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But now I'm hearing – I'm getting mixed messages. I'm hearing that no, wait a minute. We don't really want the water line. So I think we're going to have a water summit and we're going to have discussions and they're going to get complex but that strikes to the core of some of what I'm hearing tonight and I think those are tough things I'd like to work with you and learn more about because I'm getting mixed messages. And so as this development goes, like I said, I can't get involved in the State Engineer's issues or the item that you brought up, Mr. Hall, that you've raised concern about. You're in a legal process of mediation to resolve that but at the same time I think we need to be careful how we utilize our water and where we utilize it, but I also think we can't hold everyone hostage associated with prior approvals or be inconsistent with our decisions and allow one area to have an extension of master plan and then turn around five minutes later and disallow one.

So I think it's complex; it's not simple. But I'm publicly letting you know some of the feedback that I'm getting and asking you as a community to help me better understand where is the community, relative to a County water system and moving closer and closer into the outlying areas of the county. And where does the County and those communities fit associated with their acceptance or approval. Because on the one hand I hear that there was a commitment by the County to put water there, but then I get an email that says, hey, we don't want the County system at all. So I want to know. I wasn't a part of all those determinations, but I want to know and have all the information so that I can work through it and understand it as best I can before I render any decision.

CHAIR VIGIL: I think the benefit of this community, Commissioner Anaya, I mean this particular project is we're here tonight only for an extension request. And we can add conditions of approval and what you've requested, the input you're looking for between the time that we actually approved this project would probably be at a monitoring state of the utilities system and the response from the community that you'll be able to have more information, but for tonight we're just approving an extension and I think it would be great maybe your constituency services could coordinate some information gathering to get from the community and we'll be better informed if in fact another condition of approval has to be there we'll still have the opportunity. So with that, I think we're ready to move on this. What is the pleasure of the Commission on this particular – Commissioner Stefanics.

COMMISSIONER STEFANICS: I am going to move approval of BCC Case MIS 06-5032, Trenza Time Extension, and it is for the period of 36 months extension with no changes of conditions. It's also understood they have to come forward for final plat approval.

CHAIR VIGIL: I have a motion.

COMMISSIONER HOLIAN: I will second that.

CHAIR VIGIL: Do you have a question or comment?

CCOMMISSIONER ANAYA: Madam Chair, I would ask that for what I would call a friendly amendment to that. I don't know what other conversations have been held on an ongoing basis with the community but as the applicant, if the extension is granted and as the applicant continues to go forward towards preliminary and final, which gets into the specifics of all the aspects in the development, if they would commit to

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meeting with the Village on a regular basis through that process to keep them abreast of what's going on and to seek some input. Would you be acceptable to doing that?

MR. HOEFT: Yes, Commissioner.

CHAIR VIGIL: Commissioner Holian.

COMMISSIONER HOLIAN: Thank you, Madam Chair. I just want to make a couple of comments. First of all I want to note that this development has already agreed that they will comply with the new code if it comes into existence before the development begins and I think that that answers a lot of concerns. And also I want to note they also have agreed that even if – it sounds like even on Phase I at the time that they're going for final plat approval they will consider if it looks feasible to hook into County water that they would even consider at least look at that as a possibility at that time. And I would certainly strongly urge them to do that at that time, if it looks like it's feasible. In other words if we have a pipeline nearby and in time for their development and so on. And also, I would like to also note that that is just Phase I and this is just preliminary plat approval. There still has to be final plat approval.

COMMISSIONER ANAYA: Madam Chair, on the previous point.

CHAIR VIGIL: Yes.

COMMISSIONER ANAYA: Madam Chair, Commissioner Holian, so you're talking about Phase II and subsequent phases, it's a condition that they absolutely would have to connect to the County system, right? So, Commissioner Holian, are you referring to Phase II and III and potentially even including Phase I in that hook-up?

COMMISSIONER HOLIAN: Well, Scott Hoeft indicated that if at the time they were starting in on Phase I, even at that time if we had a County water supply line near they would consider hooking into County water even at that time. That's my understanding.

COMMISSIONER ANAYA: Is that your understanding, Scott?

MR. HOEFT: Just to clarify here. We're out several years in terms of being able to come back for final development plan. As we're coming back we'll check with Public Works Department and Pego to see where they're at with the development of that line. Right now our condition states that we're permitted to do onsite wells in the 28 acre-feet that was referenced early in the OSE approval. At the time, however, when we get back again we will check and see the status and see where the water line is at. Yes, Commissioner.

COMMISSIONER ANAYA: Madam Chair, Commissioner Stefanics, would you accept that as a friendly amendment?

COMMISSIONER STEFANICS: Madam Chair, I have no objection to the amendment. I believe though that that has been the tenor of this particular developer all along. Does the developer have any problems with it? I don't have any problems with it but that's what they've been doing all along. In fact they probably can document many, many meetings, the community as well as the developer.

CHAIR VIGIL: Okay, we have a motion with an amendment that the developer will stay in communication with the community to gain further insights as we create the best outcome for resource sharing of water, which is the goal here. And there is a second.

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The motion passed by unanimous [4-0] voice vote.

CHAIR VIGIL: Thank you, gentlemen, for being here. Thank you all for testifying.

- XV. A. 5. **CDRC Case # V 11-5270 Cuatro Villas Mutual Domestic Water Users Associations.** Cuatro Villas Mutual Domestic Water Users Association, Applicant, Kari Edenfield (Souder, Miller and Associates), Agent, Request a Variance, of Article III, Section 4.4.4.C Development and Design Standards, to Allow a Proposed Water Storage Tank to Exceed the Maximum Permitted Height of Thirty-Six Feet. The Project is Located at 51 Placita Road, within Section 4, Township 20 North, Range 9 East (Commission District 1) Jose E. Larrañaga, Case Manager

MR. LARRAÑAGA: Thank you, Madam Chair. On October 20, 2011, the County Development Review Committee met and acted on this case, the decision of the CDRC was to recommend approval of CDRC CASE # V 11-5270, Cuatro Villas Mutual Domestic Water Users Association.

The Cuatro Villas Mutual Domestic Water Users Association is a nonprofit community organization established under the New Mexico Sanitary Projects Act. The mission of Cuatro Villas MDWUA is to provide safe, reliable drinking water to the communities of La Puebla, Sombrillo, Cuarteles and El Valle de Arroyo Seco.

On May 24, 2011, the Board of County Commissioners approved a request for a Grant of Right of Way, to the Cuatro Villas Mutual Domestic Water Users Association, for the purpose of installing two 500,000-gallon concrete water storage tanks and distribution infrastructure on the site known as La Puebla Park located at 51 Placita Road.

An Administrative review of the site for placement of a five hundred thousand (500,000) gallon concrete water storage tank and distribution infrastructure is currently being processed by Building and Development Services. The development will encompass approximately 0.74 acres within the site. The tank will have an exposed height of 47 feet with eight feet compromising the dome roof. The north side of the tank will be partially buried and have an exposed height of 31 feet . Approval of this development is pending resolution of the proposed height of the tank and technical review by the Utility Department.

The Applicant requests a variance of Article III, Section 4.4.4.c, Development and Design Standards of the Land Development Code, to allow a 500,000-gallon concrete water storage tank to exceed the maximum permitted height of 36 feet. The Applicant states: "The proposed elevation of the tank is needed to provide the optimal elevations for providing the required pressure for the water system. The site was selected for its centralized location within the Cuatro Villas service area and site elevations to provide the gravity flow needed for the system".

