53593
 (800) 373-5550
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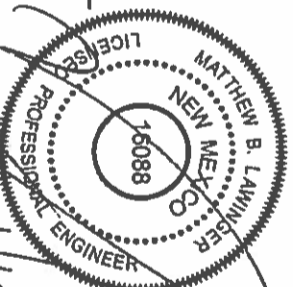
JOB NO.
 2013106605

SHEET
 9 OF 12



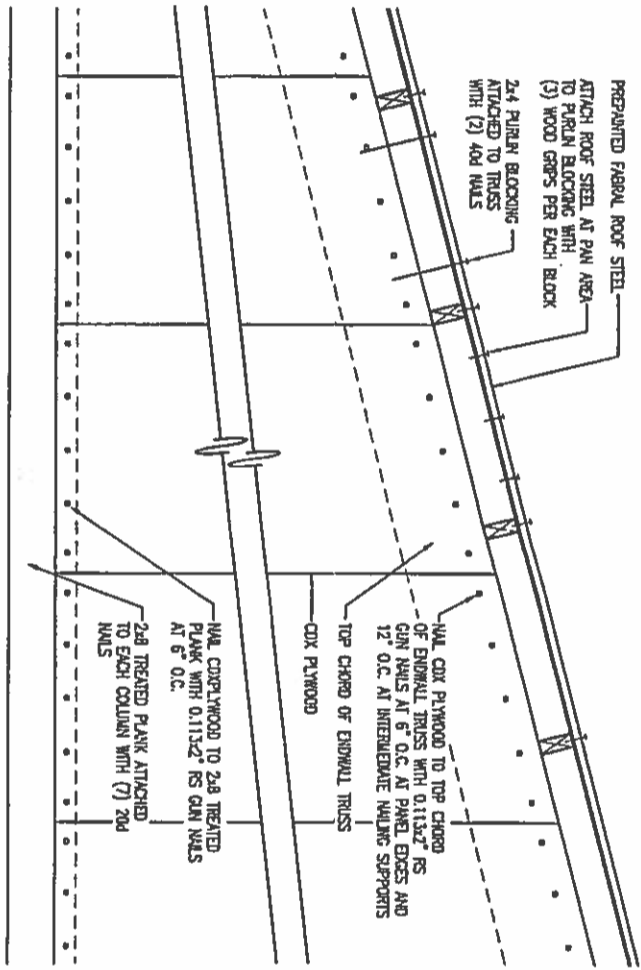
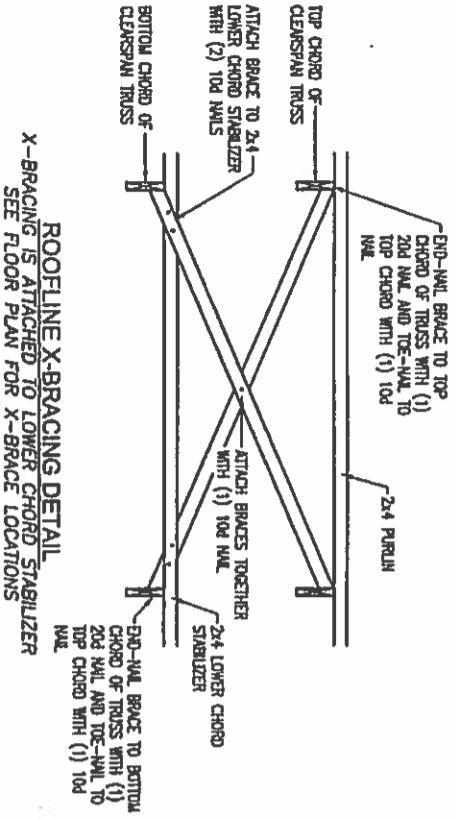
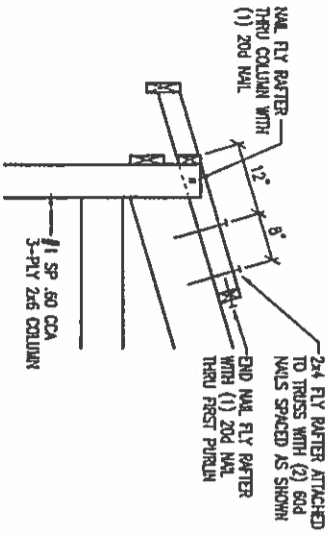
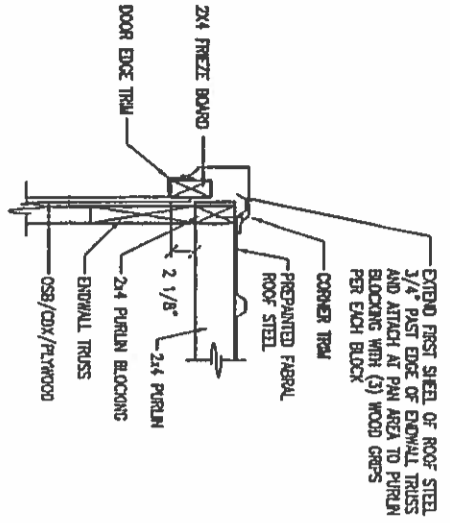


NBR-15



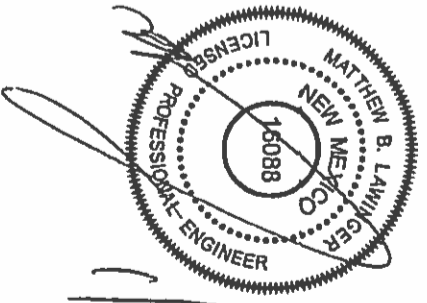
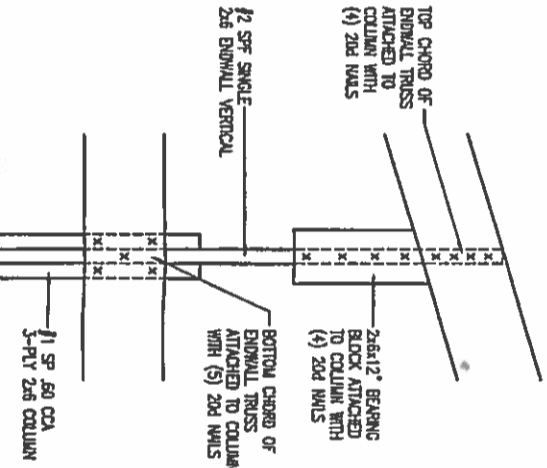
1/17/14

<p>CTEARY BUILDING CORP. ClearyBuilding.com 190 PAQU STREET P.O. BOX 930220 VERONA, WI 53593 (800) 373-5550</p>	<p>MARTINEAU, MARK 42'x52'x16'-8" COMMERCIAL FRAMING DETAILS</p>	<p>DATE: 1/9/14 DRAWN BY: A. JORENBY SCALE: NONE SALES SPECIALIST: HERRON PUERTO WEST</p>	<p>NO. DATE BY 1 --- 2 --- 3 ---</p>	<p>JOB NO. 2013106605 SHEET 10 OF 12</p>
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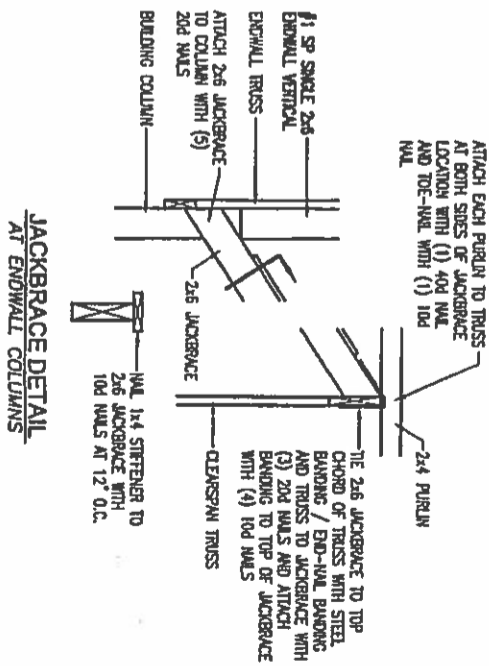