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- XIV. A. 6. CDRC Case # S 06-5031 the Village at Galisteo Basin Preserve Preliminary Plat/Development Plan. Commonweal Conservancy Inc., Applicant, Ted Harrison, Agent Request Preliminary Plat and Development Plan Approval for Phase 1 of the Village at Galisteo Basin Preserve Which Will Consist of 131 Single-Family Residential Lots, 3 Multi-Family Residential Lots for a Total of 149 Residential Units, and 5 Non-Residential Lots Within a 60-Acre Development Envelope within an Overall 10,000+ Acre Area. The Request Also Includes the Following Variances of the County Land Development Code: 1) to Allow Driveway Locations to Be Closer than 100 Feet From Intersections; 2) to Allow Slopes of Up to 5% within 50 Feet of an Intersection Rather Than Required 3% or Less Within 100 Feet of an Intersection; 3) to Allow Driving Lanes for Minor Arterial Roads and Local Sub-Collector Roads to Be Reduced to A Width of Less Than 12 Feet; 4) to Reduce the Required R-O-W Width From 50 Feet to 32 Feet for Local Sub-Collector Roads and 25 Feet for Local Lane Roadways; 5) to Allow a Cul-de-Sac Length of 900 Feet; 6) to Allow Commercial and Residential Building Heights of Up to 30 Feet in Certain Areas (Commission District 3) Vicki Lucero, Case Manager

MS. LUCERO: Thank you, Mr. Chair. On September 8, 2009, the BCC tabled this case and directed the applicant to submit a new market analysis, to provide more data regarding water availability for the entire development, and to work with the communities of Galisteo, Eldorado, Lamy, Cañoncito, and the Eldorado Area Water and Sanitation District. The applicant has submitted documentation regarding the meetings they have held with these communities and entities. However, as of the time this information was submitted they had not met with the community of Cañoncito. And I believe the applicant had a meeting scheduled last week which got cancelled due to the weather but they have spoken to at least one person within that community and they can expand on that further during their presentation.

The applicant did submit a revised market analysis. Staff's review comments on the market analysis are attached in Exhibit D. The applicant submitted a letter to the County Utilities requesting water service for phases 2 through 5 of the proposed development in order to address the long-term water availability issues as directed by the BCC at the September meeting. The Utilities Department has issued a ready-willing-and-able letter to provide water to the development subject to several conditions. And that letter is referenced in Exhibit L.

Staff believes that a change in water supply from a private system to the County Utility would require a master plan amendment and this should be done prior to the Board taking action on the preliminary plat for phases 2 through 5. Staff also believes this change could have an impact on the design of the water system that should be taken into account. This may require revised plans to be submitted for review.



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On June 18, 2009 the CDRC met and acted on this case. The decision of the CDRC was to recommend approval of this request. The request that was presented to the CDRC included a variance to allow cul-de-sacs greater than 500 feet in length. Article V, Section 8.2.1.d of the Land Development Code states that cul-de-sacs shall not be longer than 500 feet. However, in low density residential areas the lengths of cul-de-sacs may be adjusted by the CDRC with the changes consistent with public safety factors. The CDRC approved the cul-de-sac lengths. After several meetings with the applicants regarding the specific issue staff has determined that a variance for the length of cul-de-sac is not needed.

The Land Use Administrator has prepared a statement that I would like to read into the record. "The Village at Galisteo Preserve has presented numerous challenges for the Land Use Development Review staff and other department staff members. The success of the project depends on a number of new planning and development techniques that are not yet in full play in Santa Fe County. The ideas of clustered, mixed-use development patterns, community-based affordable housing, new road configurations, green building, watershed management and restoration, agriculture and open space protection, alternative energy development and localized economic development initiatives are basic growth management principles that were originally considered and outlined in the Santa Fe County 1999 Growth Management Plan.

"Many of these were implemented in the creation of the Community College District and the subsequent adoption of Ordinance No. 2000-12, an ordinance providing for land use and zoning regulations for that district. At this moment, however, those adopted principles apply only to the Community College District and not to the County in general. The Village at Galisteo Basin Preserve has to be reviewed under the existing rules and regulations that apply specifically to it and not to the Community College District. In addition, this has created a more difficult situation for Land Use staff as they fully understand that as part of the development of a new sustainable land use plan and code many of our older and ineffective growth management strategies and techniques are being reconsidered and new rules and regulations are being proposed. Consequently, a number of issues presented by the Village at Galisteo Basin Preserve are variances to our existing codes and must be presented as such, as that is what they are, variances to existing rules and regulations.

"In the majority of the land use cases that we review in our department we do not support variances but present them to the governing body for final consideration and determination. In this case we present the detailed issues of the variances but suggest that in relation to or in comparison with the Community College District ordinance, and in consideration of proposed new growth management techniques and regulations most of these variances might well be in compliance with future rules and regulations. Furthermore, since the last Board of County Commission meeting County Land Use, Public Works and Fire staff have met with the applicant's staff and gone over each variance in more detail to determine in comparison with the CCD regulations and currently proposed new ideas if any of their proposed variances present an immediate threat to health and safety concerns that we might have.

"At this point in the deliberation of this project and in the consideration of our new sustainable land development plan and code it is the opinion of the Land Use Administrator that

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these project variances do not pose any threats to health, safety and welfare concerns, and most of them may in fact not be variances under the proposed new plan and code. We hope that you will review these variances in that same context."

Staff recommendation: Article II, Section 3 states that the Development Review Committee may recommend to the Board and the Board may vary, modify, or waive the requirement of the Code, and upon adequate proof that compliance with Code provisions at issue will result in an arbitrary and unreasonable taking of property, or exact hardship, and proof that a variance from the Code will not result in conditions injurious to health or safety. The applicant is requesting a variance of allowable building height and several variances having to do with road construction design standards. They are requesting to reduce right-of-way widths, reduce driving surface width, increase roadways at the approach to intersections, and reduce spacing between intersections.

The County Land Development Code states, "The arrangement, character, extent, width, grade and location of all roads shall be considered in relation to convenience and safety and to the proposed use of land to be served by such roads."

Self-sustaining, clustered mixed-use developments such as the Village at Galisteo Basin Preserve are not categorized differently or regulated differently than typical residential, commercial or mixed-use developments under the County Land Development Code. The only regulations that apply specifically to this type of development are found in the Community College District Ordinance. The applicant has somewhat designed this project based on the purpose, principles and guidelines of the Community College District Ordinance. Although staff recognizes that the design standards and regulations of the CCDO are more appropriate standards for this development to follow, staff cannot recommend approval of the variances requested because this development does not fall within the jurisdiction of the Community College and must comply with the regulations and standards set forth in the County Land Development Code.

The decision of the CDRC was to recommend approval of this request. If the BCC 's decision is to approve this request staff recommends the following conditions be imposed. Mr. Chair, may I enter those into the record?