NBB-16

ENDWALL RAFTER TO COLUMN CONNECTION DETAIL AT BOTH ENDWALLS



1/12/14



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 190 PAUL STREET
 P.O. BOX 930220
 VERONA, WI 53593
 (800) 373-5550
 ClearyBuilding.com

JOB NO.
2013106605

SHEET
11 OF 12

MARTINEAU, MARK
 42'x52'x16'-8" COMMERCIAL

DIAPHRAGM ACTION DETAILS

DATE:	1/9/14	
DRAWN BY:	A. JORENBY	
SCALE:	NONE	
SALES SPECIALIST:	HERRON PUEBLO WEST	
REVISIONS:		
NO.	DATE	BY
1		
2		
3		

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFG.

(2013106605--- ** - 41-9EMRCZOSTD80C4truss)

Top chord 2x10 SP 2400F-2.0E
 Bot chord 2x8 SP 2400F-2.0E
 Webs 2x4 SP #2-13B :W3, W4, W5 2x6 SP 2400F-2.0E:
 Lt Wedge 2x6 SP #1-13B :Rt Wedge 2x6 SP #1-13B:

Lumber grades designated with "13B" use design values approved 1/30/2013 by ALSC

Special loads
 (Lumber Dur.Fac.=1.15 / Plate Dur.Fac.=1.15)
 TC- From 72 pif at 0.00 to 72 pif at 8.48
 TC- From 72 pif at 9.48 to 72 pif at 20.85
 TC- From 34 pif at 20.86 to 34 pif at 20.88
 TC- From 261 pif at 20.88 to 261 pif at 26.98
 TC- From 160 pif at 26.98 to 160 pif at 32.26
 TC- From 160 pif at 32.26 to 160 pif at 41.75
 BC- From 80 pif at 0.00 to 80 pif at 11.94
 BC- From 80 pif at 11.94 to 80 pif at 20.85
 BC- From 80 pif at 20.85 to 80 pif at 29.87
 BC- From 80 pif at 29.87 to 80 pif at 41.75

Trusses to be spaced at 96.0" OC maximum.
 IN LIEU OF RIGID SHEATHING USE PURLINS TO BRACE TC @ 24" OC.

Design Crit: CUSTOM/TPI-2007(STD) FT/RT=20X(20X)/10(10) 12.00

TC LL	20.0 PSF	REF R7054- 17397
TC DL	4.0 PSF	DATE 12/23/13
BC DL	10.0 PSF	DRW M0USR7054 13357003
BC LL	0.0 PSF	MO-ENG DJR/BAF
TOT.LD.	34.0 PSF	
DUR.FAC.	1.15	FROM MJS
SPACING	96.0"	JREF- 1V2F7054Z03

PLT TYP. 18 Gauge SS, WAVE

ALPINE
 Truss Building Components Group, Inc.
 Earth City, MO 63045

DOUGLAS WOOD
 REGISTERED PROFESSIONAL ENGINEER
 No. 688313

NBA-17

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFG.

(2013106605--- ** - 8-5SPORCHZOST80C4trussHW)

Top chord 2x6 SP #1-13B
 Bot chord 2x6 SP #1-13B
 Webs 2x4 SP #2-13B :W2 2x6 SP #1-13B:
 Lt Stub Wedge 2x6 SP #1-13B:

Lumber grades designated with "13B" use design values approved 1/30/2013 by ALSC

Special loads
 (Lumber Dur.Fac.=1.15 / Plate Dur.Fac.=1.15)
 TC- From 194 pif at 0.00 to 194 pif at 2.68
 TC- From 194 pif at 2.68 to 385 pif at 8.46
 BC- From 40 pif at 0.00 to 40 pif at 8.46

Trusses to be spaced at 96.0" OC maximum.
 IN LIEU OF RIGID SHEATHING USE PURLINS TO BRACE TC @ 24" OC.

Design Crit: CUSTOM/TPI-2007(STD) FT/RT=20X(20X)/10(10) 12.00

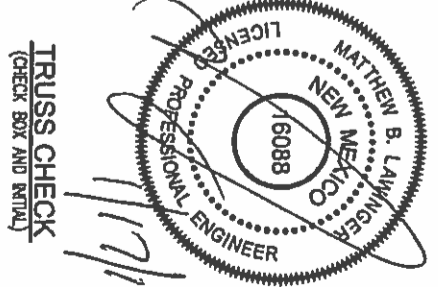
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TC DL	4.0 PSF	DATE 12/20/13
BC DL	5.0 PSF	DRW M0USR7054 13354003
BC LL	0.0 PSF	MO-ENG DJR/BAF
TOT.LD.	29.0 PSF	
DUR.FAC.	1.15	FROM MJS
SPACING	96.0"	JREF- 1V2B7054Z03

PLT TYP. WAVE

ALPINE
 Truss Building Components Group, Inc.
 Earth City, MO 63045

DOUGLAS WOOD
 REGISTERED PROFESSIONAL ENGINEER
 No. 688313

- TRUSS CHECK
- TRUSS SIZE
- ROOF PITCH
- BAY SPACING
- SILC/RLC
- DESIGN LOADS
- OVERHANGS



TRUSS CHECK
 (CHECK BOX AND INITIAL)

11/17/14

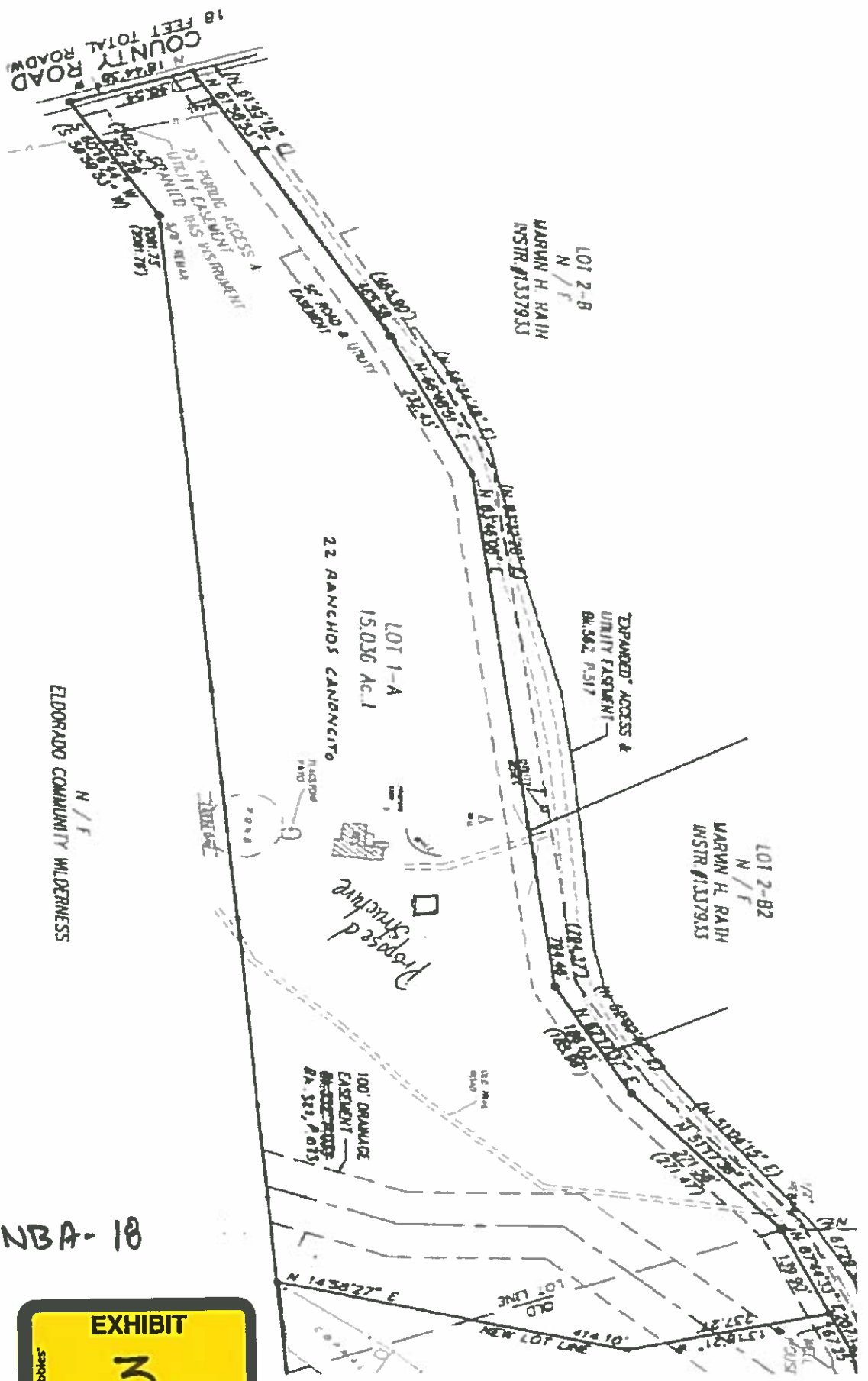
CLEARY
 BUILDING CORP.
 190 PAQU STREET
 P.O. BOX 930220
 VERONA, WI 53593
 (800) 373-5550
 ClearyBuilding.com