[The conditions are as follows:]

1. All redlines must be addressed.
2. Compliance with applicable review comments from the following:
 - a. State Engineer
 - b. State Environment Dept
 - c. Soil & Water Conservation
 - d. State Department of Transportation
 - e. County Hydrologist/Water Resources Department
 - f. Development Review Director
 - g. County Fire Marshal (Site & Building Plans)
 - h. County Public Works
 - i. State Historic Preservation Division

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- j. County Technical Review
 - k. Open Space, Parks & Trails Division
 - l. Public School District
 - m. County Housing Division
 - n. County Planning Division
3. Development within the US 84/285 Highway Corridor shall comply with the district standards of the US 84/285 South Highway Corridor Ordinance (Ordinance No. 2005-08)
 4. All archeological easements shall be shown on the plat. The State Historic Preservation Office shall approve all proposed mitigation measures prior to final plat recordation.
 5. Base flood elevations for the Arroyo de Los Angeles and its tributaries shall be established prior to final plat approval.
 6. All redline comments must be addressed.
 7. Road names and addresses must be approved by Rural Addressing prior to final plat recordation.
 8. Final homeowners documents and disclosure statement are subject to approval by staff prior to final plat.
 9. Water restrictive covenants shall be recorded with the final plat.
 10. All utilities must be underground.
 11. All lots are subject to the Santa Fe County Fire and Rescue Impact fees. This must be clearly noted on the final plat.
 12. The applicant must submit an engineer's cost estimate and final guarantee for all required improvements (i.e., road construction, street and traffic signs, fire protection, etc.) prior to final plat recordation. A schedule of compliance projecting time period for completion of improvements must be included. Upon completion, the applicant must submit a certification by a registered professional engineer that improvements have been completed according to the approved development plan.
 13. The following note must be put on the plat: *Permits for building construction will not be issued until required improvements for roads, drainage and fire protection have been completed as required by staff.*
 14. An access permit will be required from NMDOT prior to final plat approval.
 15. An approved discharge from the Environment Department shall be submitted prior to recording the plat.
 16. Compliance with conditions of the master plan approval.
 17. A water quality and water system maintenance plan shall be submitted prior to final plat approval.
 18. This development will be subject to the Santa Fe County Sustainable Land Development Plan and Sustainable Land Development Code.
 19. The top of all swales must be at least ten feet off the pavement to provide a clear zone. Street trees cannot be placed in the clear zone.

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- 20. The proposed streets throughout the development must comply with the exact road standards of the Community College District Ordinance as specifically described in Exhibit M. This includes placement of curb and gutter and increasing right-of-way widths.
- 21. Master plan must be amended to reflect the change of water service from an onsite community water system to service by the County Water System prior to preliminary plant application of Phases II-VI.
- 22. Development must comply with Section 5.9 (Culverts, open channels and stormdrain systems) of the County Floodplain Ordinance (Ordinance 2008-10).
- 23. The applicant must provide road cross-section every 50 feet to show cut and fill slopes. The sections must include street names and station numbers. These sections must be provided with the submittal of the final plat/development plan for this project in order to facilitate a detailed review.

CHAIRMAN MONTOYA: Questions for staff. Commissioner Anaya.

COMMISSIONER ANAYA: Thank you, Mr. Chair. Vicki, did they change the name?

MS. LUCERO: Mr. Chair, Commissioner Anaya, at this point they have not suggested a name change.

COMMISSIONER ANAYA: Okay, I'm going to go ahead and move to table. No, I'm just kidding.

CHAIRMAN MONTOYA: I almost gave you a second there. Okay. The applicant, if he'd please come forward and be sworn in.

[Duly sworn, Scott Hoeft testified as follows:]

SCOTT HOEFT: Scott Hoeft, Santa Fe Planning Group, 109 St. Francis, Santa Fe, New Mexico, 87504. After the last meeting that we had in September Ted asked me to come aboard to help out with some of the outstanding issues. He's pulled in a lot of different ways. We had some issues that we really needed to sit down with staff and solve, mostly the variance issues and so he asked me to come aboard to see if we can sort out these issues. By the reading of the staff report that you just heard you can tell that we've come a long way in the last four months.

What we'd like to do though is not go through a belabored presentation. I'm going to start off where we left off at the last hearing. I'm going to address the five points that were kind of hanging that I looked at in the minutes of the previous hearing and from there - I'll be about five minutes in length, and from there I'll turn it over to the public to make statements if I can have a chance though at the end to speak at the end of the project to conclude. That would be helpful.

So where we left off last were the variances, and we had five to deal with, actually four now, because the issue with the cul-de-sac and the length of it was no longer applicable. And that was an issue related to density. But what I don't want to do is go through each of the variances in turn. What I want to state though is that what we concluded when we met with

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staff, with Shelley, with Jack, with Public Works, is that we weren't that far off. What was pretty apparent is that what we were asking for was almost within the confines of the CCD District and in fact there were only a few instances here and there that were beyond the CCD District.

And so when we began to study that it became apparent that what we were asking for really wasn't that abnormal and that in fact it was very progressive, and in fact, even thinking ahead to the new code, the SLDP, we were very consistent with ultimately what was going to be planned. And so I think once we kind of got that all on the table and we really went through each of the instances and literally, the staff of Commonweal brought out drawings and we showed where each of these instances were going to be, that it became, it seemed a lot less onerous for staff to review and overall I think we've come a long way. And I know they can't technically recommend support of variances pursuant to the Code, they can say, as Jack stated in his paragraph, that he feels they don't pose a significant threat to the health, safety and welfare.

And so I think that we've come a long way with those variance issues and again, with staff conditions, I feel we support where we're at right now. What I want to do, however, is at the end of my presentation come back and modify two of the conditions. We met with Shelley and with Vicki yesterday and I think we've come a long way with actually sorting out two more. So the variance issues I think we've come along with.

The second issue that I'd like to point out was I saw where we left off last in September was in neighborhood meetings, and there was a concern that we haven't met with Eldorado, Lamy, and Galisteo. And what Ted did immediately in October, as I mentioned, he pulled in a lot of different ways is had neighborhood meetings. And he did meet with those groups pursuant to the request of this Board to gather additional feedback. And for the most part, they were relatively positive meetings. The one exception was Cañoncito. We tried. Ted had a meeting I think up until last week and it was snowed out. We did have a chance to talk with Ms. Gurule, who is the association representative in that area, and at a glance she didn't quite see why we were meeting with her because it's quite a distance from the project itself. It's about 12 miles away, but she'd be more than willing to sit down with us and discuss the project. But at a glance she was supportive of the project.

The next issue was market study. You asked us to update the market study that was completed in 05 and 06. In other words, we did. We submitted those two updated reports and you have a review letter from Santa Fe County staff member Duncan Sill, and overall, those are relatively positive. A couple of things to point out with the market study, and I don't want to get into the nuts and bolts unless you have specific questions, is just generally the theme of what we're talking about here with this project. This project has a competitive advantage, and you read that within those reports, and that competitive advantage is that you have a project on 10,000 acres that's utilizing 300 acres. Okay. 10,000 acres utilizing 300 acres. That's pretty impressive. And why those people are going to buy in that community is for that 10,000 acres.

And so you have a product that has a multiple type of housing units. You have tighter density of a traditional community, which again, goes with the variance request that we're

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asking for, and it's going to be a product that we feel is going to be in demand. And so that is the competitive advantage that I believe comes out in those market studies.

The next issue I'd like to talk about is water. We feel that we've satisfied the qualifications and the requirements of the preliminary development plan submittal and plat and Steve Ross can verify that and we went farther in that we received a letter from Marvin Martinez, we worked with the County Utility Department to get a ready-willing-and-able to serve letter for the balance of the project at your request. So we accomplished that. And that letter is in your packet as well and it largely states it would be served by the County utility for the balance of the project beyond Phase I.

And the last thing I'd like to talk about in terms of the points that you brought up at the last hearing was the name of the project. Commissioner Anaya, we heard the concern regarding the name and as stewards of the community, Commonweal did not want to get in the position of feeling like they were pirating the historical nature of that area, and so we've changed the name. The name of the project is Trenza. A single word, it means braid, and it gets at the community and the weave that is going to be illustrated within the design intent. It's going to have the multiple product types, the multiple income levels, the tighter density, the vast amounts of open space. It's going to be a braid within the community. So the new name of the project is Trenza. The Village at Galisteo Basin Preserve no longer exists.