JOB NO.
 2013106605

SHEET
 12 OF 12

MARTINEAU, MARK
 42'x52'x16'-8" COMMERCIAL
 TRUSS DIAGRAMS

DATE:	1/9/14	
DRAWN BY:	A. JORENBY	
SALES SPECIALIST:	HERRON	
REVISIONS:	PUEBLO WEST	
NO.	DATE	BY
1		
2		
3		



NBA-18

tabbles

EXHIBIT

3.



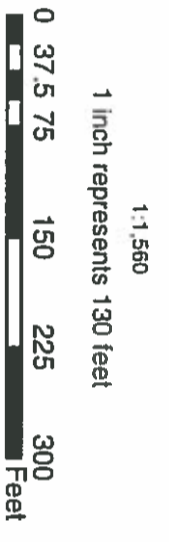
Legend

-  ROADS
-  DRIVEWAYS
-  PARCELS

NBA - 19

EXHIBIT

4.



Word Imagery
2 FOOT CONTOURS

This information is for reference only.
Santa Fe County assumes no liability for
errors associated with the use of these data.
User are solely responsible for
confirming data accuracy.



September 9, 201



2014/09/25 09:03

EXHIBIT
5.

1356822

SANTA FE COUNTY

Ordinance No. 1997 - 4

An Ordinance Amending The Santa Fe County Land Development Code To Clarify The Definition Of Accessory Structure And To Add Language That Allows Accessory Structures In Residential Areas

BE IT ORDAINED BY THE BOARD OF COUNTY COMMISSIONERS OF SANTA FE COUNTY:

The Board of County Commissioners of Santa Fe County hereby amends Articles II, III and X of the Santa Fe County Land Development Code to add the following language:

Article X , Section 1 - Definitions of Words and Phrases used in the Code

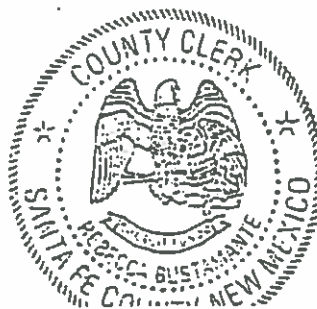
Accessory structure - a structure which is incidental and subordinate to the principal use or structure and shall:

- a. not be used as a dwelling or designed such that it could be converted into a dwelling (i.e., kitchen/cooking facilities, showers, bathtubs, bedrooms);
- b. be non-commercial, except for approved home occupations;
- c. be served by utilities from the principal dwelling, except as otherwise permitted by the Land Use Administrator;
- d. use a shared driveway with the principal dwelling or as otherwise approved by the Land Use Administrator; and
- e. be operated and maintained for the benefit or convenience of the occupants to the principal dwelling.

An accessory structure includes, but is not limited to an office/art studio/workshop, garage or carport for storage of personal vehicles, utility or storage sheds, a stable or barn, or a greenhouse.

COUNTY OF SANTA FE)
STATE OF NEW MEXICO 977 1777)
I hereby certify that this instrument was filed
for record on the 21 day of March A.D.
19 97 , at 8:37 o'clock A m
and was duly recorded in book 1356
page 822 - 823 of the records of
Santa Fe County.

Witness my Hand and Seal of Office
Rebecca Bustamante
County Clerk, Santa Fe County, N.M.



NBA - 21



Article II, Section 2.3.1 Administrative Decisions

1356823

xix. Accessory structures which are 2,000 square feet or less in size. An accessory structure greater than 2,000 square feet shall be submitted with a site plan to the CDRC for approval.

Article III, Section 2 - Residential Uses

2.1 Location of Residential Uses

Residential uses and accessory structures, as defined herein, are allowed anywhere in the County provided all of the requirements of the Code are met.

APPROVED, ADOPTED AND PASSED this 11th day of March, 1997, by the Santa Fe County Board of County Commissioners.

Richard D. Anaya
RICHARD D. ANAYA, CHAIRMAN

ATTEST:

Rebecca Bustamante
REBECCA BUSTAMANTE
COUNTY CLERK

APPROVED AS TO FORM:

Steven Kopelman
STEVEN KOPELMAN
COUNTY ATTORNEY



CERTIFICATE OF FILING

I, Rebecca Bustamante, County Clerk, do hereby certify that the foregoing ordinance, designated as Ordinance, No. 1997 - 04, was filed in my office on the 21st day of March, 1997, in book Number 1356 at Page 822 - 823.

SANTA FE COUNTY CLERK

Rebecca Bustamante
REBECCA BUSTAMANTE

NBA-22

Daniel "Danny" Mayfield
Commissioner, District 1
Miguel M. Chavez
Commissioner, District 2
Robert A. Anaya
Commissioner, District 3



Kathy Holian
Commissioner, District 4
Liz Stefanics
Commissioner, District 5
Katherine Miller
County Manager

DATE: October 16, 2014

TO: County Development Review Committee

FROM: Vicente Archuleta, Development Review Team Leader *VA*

VIA: Penny Ellis-Green, Growth Management Director *PEO*
Vicki Lucero, Building and Development Services Manager *VL*
Wayne Dalton, Building and Development Services Supervisor *WD*