So the last thing I'd like to talk about in my brief presentation is this comment on the meeting we had with Robert Freilich. So when Ted asked me to come aboard to help him shore up some of these issues I said, look, the first thing we have to do is sit down with Robert Freilich because we have to understand the intent of the project and what we're trying to accomplish. Is this consistent with ultimately where the County wants to go? And so we set up a meeting with Robert, with Roman Abeyta, with Steve Ross, back in October to present the project to him, which he's never seen before, and to say this is what we're trying to accomplish. What do you see? And is this a problem for the County? And he was very supportive of the project.

The variances, he was supportive of most of the variances as well. He thought those were very consistent with ultimately where the Code is going to be. He liked the idea of the traditional community, the neo-traditional planning, the new urban principles and the tight density, the multiple product types, the multiple income levels, all woven into this tight community, while the balance of the land, 10,000 acres left as open space for the benefit of the community and for the public. He liked that idea.

We also talked about the primary and secondary growth areas. We've all seen the maps now in the new plan that shows primary, secondary growth areas and we asked the point specifically, we asked - this area is in a secondary growth area. It's not in a primary growth area. How does that affect you? And he said, that's fine. The intent of the map is not to say everything needs to occur first within the primary growth area and then only then can the secondary growth area come into play. In fact, the secondary growth area, this is a model project, can serve as an example of what others should follow within the community. Tight density, vast amounts of open space - what more can the County ask for?

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So in sum, I can't speak for Mr. Freilich; he's not here this evening. But overall, in those meetings that we had, initially, right after the hearing that we had in September, Mr. Freilich was very supportive of the project. So with that, that's my presentation. I'll stand for questions and I'll open it up to the public. Thank you.

CHAIRMAN MONTOYA: Okay, questions for the applicant? Commissioner Anaya.

COMMISSIONER ANAYA: Scott, I was just checking to see if you were awake earlier.

MR. HOEFT: You got me.

CHAIRMAN MONTOYA: Did you see him jump?

COMMISSIONER ANAYA: Tell me about the cemetery.

MR. HOEFT: The cemetery is something that we just talked about today to try to - I needed to get a handle on it as well. And what it is is that what we're going to be doing is not going through the traditional processes of embalming people. It will be natural process, to where people will be put into the ground in a natural way without the normal chemicals that are used in the embalming process. The other option on that will be that be that people who are in fact cremated, rather than using the dollars that they would normally spend on funeral arrangements or on the process would be taking those dollars, donating it to Commonweal, so in turn they would be buying additional land for the preserve.

COMMISSIONER ANAYA: So who can be buried there?

MR. HOEFT: Anyone.

COMMISSIONER ANAYA: And tell me about the natural. What do you mean? You're not going to need a casket?

MR. HOEFT: That I don't know. If you would indulge me, could I just talk to my colleague really briefly?

COMMISSIONER ANAYA: Yes. I want to know the details.

MR. HOEFT: You know maybe it's time. Let me just let Ted answer this question. He has a really good handle on it.

COMMISSIONER ANAYA: Another thing I want to talk about is who can be buried there and how much is it going to cost to be buried there. We've got a lot of indigent people that die and can't pay for places or plots, and I want to know if they can be able to be buried there without being charged.

MR. HOEFT: Ted will have to answer that question. Let me get him up here right now and he can field the question, Commissioner, if that's okay with you.

[Duly sworn, Ted Harrison testified as follows:]

TED HARRISON: Ted Harrison, 2112 Paseo del Monte, Santa Fe, New Mexico. Mr. Chair, Commissioner, actually, there's an individual in the audience that is working with us very specifically on the green burial program, so he can give you - I hesitate to say the gory details. But he can give you quite a story as to the work that he's pursuing to bring forward nationally and to have our project be an example of how we can go back to a burial process that doesn't have all the layering and expense that the funeral industry has

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come to apply to the death process.

We were excited about pursuing a project, pursuing a community development that was truly cradle to grave. And to do the grave part of it most responsibly we've looked to experts around the country as to what is the most benign way to take a body into the ground, with the lowest carbon footprint. And the most gentle, lowest-carbon footprint way to do that is to take a body quickly after the person has died, refrigerate them wrap them in a shroud and inter them into the ground. And then another element of the green burial is you don't end up with headstones in the Kentucky bluegrass, that's also a part of a lot of the way we've been doing cemeteries in the last 50 years.

So to keep the land and the burial site native grasses or shrubs. And folks who choose to be buried this way end up essentially with a GPS coordinate as to where their loved one has been buried. There's also a plan for a ritual site so that in the process of acknowledging that person's life and their passing there's a space within this five-acre cemetery. It's not a large piece of the project. That they would have a place at the cemetery to be able to offer last remarks and an acknowledgement.

There is the opportunity for folks to be interred after they were cremated, although the lowest carbon footprint approach is to take the whole body into the earth. How many people could be accommodated? I think the plan right now is a 5 1/2-acre cemetery. It's shocking. It's not my experience as to what the density of bodies could be in a cemetery of 5 1/2 acres, but I think Joe Schee who is the head of the IIS Green Burial Council might describe the density as being 1,500 to 2,000 people. So when we talk about it having be a cemetery that's open to the larger public it would be quickly filled up, I think. So if we want to expand it, if that's an opportunity at a later point, if this is a well received concept then we're certainly open to that. We do have quite a bit of land.

We also have the opportunity to pursue scattering, so people who have gone through the process of being cremated and don't necessarily want to be interred can be scattered within the larger open space and a lot of people - we get calls and they've mentioned this in an earlier presentation, we get calls every week for folks. I wish we had this many folks interested in the lots. But we have folks every week calling us about the opportunity to be scattered or buried in this landscape.

So there may be ways to accommodate people in all variety of practices. Whole body burial, a burial of an urn that has cremated remains or a scattering. In terms of cost, I think a traditional burial can run \$12,000 to \$20,000. And there's a variety of price points. It isn't our business but Joe Schee could probably speak to it more specifically, but the idea is to make this available to folks for a couple hundred dollars. So if you're just coming in on a scattering or an interment of ashes it's a very modest cost. The opportunity to use the green burial as a fundraising strategy is something that also we're in discussions on, but it would be totally voluntary. Folks could make a donation to deal with the larger land stewardship goals of the project.

COMMISSIONER ANAYA: Thank you.
CHAIRMAN MONTOYA: Commissioner Stefanics.

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COMMISSIONER STEFANICS: Mr. Chair, on this point, since Commissioner Anaya brought it up I understand anyone can come to the County to get a permit for a green burial and that there are several burials such as this all over the county. So this is not a new idea. But I would like to let you know that the company you're dealing with had a very bad experience with a friend of mine's family who died. And they were not prepared to deal with it. And I would hope that the business will get its act together before they ever deal with a dead person and a family again. Thank you.

CHAIRMAN MONTROYA: Commissioner Holian.

COMMISSIONER HOLIAN: Thank you, Mr. Chair. Scott, I'm just sort of wondering, of the 10,000 acres, how much has been purchased at this point and how much is in a conservation easement at this point.

MR. HOEFT: I need to confer with my colleague really quick. 8,500 has been purchased and 1,250 is under easement.

COMMISSIONER HOLIAN: And the remaining part of the land is under contract in some way or it's being - it will be held until they can purchase it?

MR. HOEFT: Yes. Correct.