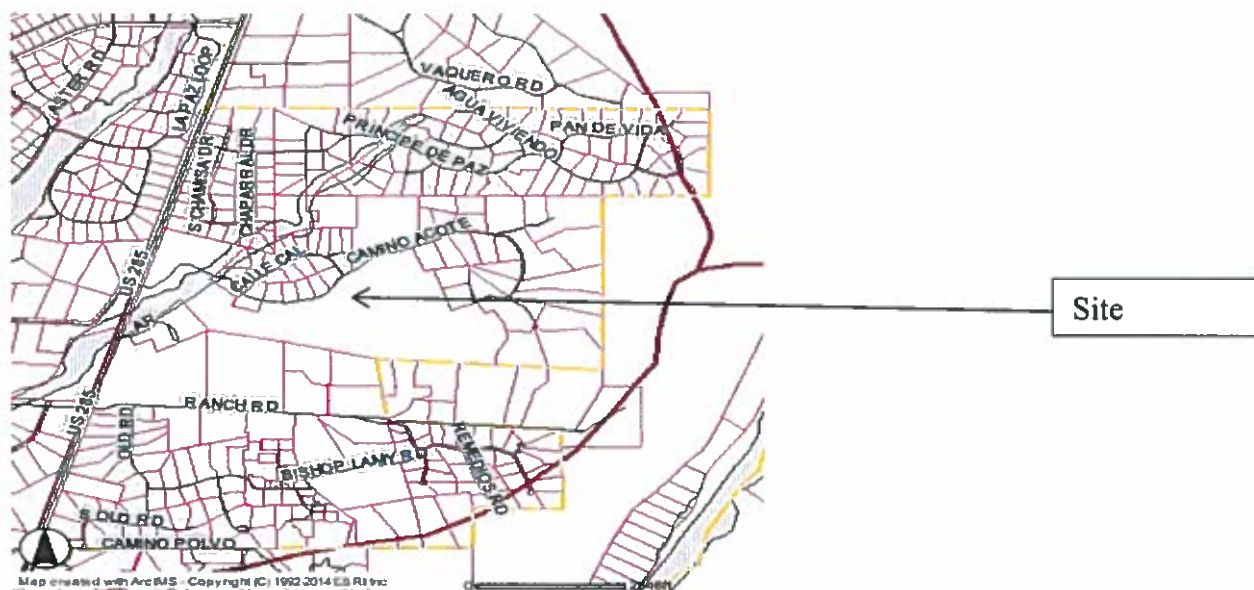
FILE REF.: CDRC CASE # S 12-5452 Cielo Colorado Estates Final Plat and Development Plan

ISSUE:

Cielo Colorado LLC., Applicant, James W. Siebert, Agent, request Final Plat and Development Plan approval for Phase 1 (Lots 11-16) consisting of 6 lots of the Cielo Colorado Estates 24-lot residential subdivision on Tract 15A-2 of the Eldorado at Santa Fe Subdivision consisting of 246.30 acres more or less.

The property is located on the east side of US 285, off Camino Acote, within Sections 20, 21 and 22, Township 15 North, Range 10 East (Commission District 4).

Vicinity Map:



102 Grant Avenue · P.O. Box 276 · Santa Fe, New Mexico 87504-0276 · 505-986-6200 ·
FAX: 505-995-2740 www.santafecountynm.gov

B-1

SUMMARY:

In 1995, a Master Plan for Cielo Colorado was approved by the BCC. The Master Plan included 91 lots with an average density of 3.79 acres on 344.58 acres. Twenty-five of the 91 proposed lots were platted in 1995. An amended Master Plan eliminating four lots totaling 12.5 acres was recorded in 2000. In 2002 the Master Plan was vacated to allow the platting of larger lots at the east end of Tract 15A-2. This Application includes the remainder of the property that has not been platted within Tract 15A-2.

On July 18, 2013, the County Development Review Committee (CDRC) recommended approval of the Applicant's request for Master Plan approval for a 24-lot residential subdivision. The CDRC also approved two cul-de-sacs (Dead End Roads) to exceed 500 feet in length (Refer to July 18, 2013 CDRC Meeting Minutes as Exhibit 5).

On September 10, 2013, the Board of County Commissioners (BCC) approved the request for Master Plan approval for a 24-lot residential subdivision on 246.30 acres (Refer to September 10, 2013 BCC Meeting Minutes as Exhibit 6).

On April 8, 2014, the Board of County Commissioners (BCC) approved a request for Preliminary Development Plan and Plat approval for 24 lots on 246.30 acres within tract 15A-2 of the Eldorado at Santa Fe Subdivision in conformance with the approved Master Plan and a Variance of Ordinance No. 2008-10 (Stormwater Prevention and Stormwater Management) to allow access through a 100-year floodplain without an all-weather crossing (refer to April 8, 2014, BCC Meeting Minutes as Exhibit 7).

The Applicants now request Final Plat and Development Plan approval for Phase 1 consisting of 6 lots (Lots 11-16) of the 24 lots on 246.30 acres within tract 15A-2 of the Eldorado at Santa Fe Subdivision in conformance with the approved Master Plan which was to be developed in 4 phases. Lot sizes will range from 8.72 acres to 14.89 acres.

This Application was submitted on May 14, 2014.

Growth Management staff have reviewed this Application for compliance with pertinent Code requirements and finds the project is in compliance with County criteria for Final Development Plan and Plat approval for Phase 1.

APPROVAL SOUGHT:

Final Plat and Development Plan approval for Phase 1, consisting of 6 lots of the Cielo Colorado Estates residential subdivision on 246.30 acres within Tract 15A-2 of the Eldorado at Santa Fe Subdivision.

**GROWTH MANAGEMENT
AREA:**

Galisteo, SDA-2

LOCATION: The development is located east of US/285 off of Camino Acote.

HYDROLOGIC ZONE: Basin Fringe, minimum lot size per Code is 12.5 acres per dwelling unit with a 0.25 acre foot per year per lot water restriction; lot size can be further reduced to 2.5 acres per dwelling unit if water availability is proven to support increased density or Eldorado Area Water and Sanitation District (EASWD) water is available.

ARCHAEOLOGIC ZONE: Medium Potential, Archeological report required for development of more than 10 acres. An Archaeological report was submitted for review with the Master Plan. The State Historic Preservation Division had no concerns regarding this site.

ACCESS AND TRAFFIC: The site will be accessed off US 84-285 via Camino Acote. Camino Acote is an existing privately owned and maintained road.

AFFORDABLE HOUSING: The Affordable Housing Regulations require that 8 percent of the market rate lots be constructed in the affordable ranges specified in the affordable housing ordinance.

The six lots proposed in Phase 1 are not sufficient to trigger the requirement for an affordable housing unit. The next phase will trigger the need for an affordable housing unit. As shown on the Preliminary Development Plan, the two affordable lots are directly adjacent to one another. Ordinance No. 2006-2 (Affordable Housing) requires the affordable units to be reasonably dispersed within the project. Therefore, the Applicant will be required to relocate one of the affordable housing lots and designate the new location of the affordable lot with the final Plat submittal for Phase 2

A Draft of the Affordable Housing Agreement (refer to Draft Agreement as Exhibit 4) is in process and will be finalized prior to BCC approval.

FIRE PROTECTION:

There are three volunteer fire sub-stations located in Eldorado. Station No. 3 is located off of Old Road North and US-285, at the Santa Fe County Transfer Station which is approximately 1,000 feet from the Subdivision entrance. EAWSD will provide the water source for fire protection; fire hydrants shall be located within 1,000 feet of all buildable areas.

WATER SUPPLY:

EAWSD has an existing 8 inch waterline that services the existing 25 lot Cielo Colorado Subdivision to the east. A ready, willing and able to serve letter has been provided by EAWSD for Cielo Colorado Estates.

LIQUID WASTE:

NMED approved individual conventional on-site septic systems. Each lot has been designed to provide a minimum of .75 acres of land outside areas with slopes of 15 percent or less and outside flood plain limits

SOLID WASTE:

Individual lot owners will be responsible for contracting with a licensed solid waste disposal service for pick up on a weekly basis. Individual lot owners may also dispose of solid waste on their own at a local solid waste transfer station. This condition is noted in the Subdivision Disclosure Statement.

**FLOODPLAIN &
TERRAIN MANAGEMENT:**

The site has slopes of 8%-12% or less and there are limited areas with slopes of 20%. The project conforms to Article VII, Section 3, Terrain Management Regulations of the Santa Fe County Land Development Code. The Applicant's Proposal shows existing topography, natural Drainage, and a proposed grading and drainage plan. The proposed grading and drainage plan contains pre and post development drainage. Phases I and II contains two (2) detention ponds.

OPEN SPACE:

A 14.21 acre site has been reserved as open space for the benefit of the owners of lots within the Subdivision. The open space is located at the entrance to Lot 15, along the main drainage where the vegetation is the most dense. This tract will be owned by the Cielo Colorado Estates Homeowners Association.

The open space will contain an equestrian trail with markers every one-tenth of a mile.

PHASING:

The subdivision is to be completed in four phases over an eight year period, with the first phase to begin in 2014 and the final phase to be completed in the year 2022.

STAFF RECOMMENDATION:

The Application for Final Plat and Development Plan approval is in conformance with the previously approved Master Plan and Preliminary Plat and Development Plan and with all Code requirements. Therefore, staff recommends approval of the request for Final Plat and Development Plan subject to the following conditions:

1. The Final Plat and Development Plan must be recorded with the County Clerk's office.
2. The Applicant shall submit a financial guarantee, in sufficient amount to assure completion of all required improvements prior to Final Plat recordation as per Article V, Section 9.9 of the Land Development Code.
3. The Affordable Housing Agreement must be reviewed and approved by the BCC prior to plat recordation of Phase 1.
4. The affordable lots shall be reasonably dispersed within the project as per Ordinance No. 2006-2. The Applicant will be required to relocate one of the affordable housing lots and designate the new location of the affordable lot with the final Plat submittal for Phase 2.

EXHIBITS:

1. Development Request
2. Developer's Report
3. Developer's Plans
4. Affordable Housing "Draft" Agreement
5. July 18, 2013 CDRC Meeting Minutes
6. September 10, 2013 BCC Meeting Minutes
7. April 8, 2014, BCC Meeting Minutes
8. Aerial Photo of Site and Surrounding Areas



**JAMES W. SIEBERT
AND ASSOCIATES, INC.**

**915 MERCER STREET * SANTA FE, NEW MEXICO 87505
(505) 983-5588 * FAX (505) 989-7313
siebert.associates@comcast.net**

May 9, 2014

Vicki Lucero
Building and Development Services Section Manager
P.O. Box 276
Santa Fe, NM 87504

Re: Cielo Colorado Estates

Dear Ms. Lucero:

As planning consultant for Cielo Colorado Land Company LLC I am submitting an application for a Final Plat and Plan for phase 1 of the approved preliminary plat showing 24 lots. This application is submitted in conformance with a previously approved preliminary plat and plan for 24 lots approved by the Board of County Commissioners on April 8, 2014 as Case # S/V 12-5451.

The following items are submitted with this application and transmittal letter:

- (12) Sets of a 24" x 36", 15 sheet plan set.
- (1) Reduced 11" x 17" plan set.
- (12) Development Plan Reports in an 8 ½ "x 11" format.
- Completed Development Permit application.
- Development and Fire review fees in the amount of \$2,950.00
- Two copies of Affordable Housing Agreement.

Cielo Colorado
finaltmstr (3)



Vicki Lucero
Cielo Colorado
May 9, 2014
Page 2 of 2

Please schedule this request for the July 17, 2014 CDRC meeting.

Sincerely,



James W. Siebert

Xc: Ed deZevallos
Chris deZevallos

BACKGROUND INFORMATION

HISTORY OF ENTITLEMENTS

On July 18, 2013, the County Development Review Committee recommended approval of the Master Plan, Case# Z/S 12-5450 and on September 10 2013, the Board of County Commissioners approved the master plan for a 24-lot subdivision on 246.30 acres within Tract 15A-2 of the Eldorado of Santa Fe Subdivision. On February 20th, 2014, the CDRC approved the preliminary plat Case# S/V 12-5451 for a 24 lot subdivision and the Board of County Commissioners approved the preliminary plat and plan and a variance to the crossing of a 100 year flood plain with a low water crossing on April 8, 2014. The April 8, 2014 BCC meeting minutes are included in the report as Appendix A.

This development request is located east of US 84/285 at the Acote intersection. Figure 1 is a vicinity map describing the location of this project relative to known geographic features.

DEVELOPMENT REQUEST

A request is submitted for a final subdivision plat and plan for phase I consisting of 6 lots. This plat and plan is consistent with the approved master plan and preliminary subdivision plat and plan.

The request is submitted in conformance with regulatory standards for plat and plan review set forth in the Santa Fe County Land Development Code. This request will be heard by the County Development Review Committee which makes a recommendation to the Board of County Commissioners. The Board of County Commissioners takes final action on the request unless it is appealed to the District Court.

OWNERSHIP AND LEGAL LOT OF RECORD

The property is owned by Cielo Colorado LLC., a New Mexico Limited Liability Company. The warranty deed for the property is found in Appendix B of the report. The plat for the subject land establishing legal lot of record is provided in Appendix C of the report and is the basis of the survey work for the site planning on the property.