COMMISSIONER HOLIAN: Okay. Thank you.

CHAIRMAN MONTROYA: Seeing no questions, this is a public hearing so if anyone would like to testify on this case please come forward.

[The following speakers were all sworn in as a group.]

CHAIRMAN MONTROYA: So if you could all go ahead and start. I'm going to give you each two minutes and I ask that we try not to be repetitive. If it is I'll ask you to move to another point or ask that you cease your comments at that point. So I just ask for no redundancy and go ahead.

RICI PETERSON: Good evening, Mr. Chair and Commissioners. My name is Rici Peterson and I'm the executive director of the Santa Fe Conservation Trust. We're located at 316 East Marcy in Santa Fe. And I'm one of the people sworn in just now. I'd like to say that the Santa Fe Conservation Trust is the local land and trails organization and is a very strong supporter of the Commonwealth Conservancy Project. We feel that the variances enhance the quality of life for current and future generations as part of their overall plan to create a high standard of living, promote public health, and to protect more than 12,000 acres of open natural land for people and wildlife.

At the Santa Fe Conservation Trust our work is to provide landowners and communities with a partner to protect the land that protects quality of life for all. And I'd like to say that if all developers and landowners worked the way that Commonwealth is working there wouldn't be need for land conservation organizations like ours because they are definitely acting in the leadership role to help create good, healthy communities and sustainable land practices as well.

We are very proud at the Santa Fe Conservation Trust of the County's leadership in creating a sustainable land use code and we feel that this project fits well within it. We hope that it will be approved and that it will serve as a role model for other developers in Santa Fe

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County and eventually nationwide. This is how it ought to be done. Thank you.

CHAIRMAN MONTOYA: Thank you, Rici. Next.

JOE MILLER: My name's Joe Miller. I've been here before. I just want to make some comments and go on the record here. We're probably the closest neighbors to this project. You go down 285 and you turn west into theirs or you can turn east into ours. And I just want to go on record that we have no objection to it at all. I think it's a good project and going to add to the community. Thank you.

CHAIRMAN MONTOYA: Thank you, Joe. Next.

RICHARD GRISCOM: My name's Richard Griscom and I have been sworn in. 22 Via La Puente, Galisteo. I've been a resident there since 1971. I'm representing the Galisteo Planning Commission in being here tonight. I'm not sure I can do this in two minutes, Mr. Chair, but I'll do my best.

CHAIRMAN MONTOYA: Okay.

MR. GRISCOM: On June 12, 2007 the Galisteo Planning Committee presented to the Board of County Commissioners a series of recommendations about this project. We in our recommendations we recommended approval of the project but based on five conditions. And I want to talk for several seconds this evening about those conditions. The Board of County Commissioners at that meeting in 2007 did accept the recommendations for conditions as a part of its approval.

Following that approval by the County Commission, a committee was formed in Galisteo of eight volunteers to work with Commonweal in negotiating how the conditions would be fulfilled. And the eight people on that committee include representatives of the three relevant organizations in Galisteo, the Galisteo Water Board, the Ranchitos de Galisteo Water Board, and the Galisteo Community Association.

The first of the five conditions was that the County require that the hydrological assumptions used and the testing carried out to estimate water availability for the project be as conservative and thorough as possible. The committee engaged the services of Dr. Peggy Johnson from the New Mexico Bureau of Geology and Mineral Resources to give us a report on those questions, whether the testing was thorough and whether the assumptions were conservative, and her report came through affirmative that indeed that we could consider that condition met.

The second condition was that the total hydrological impact of the project be evaluated by examining the water and water requirements of all three phases of the project before the final approval of phase 1. I understand - if I understand the situation correctly, that is being done now by the Board. The Board is looking at the fact that this project is going to require 197 acre-feet of water, not just 31. Thirty-one is the figure for phase 1; 197 is the figure for the whole project. And as I perceive the posture of what's happening at this and prior meetings I think the Commission is taking all that into consideration, so I think that condition is in the process of being met.

The third condition was that Commonweal be required to show beyond a reasonable doubt that its Galisteo Basin Preserve will not cause an impairment of Galisteo's wells. We

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engaged the services of Mr. Neil Blandford with the cooperation of Commonweal to give us an opinion on this question. His report came through also affirmative that the project would not cause an impairment of Galisteo's wells.

The fourth condition was that in case the Galisteo Basin Preserve tied in with the Eldorado Water and Sewage District for its water supply, that the Eldorado Lamy wells not be drawn upon for the projects' water needs. This is something we need to keep an eye on. It's my understanding that Commonweal does not intend to tie in with Eldorado, rather it intends to tie in with the County, and the County's water system. So if that's the case then this condition also would be fulfilled. But it's something we need to be aware of and keep an eye on. We feel very strongly that the Lamy wells operated by the Eldorado system have had a negative effect on our alluvial aquifer and we don't want that negative effect to be increased.

A final condition I want to talk about is that Commonweal post a performance bond to guarantee that Galisteo's water supply be restored to its condition prior to the development if the water supply is impaired due to the development as established by a joint monitoring program. We were unable to get a performance bond. It was our idea initially and in the planning commission to push for a performance bond, and the County went along - the Board went along with it, but when push came to shove and we started contacting real estate and insurance agents about that we weren't able to get one. The reply was uniformly it's too far in the future. We were looking at 100-year impact. It's too speculative. We could not get a policy.

We therefore agreed with Commonweal that we would, in lieu of that, that we would try to forge an agreement between Galisteo and Commonweal Conservancy that would adequately protect us, and that's what we've been working on for the last two years. An agreement that includes several monitoring wells, and I wanted to mention earlier that the CDRC made it a condition of its approval in I think it was March of 2007, that there be a well monitoring program set up to monitor the impact of the Commonweal, if any, on Galisteo's wells. So we have negotiated for the past two years on this agreement that does imply two monitoring wells on the Preserve, located in a direct line between the Preserve and the Village of Galisteo. And the thrust of the agreement is that if the water levels in those two monitoring wells fall beyond a certain agreed upon point then it will be deemed - the deeming will be made that Galisteo's wells are being impacted. And Commonweal will be required at that point to take action to make us whole and to restore our water supply, even though the dropping of the wells may not have occurred in the Village of Galisteo yet.

Commonweal would have at that point three options: to deliver water to us through a pipeline or another avenue; to drill a new well on the reserve for us; or to tie in with another utility that would give us water. And Galisteo would have the choice. Galisteo would have the choice of which of those three options would be acceptable. Galisteo would not have to accept the one that Commonweal initially proposed.

So we're very close to having a final agreement on that contract. Two of the three Galisteo entities that I mentioned earlier have signed off on it. Commonweal is prepared to

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sign off on it, but the Galisteo Water Association has some problems with it, so there's some further negotiation that needs to happen. I feel comfortable that given enough time that we can reach an agreement that the Galisteo Water Board would support. So I'm prepared to recommend that the Commission approve this project, or phase 1 of this project, again, with the understanding that that agreement will be finalized. I want to state before closing that all sides, all four entities, Commonweal, the three Galisteo entities, have negotiated in good faith. We're very close to having a final agreement and I want to commend Commonweal for its attitude in wanting to work with us. I think it's a rather new, innovative and commendable approach and I think it's working, and with that I'll close and answer any questions that you might have.

CHAIRMAN MONTOYA: Thank you. Next please.