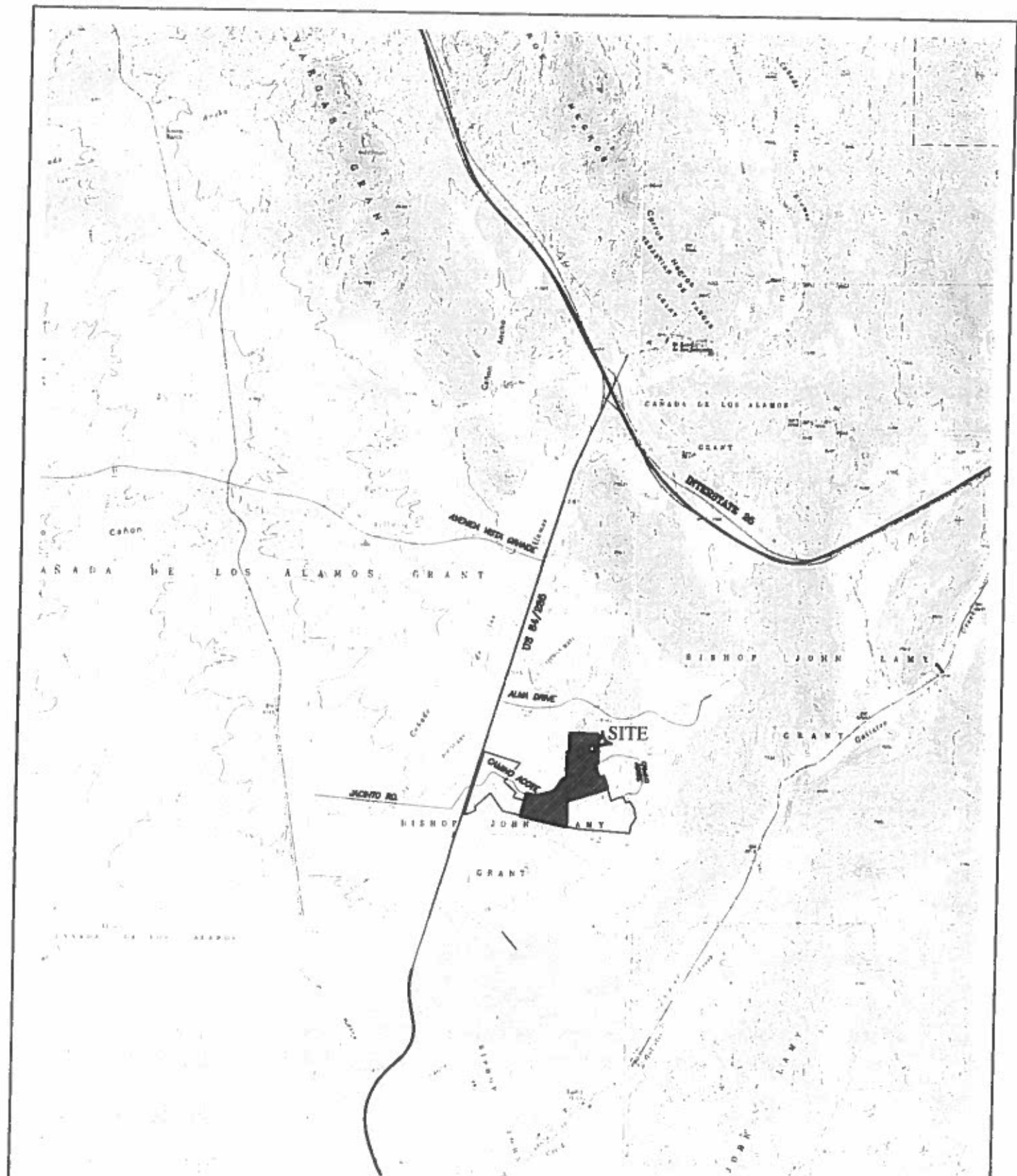




FIGURE 1 B-9

<p>JAMES W. SIEBERT AND ASSOCIATES, INC.</p>	<p>CIELO COLORADO</p>	<p>NORTH</p> 
<p>815 MERCER STREET • SANTA FE NEW MEXICO 87505</p>  <p>(505) 843-5588 FAX (505) 848-7313</p>	<p>VICINITY MAP</p>	<p>SCALE: 1" = 5000'</p>

SUMMARY DESCRIPTION PHASE 1

Total Acres in Subdivision:	62.86 acres
Number of Lots:	6
Average Lot Size:	10.48 acres
Smallest Lot:	8.72 Acres
Largest Lot:	14.89 Acres

EXISTING CONDITIONS

UTILITIES

Water

Eldorado Area Water has been extended into the property to serve the existing 25 lot Cielo Colorado Subdivision and larger lot subdivision to the east on Lot 15. The existing 8 inch line extends further to the east along the platted Camino Acote roadway. Fire hydrants have been installed on this line and have been tested to determine the flow capacity of the hydrant. The Utilities Plan in the plan set describes the location and size of existing water lines and location of the existing fire hydrants that serve this phase of the development. These plans are reviewed by the EAWSO since they are the Mutual Domestic providing water service.

Wastewater

There is no community wastewater system in the Eldorado area. Conventional septic systems are proposed for the lots within the development. Each lot has been designed to provide a minimum of .75 acre of land outside areas with slopes of 15 percent or less and outside flood plain limits. The Eldorado Area Water and Sanitation District does not currently have any plans to construct a community wastewater system in the Eldorado Area.

Electric

There is an overhead three phase electric line located on the east side of US 285. There is an existing overhead electric line running north-south through the midsection of Lot 15A-2. Electric service lines have been extended into the subdivision to serve the 24 lot subdivision and the larger lots to the east. All electric lines which serve the developed lots within Lot 15 have been constructed below ground. PNM Electric will determine the need for additional transformers once the plat is recorded. All future electric lines within the subdivision and lateral lines to the houses will be constructed underground.

B-10

Telephone

Telephone lines exist on the overhead electric lines that run parallel and adjacent to US 285. Telephone lines are located within Lot 15 coincident with the electric lines. An older overhead telephone line that traversed Lot 15 from the north to the south has been removed and the easement has been abandoned. There is an underground telephone line that runs coincident with the overhead electric line located towards the central part of Lot 15A-2. Telephone lines should be sufficient to serve this phase of Cielo Colorado, but that assessment will be conducted by Century Link once the plat is recorded.

Natural Gas

Natural gas has not been extended into the subdivision. Natural gas is available in the Ridges subdivision to the north in Rey de Reyes Road. There is currently no plan to extend natural gas service to the subdivision.

SLOPES

Slopes are relatively gentle throughout the development with typical slopes in the 8%-12% range. There are limited areas within the development plan that have slopes in excess of 20%. There is no evidence of areas with significant erosion on the site. Suitable building sites on slopes of less than 20% are available for all lots as proposed on the final development plan. The terrain management assessment has been prepared in conformance with the future SLDC development standards.

VEGETATION

The vegetation is typical of the Eldorado area. A variety of grasses have established themselves within the development. Typical plants that were observed on the property consist of:

Grasses

Blue Grama
Galleta
Dropseed
Muhly

Forbs

Snakeweed
Verbena
Purple Coneflower
Indian Paintbrush
Russian Thistle
Threadleaf Sagewort
Wolfberry

B-11

Buffalo Guard
New Mexico Sunflower
Globemallow
Purple Aster
Winterfat
White Evening Primrose
Narrow Leaf Yucca
Prickly Pear
Cholla Cactus
Datil Yucca

Trees

One Seed Juniper
Pinon

ARCHAEOLOGY

A Cultural Resource Survey was prepared by Sandra Marshall for a tract larger than the development, but included all the land area within the project. Sixty isolated occurrences were observed within the investigated tract that were not worthy of preservation. Two sites, LA 104986 and LA 104987 were recorded with the State Historic Preservation Office, considered worthy of preservation. These two sites are not included within the boundary of this subdivision plat.

The Cultural Resource Survey was included in the submittal for the master plan and is not duplicated in this application. The approval of the study by the State Historic Preservation Office is provided in Appendix D

OPEN SPACE

A 14.21 acre site has been reserved as open space for the benefit of the owners of lots within the Subdivision. This tract will be owned by the Cielo Colorado Estates Homeowners Association. This open space is located along the main drainage where the vegetation is most dense. It is also located at the entrance to Lot 15, and was a design concept supported by the existing homeowners residing within Lot 15.

This open space area will be granted to the Cielo Colorado Estates Homeowners Association by a subsequent plat.

B-12

DRAINAGE

Lots 12 and 13 north of Camino Acote have a small drainage that traverses these lots from east to west. A 10 foot drainage easement has been designated for these lots. A storm water detention pond will be constructed on lot 11 to detain the storm water to historic flows at it leaves the Subdivision. Lots 14, 15 and 16 have a drainage swale at the most southerly end of these lots. A 10 foot drainage easement is shared between these lots and the remainder property to the south. A storm water detention pond will be constructed on lot 16 and the remainder lot to detain the water as it enters a future phase of the subdivision in order to maintain the water at the exit point to historic flows.

The final plat grants the drainage easement for two above described detention ponds located within the subdivision. These ponds will be constructed as part of the improvements for phase 1 and will be maintained by the Cielo Colorado Estates HOA.