DANIEL WERWATH: My name is Daniel Werwath with the Santa Fe Community Housing Trust, 1111 Agua Fria Street, and I am under oath. I'll try and keep this nice and brief and maybe make up some of Mr. Griscorn's time there. Just a few points I want to make. One, Commonweal's been consulting with us for several years on the affordable housing component of their plan and we like it and we agree with it. The second big point is that I think that we support this project on the basis of its innovation, especially in the areas of sustainability. And the third point is just that we're committed to helping them market these affordable units and find appropriate buyers and income-qualify those folks for this project. Thanks.

CHAIRMAN MONTOYA: Thank you. Next, please.

PAUL WHITE: My name is Paul White and I was sworn in. 94 Camino Chupadero, Santa Fe. First of all I want to say that I think this is an excellent project and I encourage the County to approve this project. I do have concerns about the water supply from the -- if it would be from the Buckman Direct Diversion. There's a number of concerns as far as the viability of the Buckman Direct Diversion project and I do not believe that the water rights associated with the diversion are sustainable. They are subject to downstream litigation, currently in process right now, subject to drought, and I think it would be a mistake to continue planning using the Buckman Direct Diversion for large-scale development plans. Thank you.

CHAIRMAN MONTOYA: Thank you. Next, please.

FRED MILDER: My name is Fred Milder. I live at 52 West Basin Ridge in Galisteo and I am under oath. I'll be very brief. Commonweal is one of the few if not the only developers in this area that is not developing for money, is not developing in a self-serving fashion but is in fact developing to serve the community that it intends to be building in. And I can't approve of this project more than that.

CHAIRMAN MONTOYA: Thank you, Fred. Next.

MITCH GUZACH: My name is Mitch Guzach. I reside at 1899 Pacheco and I was sworn in earlier. Mr. Chair, members of the Commission, I've been in the real estate profession for 30 years, plus or minus, and on the other side of that a primary interest of mine has been land use, sustainability, and issues about sprawl. And I was honored with a tour of

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the property by Mr. Harrison and I was really impressed with the concept of the cluster development to get away from the 20-acre ranchettes and the 40-acre ranchettes and how much more sustainable the whole project is by being condensed. So that I think is the major point that I want to say is that we've got a really forward-looking development here in terms of the whole cluster concept.

I've got a concern about the water. I was looking at the property, one of the ways I was looking at was as a lender, because I'm in the mortgage business. And I talked to my underwriter, I actually talked to a couple underwriters. And bottom line, their major concern was, well, who's going to deliver the water? And the conversation led to their conclusion which was that the owner of the property was a more dependable source of water than the County was. That there were issues about cost. It was going to be difficult to be able to determine what the cost was going to be, if we were hooked up to a County water system. And then all the questions about water rights - who has senior rights? Who has junior rights? So from a financing standpoint there would be more solidity and security with the owner being in charge of that decision. And the previous speaker talked about what those options were. It ultimately may need to be the County. It doesn't seem to be a need at this point.

I think that's what I wanted to say. Thank you very much.

CHAIRMAN MONTOYA: Okay. Thank you. Next, please.

JOANNE TROFIMUK: Joanne Trofimuk, 882 Camino los Abuelos in Galisteo. And I feel like the grinch, because I don't agree with most of what these people said. Galisteo, all these water things have been studied, the hydrologists, are based on a 100-year study. Galisteo have been there more than 100 years. And I think it is this Commission's responsibility to protect some of these little towns. I understand all about, and I think certainly the conservancy issue and the group housing is fine. However, we are very concerned about our water supply. And I think Mr. Griscom overstated the fact that everybody in Galisteo, we're going to come to this agreement. We have asked another hydrologist to look at it, not on a 100-year study, and she has found some things that are very questionable.

We talk about the health, safety and welfare of people. I'm concerned about the health, safety and welfare of the residents of Galisteo. They are people that have there for generations. And when you create something like this you are going to have all the expenses that go with it for the County. You are going to have police, fire, all of the things, all of the problems that come with basically what is going to be a small city or small town, probably at least 4,000 people. When you go to pay for those, the people who live in Galisteo, the ones who have lived there for generations, and not be able to pay the taxes to support that, they are the ones that will be relocated.

Fortunately, we have a graveyard in Galisteo. It's not green. It's very inexpensive, and the coyotes can't dig them up. I think that this sounds good on paper, but when you get down to it it's impractical. One of the things is water conservation. They're going to collect rainwater. When we tried to do this contract they said they didn't want to be responsible for a year where there was drought. News flash: we are always in a drought. This is the desert. I've

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lived here for 25 years. This is the most moisture I've seen this winter in those 25 years. So you can't count on precipitation from the sky. And we are very concerned about our water supply. We are looking into it. We have got another attorney looking at it. The fact that we will have to possibly have them bus in water is not an answer for us. I mean, that doesn't make sense.

So, like I said, I'm the grinch. I don't agree with any of this. I think building cluster building is going to destroy all of these little towns, Cerrillos, Galisteo, Cañoncito, all of these little New Mexico towns that make us different. And it is your obligation to protect us.

CHAIRMAN MONTOYA: Thank you. Next, please.

WALTER WAIT: My name is Walter Wait, 48 Bonanza Creek Road, Santa Fe, and I have been sworn in. Mr. Chair, members of the Commission, I'm here representing the San Marcos Association, and essentially for the San Marcos District Community Plan. Our plan does advocate Commonweal's efforts, mainly because of the 12,000 acres of open space that would border the San Marcos District. We're very, very – we think that it is very important to us that this planned cluster development will add to our open space. And when you associate that with the Rancho Viejo open space, the state and BLM land and our own Cerrillos Park, that it creates a very important or even a vital aspect of our future economy in the San Marcos area. So we really advocate the whole concept of this open space for us. Thank you very much. We think it should be encouraged.

CHAIRMAN MONTOYA: It should be encouraged? Thank you. Next, please.

TERRY SMITH: My name is Terry Smith. I live at 7408 Old Santa Fe Trail, and I was sworn in earlier. I'd like to associate myself with the remarks of the first speaker, Rici Peterson. I served until December for three years as board chair of the Santa Fe Conservation Trust, and just a bit of a vignette, when land trusts support development it's quite an amazing proposition. They don't typically do that. But when a developer is putting 96 percent of his or her land into permanent conservation easement to protect it from development in perpetuity we think that's a very significant and very important reality. And we are already holding the easements on the 1,250 acres that Commonweal has put under easement. I think an incredible investment by a development that is not yet fully and finally approved has nonetheless moved forward to begin fulfilling its commitment to conserving the land.

The first 17 miles of a planned 50-mile trail system are now in place. People are using them regularly and enjoying them, and they are connective. They connect to the Community College trail system creating a whole new area for people to hike and bike and enjoy the outside. So I believe that the project is a terrific model. On behalf of myself and reflecting the sense of the board of the Santa Fe Conservation Trust I urge you to do whatever is necessary to approve and to move the project forward.

CHAIRMAN MONTOYA: Thank you. Next, please.

DAVID BACON: David Bacon, 54 San Marcos Road West. I'm sworn in. The little work I've done with Ted has been of the very highest sort and I feel that he's taken great pains and great care in details on this project. It strikes me that this project is exactly

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what we want to see going forward in Santa Fe County, especially in that part of the county. I just am very impressed with really everything he's done and especially again, to resonate with many other people, the open space that he's set aside I think is really, really important. And I think it's a model that we need to follow. So I would urge support of it. Thank you.

CHAIRMAN MONTOYA: Thank you. Next, please. There's room for three up here at least here in the front.

DAVID HINKLE: My name is David Hinkle. I live at 3 Cerrado Drive in Eldorado, and I was affirmed to tell the truth a few minutes back. I'm a professor of planning at the University of New Mexico, and until recently was the head of that program, and also the coordinator of natural resources and environmental planning. My students and I have been doing research in this area, in the Galisteo Basin over the last ten years. We've worked with community planning elements in Cañoncito, Lamy, Galisteo, Cerrillos, San Marcos and Santo Domingo. We've done watershed studies and analyses of land health and monitored this over the course of that time, both in cooperation with non-profit organizations and also with the State Environment Department, looking at water issues and water quality.

My sense is that the normal alternative to this is lots of small scale development which is much more injurious to the landscape and to water resources, that unfortunately, many of the other kinds of preferred subdivisions elsewhere in this state have not involved much public input, except for under duress, and that there has been a consistent and well founded and intentioned collaboration between the proposed property developers and the communities. And I think this is a sound project that should be supported. Thank you.

CHAIRMAN MONTOYA: Thank you.

JAN-WILLEM JANSSENS: My name is Jan-Willem Janssens. I have been sworn in. I live at 770 West Manhattan, Santa Fe, 87501. I'm here also as a fourth year member of COLTPAC, executive director of Earth Works Institute, and I've been working with Commonweal Conservancy since 2002 on land restoration and stewardship issues for the proposed area, and for four years more in the Galisteo Watershed, working with issues of community organizing regarding land restoration and stewardship.

I urge you all to adopt the proposed plan, including the proposed variances, and this is why. I think the Galisteo Basin Preserve realization is a critical piece in the landscape-wide cultivation of the beauty and the valuable ecological and cultural resources of the Galisteo Watershed. This plan really would help the security and integrity of the landscape, especially because of the large-scale open space that's being preserved, plus the community that's going to be there in place to take care of that land, because even if you have 12,000, 13,000 acres of open space, the fact that you have a community that chooses to live there with the intention and commitment to take care of the land in many different ways is the key to success for a landscape like this.

And why is this landscape so important? Well, in recent studies in the Galisteo Watershed we've discovered that four of the eight eco-regions of New Mexico come together in the Galisteo Watershed, and the Galisteo Basin Preserve is right in the middle, in the transition zone of these eco-regions. This explains why under the smoke of Santa Fe we see a

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lot of wildlife crossing east-west and north-south across the Galisteo Creek, following the different open space, grasslands, the different creek systems, and the ridgelines.

We're doing more research in this and a lot of landowners have seen wildlife all over the place. This wildlife is not local. It is part of the continental. The spine of the continent's migration zones across the state and the Galisteo Watershed is a major conservation zone connecting different areas across the state and across the continent. That's why we don't want to have sprawl in this landscape, but a very thought-through way of development and people who know how to take care of this landscape. And just this form of development helps to do this, to take care of these ecological resources that are there.

A lot of other things that I wanted to say have been said, so I think also the site's caretaking, this form of development will invite innovation. Innovation in a lot of ways is stewardship and restoration of the land and the conservation of resources that are very scarce, such as water. And the variances that are being asked lead to just the compactness and the integrity of the form of development that's being proposed here and with that the integrity of the landscape surrounding it. So therefore again, I think this is the best thinkable solution and opportunity for this landscape. Thank you for your preservation of this opportunity.

CHAIRMAN MONTOYA: Thank you. Next, please.

BOB KRIEGER: My name is Bob Krieger. I live at 46 Centaurus Ranch Road in Aldea. Obviously, we agree growth will occur with or without our input and without green initiatives. The first speaker described this as leadership in development. I'm a member of the US Green Building Council, not Burial Council, and as a member of this and also the local Green Builders Guild, a subset of the Homebuilders Association, and we're committed to green and we expect to be building in there as a group of small, independent businesses. So local businesses, local employment, local business generation as opposed to exporting dollars like Centex does out of state.

So our commitment is to do good while doing well. Right now, none of us are doing well and we're still doing good. If one of your obligations indeed is to protect, as was mentioned earlier, it is also an obligation I believe, for you to plan. And this is a very well planned development.

CHAIRMAN MONTOYA: Thank you. Next, please.

ALICIA NATION: I'm Alicia Nation. I'm here to represent the New Mexico Mustang and Burro Association. I came to the County with a discussion a few months ago to the Planning Department for a project which would involve bringing wild horses to the area as part of an educational and sustainability education program. This would provide opportunities for young people and for the community at large to learn about sustainable food production, sustainable land management and to have educational opportunities while at the same time creating a place in New Mexico for a small placement of wild horses.

It was suggested that I go and visit with Ted Harrison and he's a very busy gentleman. I finally got around to meet him. And I can tell you I was extraordinarily impressed by this gentleman. He was very, very thoughtful in considering my concerns and very much integrity with the project that he had planned and overall use of the land in terms of all of the areas of

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community obligation that he needs to meet. One thing that has impressed me about the Galisteo Basin Preserve project is that it is a community project. It is inclusive. It invites people to come on to the land and to experience the trails there. It opens the property to many, many different uses, consideration of a community including wildlife, including the land itself, including the people in the area, including the resources. It's more than a community when we think of an economic community. It's a community where all aspects of our experience in the ecosystem are needing to be nurtured and preserved and that's what I see him doing.

In my conversations with Ted Harrison we discussed the possibility of having a small placement of wild horses on the land there. This would be an opportunity for New Mexicans to experience something which we would have to go very, very far away to experience. Something very positive.

In my conversations with him, another topic came up which quite frankly stunned me when Mr. Harrison expressed a willingness to consider this. I am one of over 50 million people in the United States who suffer from environmental illness. Environmental illness is a disease which you can't see but is very debilitating. There are many, many people in the Santa Fe area who suffer from this disability and you would not know them when you meet them. It means some days you might see me on alert, and another day, after I've had an exposure, which might happen in a private home, where I would be quite sick. Many people never get out of the house.

When I suggested to Mr. Harrison that perhaps in the affordable housing realm he might be able to make some accommodations to address serving a population like this, he was extremely receptive. I provided him with an extensive list of things and he looked at it and said, you know, we can look at this and consider this as a possibility.

So besides creating an opportunity for the community at large to enjoy and to appreciate and to conserve the land we have an opportunity with this management here with the Commonweal to address a population that is hugely underserved in Santa Fe County. People who have chronic fatigue, environmental illness and similar diseases, often end up sleeping in their cars because they do not have a safe place to live. The normal home environment is not safe for these people. But certain accommodations made in the course of building affordable housing could accommodate many of these people and create opportunities for people to have successful and meaningful lives.

So in addition to supporting the project here for its conservancy and its overall community excellent planning, I would encourage the County to work with Commonweal to develop opportunities for affordable housing that is also environmentally safe for the people in the community who desperately need those resources for residences. Thank you.

CHAIRMAN MONTOYA: Thank you. Next, please.

MURIEL FARIELLO: My name is Muriel Fariello. I live at 35 Camino Los Angelitos in Galisteo, New Mexico. I'm secretary-treasurer for the Water Users Association for Ranchitos de Galisteo and I'm also on the community association. I also have been involved with working with Richard Griscorn and the group that was put together to bring out a contract with Commonweal.

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My concerns are the scope of the project. I think it's too big in scope, in my personal opinion. I don't think there's enough water to sustain 2,000 houses up there or whatever's there, the number of people that will be brought to the land. But anything like that is going to have a tremendous impact on our lifestyle down in Galisteo.