SOILS

Utilizing the USDA Natural Resources Conservation Mapping, the soils identified on the property are:

<u>Classification Name</u>	<u>Soils Number</u>
Tanoan-Encantado Complex	201
Alire Loam	202
Buckhorse-Altanzano Complex	203
Nazario Gravelly Loam	205
Alire-Urban Land Complex	208

201—Tanoan-Encantado complex, 5 to 25 percent slopes

Map Unit Setting

Elevation: 5,500 to 7,500 feet

Mean annual precipitation: 13 to 15 inches

Mean annual air temperature: 47 to 50 degrees F

Frost-free period: 140 to 160 days

Map Unit Composition

Tanoan and similar soils: 45 percent

Encantado and similar soils: 40 percent

Description of Tanoan Setting

Landform: Eroded fan remnants

Landform position (two-dimensional): Shoulder

Down-slope shape: Convex

Across-slope shape: Convex

B-13

Parent material: Alluvium derived from granite, gneiss, schist, and loess over residuum weathered from basaltic tuff or granitic sandstone

Properties and qualities

Slope: 5 to 15 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Somewhat excessively drained

Capacity of the most limiting layer to transmit water (Ksat): High (2.00 to 5.95 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Calcium carbonate, maximum content: 15 percent

Maximum salinity: Nonsaline (0.0 to 1.0 mmhos/cm)

Sodium adsorption ratio, maximum: 4.0

Available water capacity: Low (about 5.1 inches)

Typical profile

0 to 3 inches: Gravelly sandy loam

3 to 7 inches: Loam

7 to 24 inches: Loam

24 to 32 inches: Sandy loam

32 to 57 inches: Loam

57 to 70 inches: Gravelly loamy coarse sand

70 to 84 inches: Gravelly coarse sandy loam

Description of Encantado Setting

Landform: Eroded fan remnants

Landform position (two-dimensional): Backslope

Down-slope shape: Linear

Across-slope shape: Linear

Parent material: Colluvium and slope alluvium derived from granite, gneiss, and schist over residuum weathered from granitic fanglomerate and sandstone

Properties and qualities

Slope: 10 to 25 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Somewhat excessively drained

Capacity of the most limiting layer to transmit water (Ksat): High (2.00 to 6.00 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Calcium carbonate, maximum content: 30 percent

Maximum salinity: Nonsaline to very slightly saline (0.0 to 4.0 mmhos/cm)

Sodium adsorption ratio, maximum: 4.0

Available water capacity: Very low (about 2.5 inches)

B-14

Typical profile

0 to 3 inches: Very gravelly sandy loam
3 to 9 inches: Very gravelly loam
9 to 22 inches: Very gravelly coarse sandy loam
22 to 33 inches: Gravelly loamy coarse sand
33 to 45 inches: Very gravelly loamy coarse sand
45 to 54 inches: Very gravelly loamy coarse sand
54 to 63 inches: Gravelly loamy sand
63 to 85 inches: Very gravelly loamy sand

202—Alire loam, 2 to 6 percent slopes

Map Unit Setting

Elevation: 6,100 to 7,400 feet
Mean annual precipitation: 13 to 15 inches
Mean annual air temperature: 47 to 50 degrees F
Frost-free period: 140 to 160 days

Map Unit Composition

Alire and similar soils: 90 percent

Description of Alire Setting

Landform: Eroded fan remnants
Landform position (two-dimensional): Summit
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Alluvium derived granite, gneiss, schist, loess, and volcanic ash

Properties and qualities

Slope: 2 to 6 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Well drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately high (0.20 to 0.57 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum content: 40 percent
Gypsum, maximum content: 1 percent
Maximum salinity: Nonsaline to slightly saline (2.0 to 8.0 mmhos/cm)
Sodium adsorption ratio, maximum: 13.0
Available water capacity: High (about 9.7 inches)

Typical profile

0 to 2 inches: Loam
2 to 8 inches: Clay loam
8 to 15 inches: Clay loam

B-15

15 to 28 inches: Clay loam
28 to 45 inches: Loam
45 to 57 inches: Gravelly loam
57 to 71 inches: Gravelly sandy loam
71 to 105 inches: Gravelly sandy loam

203—Buckhorse-Altazano complex, 2 to 8 percent slopes, flooded

Map Unit Setting

Elevation: 5,700 to 7,500 feet
Mean annual precipitation: 13 to 15 inches
Mean annual air temperature: 47 to 50 degrees F
Frost-free period: 140 to 160 days

Map Unit Composition

Buckhorse and similar soils: 55 percent
Altazano and similar soils: 35 percent

Description of Buckhorse Setting

Landform: Eroded fan remnants
Landform position (two-dimensional): Toeslope
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Slope alluvium derived from granite, gneiss, schist, granitic sandstone, fanglomerate, and mudstone

Properties and qualities

Slope: 2 to 8 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Well drained
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high (0.57 to 1.98 in/hr)
Depth to water table: More than 80 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum content: 15 percent
Maximum salinity: Nonsaline (0.0 to 2.0 mmhos/cm)
Sodium adsorption ratio, maximum: 4.0
Available water capacity: Moderate (about 6.3 inches)

Typical profile

0 to 4 inches: Coarse sandy loam
4 to 11 inches: Coarse sandy loam
11 to 22 inches: Loam
22 to 37 inches: Loam
37 to 49 inches: Fine sandy loam
49 to 61 inches: Sandy loam

B-16

61 to 83 inches: Gravelly coarse sand

Description of Altazano Setting

Landform: Inset fans on eroded fan remnants

Down-slope shape: Convex

Across-slope shape: Convex

Parent material: Slope alluvium derived from granite, gneiss, schist, granitic sandstone, fanglomerate, and mudstone

Properties and qualities

Slope: 2 to 8 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Well drained

Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high (0.60 to 1.98 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: Frequent

Frequency of ponding: None

Calcium carbonate, maximum content: 20 percent

Maximum salinity: Nonsaline (0.0 to 2.0 mmhos/cm)

Sodium adsorption ratio, maximum: 4.0

Available water capacity: Low (about 5.7 inches)

Typical profile

0 to 2 inches: Gravelly sandy loam

2 to 8 inches: Gravelly coarse sandy loam

8 to 19 inches: Very gravelly loamy coarse sand

19 to 29 inches: Gravelly sandy loam

29 to 46 inches: Loam

46 to 65 inches: Loam

65 to 74 inches: Gravelly coarse sandy loam

74 to 90 inches: Gravelly loamy coarse sand

205—Nazario gravelly loam, 2 to 8 percent slopes

Map Unit Setting

Elevation: 6,200 to 7,400 feet

Mean annual precipitation: 13 to 15 inches

Mean annual air temperature: 47 to 50 degrees F

Frost-free period: 140 to 160 days

Map Unit Composition

Nazario and similar soils: 90 percent

Description of Nazario Setting

Landform: Eroded fan remnants

Landform position (two-dimensional): Summit

B-17

Down-slope shape: Convex

Across-slope shape: Linear

Parent material: Alluvium derived from granite, gneiss, schist, and loess over residuum weathered from granitic fanglomerate and sandstone

Properties and qualities

Slope: 2 to 8 percent

Depth to restrictive feature: 20 to 28 inches to strongly contrasting textural stratification

Drainage class: Well drained

Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high (0.60 to 2.00 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Calcium carbonate, maximum content: 30 percent

Maximum salinity: Nonsaline (0.0 to 2.0 mmhos/cm)

Sodium adsorption ratio, maximum: 4.0

Available water capacity: Very low (about 2.7 inches)

Typical profile

0 to 2 inches: Gravelly loam

2 to 7 inches: Gravelly loam

7 to 15 inches: Gravelly loam

15 to 24 inches: Gravelly loam

24 to 43 inches: Very gravelly loamy coarse sand

43 to 52 inches: Gravelly loamy coarse sand

52 to 67 inches: Coarse sand

67 to 94 inches: Gravelly coarse sand

208—Alire-Urban land complex, 2 to 8 percent slopes

Map Unit Setting

Elevation: 6,400 to 7,400 feet

Mean annual precipitation: 13 to 15 inches

Mean annual air temperature: 47 to 50 degrees F

Frost-free period: 140 to 160 days

Map Unit Composition

Alire and similar soils: 50 percent

Urban land: 40 percent

Description of Alire Setting

Landform: Eroded fan remnants

Landform position (two-dimensional): Summit

Down-slope shape: Linear

Across-slope shape: Linear

B-18

Parent material: Alluvium derived from granite, gneiss, schist, and loess

Properties and qualities

Slope: 2 to 8 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Well drained

Capacity of the most limiting layer to transmit water (Ksat): Moderately high (0.20 to 0.57 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Calcium carbonate, maximum content: 40 percent

Gypsum, maximum content: 1 percent

Maximum salinity: Nonsaline to slightly saline (2.0 to 8.0 mmhos/cm)

Sodium adsorption ratio, maximum: 13.0

Available water capacity: High (about 9.3 inches)

Typical profile

0 to 4 inches: Loam

4 to 11 inches: Clay loam

11 to 20 inches: Clay loam

20 to 27 inches: Loam

27 to 42 inches: Loam

42 to 51 inches: Gravelly loam

51 to 69 inches: Gravelly loam

69 to 95 inches: Gravelly loam

95 to 99 inches: Gravelly sandy loam

Description of Urban LandSetting

Landform: Eroded fan remnants

Down-slope shape: Linear

Across-slope shape: Linear

EXISTING ACCESS AND TRAFFIC CIRCULATION

The principal access to the subdivision is from US 84/285. The New Mexico Department of Transportation provided for an improved intersection access as part of the widening improvements for US 285. The Acote roadway aligns with Jacinto Road on the west side of US 285. Camino Acote has been constructed as a 24 foot asphalt surfaced roadway through a majority of Tract 15A-2.

The New Mexico Department of Transportation had a concern regarding the potential spill-over of water onto the US 285 right-of-way at the entrance to the subdivision on Camino Acote. This concern has been addressed by requiring the construction of a detention pond on the north side of

B-19

Camino Acote which controls the discharge of water entering the culvert under Camino Acote. The detention pond and drainage structures controlling the discharge of water from the ponds will be constructed as part of the improvement for the lot development that will take place consistent with the location of the pond.

School Impact

The issue of the impact to public schools was addressed as part of the master plan application.

FUTURE UTILITIES

Water

This subject project is located within the service area of the Eldorado Area Water and Sanitation District. Water was extended into tract 15A-2 to serve the 25 lot subdivision created in 2002. Since that time water has been extended into the larger lot area with the 8 inch water line terminating at the east end of Camino Acote. The existing 8 inch line will serve this phase of the Subdivision.

Cielo Colorado LLC currently pays for three meters that are located within phase 1 of the Subdivision. This reduces the number of water meters needed for this phase of the Subdivision to three.

A ready willing and able letter has been provided to Cielo Colorado LLC., for more services than currently needed. The Service Agreement has been approved by the Board of the Eldorado Area Water and Sanitation District. The ready willing and able letter from EAWSD is found in Appendix E. The EAWSD will review and approve the engineering plans for the water system as part of their plan review.

Wastewater

A central wastewater system does not exist in Eldorado for the residential development. Private on-site liquid waste systems are proposed for Cielo Colorado. Unless decided otherwise by the lot owner conventional septic tanks and leach fields will be used as the collection, treatment and disposal system. Every lot within the project has an area for the leach field with slopes of 15 percent or less. Each lot has soils that are adequate to accommodate a conventional wastewater treatment system.

The size of the septic tank and area for the leach field will be determined as part of the review for issuance of a building permit on each lot. The New Mexico Environment Department will issue the permit for the septic tank and leach field.

Electric

There is single phase underground electric line located within the developed section of Camino Acote. This line is sufficient to provide electrical service to this initial phase of the Subdivision.

The length of the driveways to the house sites may necessitate the placement of transformers near the house. Given the size of the larger lots the placement of transformers along the roadway may not be practical in some instances. Transformers may have to be located close to the house due to the drop in line voltage over longer distances.

Natural Gas

The existing lots within the Cielo Colorado subdivision are not served by natural gas. There are no plans to extend natural gas into the subdivision.

Telephone

There is an existing underground telephone line that runs north-south through the approximate mid-section of the development. There is sufficient capacity in the existing underground telephone system to satisfy the demand estimated for telephone service in this phase of the project.

Design drawings for the telephone system will not be prepared until the subdivision is recorded.

Comcast

Comcast is available within Eldorado. The main service line would have to be extended from off site for some distance to reach the Subdivision. A cost estimate has been provided for the developer and a determination has been made that it is not cost effective to bring in this communication line to the property.

WATER BUDGET

Each lot will be limited to a maximum annual water use of .25 acre-feet. This provision will be specified in the Restrictive Covenants, Disclosure Statement and will be recorded with the Subdivision plat.

The total estimated annual water use is shown below:

$$6 \text{ lots} \times .25 \text{ ac. ft. /yr.} = 1.5 \text{ acre feet per year}$$

As pointed out previously in the report there are three existing meters on the property that are not currently being used. All three of the existing meters are within phase I and only 3 more meters will be needed to serve phase I of the Subdivision.

The developer is required to pay a connection charge to receive water service from the EAWSD. This connection fee includes the cost of EAWSD acquiring the necessary water rights to serve the project. The developer has entered into a Service Agreement for guaranteed water service from EAWSD.

Water Conservation

Santa Fe County has aggressively pursued water conservation measures in the County, beginning in 2002. The water conservation regulations the County has adopted consist of the following:

2002 Mandates indoor and outdoor conservation, including water conserving plumbing fixtures (Ordinance 2002-13).

2003 Mandates water harvesting for residential dwellings with passive or active systems depending on size of dwelling (Ordinance 2003-6).

2006 The 2003 ordinance was amended to include mandatory water re-circulation hot water systems and insulation for hot water pipes (Ordinance 2006-8)

Santa Fe County has one of the more aggressive water conservation standards of any county in New Mexico. While water conservation was previously enforced through covenants imposed on residents within the subdivision the County has now mandated water conservation by law enforced at the time of building permit review. The covenants will specify compliance with the County's water conservation ordinances.

FIRE PROTECTION

There is a fire sub-station located at the intersection of the US 285 and the access road to the Transfer Station. The distance from the fire sub-station located at US 285 by the transfer station to the furthest lot in the Subdivision is 1.3 miles. There are three fire stations located in Eldorado. Station 1 is located on Avenida Vista Grande near Avenida Torreon and is equipped with two fire engines and 2 ambulances. Station 2 is located at Avenida Vista Grande and Casa del Oro and is equipped with two engines and one tanker. Station 3 is located off of Old Road North and US-285 at the Santa Fe County Transfer Station and is equipped with four engines. Station 3 is located within the closest distance to the Cielo Colorado Estates development. There is also a fire station located on the I-25 frontage road near US 285 intersection that is a 24 hour manned station.

AFFORDABLE HOUSING

The current affordable housing regulations require that 8 percent of the market rate lots be constructed in the affordable ranges specified in the affordable housing ordinance. The six lots in this subdivision are not sufficient to trigger the requirement for an affordable housing unit. The next phase of the project will trigger the need for an affordable housing unit. The development of phase 1 will provide evidence of the market acceptance for these larger lots.

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FUTURE ACCESS AND TRAFFIC CIRCULATION

The only access to the property is from US 285, which is a federal highway facility, managed by the New Mexico Department of Transportation. The US 285 and Camino Acote/Jacinto intersection was improved as part of the widening of US 285. There are two protected left turn lanes in each direction with a substantial amount of stacking capacity.

A Traffic Impact Assessment was prepared by Jorge Gonzalez, PE as part of the master plan application. New Mexico Department of Transportation was notified of the reduction from 67 lots to 24 lots and responded that improvements to US 285 were not required by this development. Appendix F includes the last correspondence from NMDOT on Cielo Colorado Estates.

B-23