Eldorado is looking for increased water rights. Saddleback Ranch is looking to break down into 50 parcels. Cimarron Village is just heating up and now Commonweal. Each says they have 100 years of water rights. What is that? 400 years? I don't know how these studies are done. I don't know how in good conscience we can move forward with a lot of these projects on the basis of the same, Office of the State Engineer, same reporting, looking at the same numbers and coming up with them. Our wells haven't dropped yet, but people up river, their wells have dropped. Hacienda Tranquila, those wells have dropped precipitously. And we're very concerned about the water. Thank you.

CHAIRMAN MONTOYA: Thank you. Next, please.

COURTNEY WHITE: My name is Courtney White. I live at 22 Avenida de Monte Alto in Eldorado and I've been sworn in. Mr. Chair, I'm here representing the Quivira Coalition, which is a non-profit based here in Santa Fe. We work with ranchers across the region. We do work in support of sustainable agriculture, land restoration and we've done some ranching ourselves, actually, up on Rowa Mesa. I approached Ted Harrison of Commonweal about eight or nine months ago with the idea of maybe turning out some cows on Thornton Ranch, there on Commonweal property with the idea of creating a demonstration project to take what we've learned in our work about sustainable food production, local grass-fed food production, to kind of a level higher, which is to look at these landscapes potentially for climate change mitigation, which sounds kind of crazy but actually there's a lot of work going on around the country on how to sequester carbon in soils and in plants through sustainable agricultural uses. It's a way of increasing business diversification for ranchers, it gives tremendous opportunities for folks who want to try these kinds of practices.

We want to try a little project on Commonweal's property. We're in discussion with Ted and Commonweal about that. I think the possibilities are actually quite interesting. We would manage the animals in a way to improve land health, grow more grass, would produce local grass-fed food. I'd like to take some of that meat, for example, and apply it to the Eldorado community school my children go to. A friend of mine has a program in Tucson he calls 'Tucos Sin Carbon.

So I'm here in support of this project and in support of what Commonweal is trying to do with all of its various innovative elements and hope that you will approve it tonight. Thank you.

CHAIRMAN MONTOYA: Thank you. Next, please. How many more are coming forward? Okay, if you'd come closer please.

TED FLEMING: Thank you, Mr. Chair, Commissioners. I was sworn in earlier. My name is Ted Fleming. I'm architect, a sculptor. I've lived in Galisteo for 13 years and I'm also a member of the water board. I'd like to talk just on the broader concept. There's been a lot of good information about specific things but I was hoping just to talk about the

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overall project. I'm working with the premise that development in the Galisteo Basin is inevitable, and I think that maybe kind of ridiculously obvious. We're all here for I believe that reason. That's why you all are working as hard as you do. But I do think there are some ways of thinking that I would tend to believe that it's possible to stop any or perhaps all development in the Galisteo Basin in its tracks.

I think that's unrealistic and I want to talk about that, and I also think that posture disallows creative thinking. And I think what we're looking at here is extremely creative thinking. In my opinion the question is not if but how development proceeds here, and how to plan for it and manage it intelligently, as opposed to from a point of fear, but rather intelligently. And I stress the word planning. Commissioner Anaya, I remember in the last BCC hearing, and this has really stayed with me. You talked about going to school on the bus in the morning. Going through what is now Eldorado and seeing - I think you said one house. I can't think of a better example of a contemporary context of what's gone on in this area which we know is thousands of years old, but to see what is now Eldorado over that relatively short span of time, I think is extraordinary.

As I said, I've been in Galisteo - I'm a newcomer. I've only been there for 13 years. But in that time I've seen 15 new houses built just within the historic district, just within the boundaries of our historic village. That represents a 25 percent increase in density as was the village 13 years ago. At this rate, just at this rate, our village will double in size by the year 2048. I hope I'm wrong. I hope that doesn't happen, but that's the direction that things are going in and it certainly is allowable, well allowable within the zoning restrictions. So that doubling of the population could happen within my children's lifetime.

So as you think about how healthy this land was before human settlement, before highways and suburban sprawl. And then if you will, and with all due respect to those who live there, think about Eldorado on the Thornton Ranch. Think what that would be like, how that would affect Galisteo. The Commonwealth project preserves and also restores open space, and the restoration aspect I think is a huge part of this. It's the antithesis of standard suburban development. So these next comments are based on what I saw happening last time and I'm really glad to see how the County staff and the Commission has moved forward with thinking to incorporate what has been planned for in the College District. But I do want to stress that if that kind of thinking were abandoned, if the old adage, if the old plan of typical suburban planning were held, which might deny Commonwealth its ability to move forward, I really do believe that we're left with something very much like, if not exactly like or maybe worse than Eldorado on the Thornton Ranch. There's no unencumbered open space. Continued depredation of the land and a much greater, much more direct negative impact on Galisteo.

I truly believe that the Galisteo Basin Preserve project represents the true hope for this region. That kind of thinking I believe represents the true hope for us. So I respectfully urge you, Commissioners, to grant Commonwealth the variances they've requested and allow them to move forward. I believe in doing so this would represent true collective wisdom, long-range thinking and leadership. Thank you very much.

CHAIRMAN MONTOYA: Thank you. Next, please.

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FRAN HARDY: I've been sworn in. Fran Hardy, 31 Old Road, Lamy. My husband and I bike ride all the time in the 285 Corridor since we live in Lamy, and we were zipping down Lamy Crest and we saw the first sign for the Galisteo Basin Preserve and I said, oh, God, more development. Because I really love that basin. I'm not an original resident of New Mexico but I love the small communities. I love the whole feeling of New Mexico. I want to spend the rest of my days here and I'm very concerned about development. But I went on line to their website and I said, oh, my God, this is totally different that business as usual. And we went over and we talked to Ted and we walked around and we got to know about this project and I've been very impressed all the way through with Ted and what he does.

One of the first things he did was put trails in. Not just as a sea cliff out in California for wealthy residents to walk but for the whole community. For everybody. And every time I go over there to hike I encounter people mountain biking, hiking and on horseback that are assuming that this project is going to happen because they're really excited that they have this beautiful place to enjoy now, this public land. And I tell them, please contact your Commissioners, because these people are from all over. Some are from Eldorado. Some are from much further away. Please let them know that you support this project, because if you don't this may not happen and these trails will become development. So please let them know. Because those people are thinking that this is done-deal, that that this project is going to happen. So they're counting on you to preserve these 13,000 acres and I really hope that you'll do that.

And in terms of the people of Galisteo, I really empathize. I think that the whole of this state and the small communities do need to think about water but I think we need to do that on a statewide basis. I think that what Commonweal is proposing and I've gone over and had John Dillon dig in that arroyo that he's restoring and showing me how close to the surface the water is there now that he's been restoring that arroyo. These are the kinds of things that Commonweal is putting their money into, not building a suburban community but restoring the land. And it was amazing how close to the surface that water was in the middle of summer when everything else was totally parched around it.

So this is the kind of things that they're doing. This is going to help the people of Galisteo but I'd also like to see the County not put the whole thing on Commonweal, that it's their fault if Galisteo doesn't have water. Galisteo has a long-term problem that needs to be addressed by the County, whether it's Buckman - I'm not a hydrologist. I don't know what the solution is. The problem is not Commonweal; the problem is that Galisteo has water problems.

CHAIRMAN MONTROYA: Okay, this is a public hearing. Would you please sit down. Thank you. Next please.

NEIL BLANDFORD: My name is Neil Blandford, 7617 Northridge Avenue NE, Albuquerque, New Mexico. I'm a principal hydrologist with Daniel B. Stevens and Associates. I conducted the study, or a study for the Village of Galisteo, considering the water supply for the proposed development and the potential effects on the Village. Subsequent to

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that study I met with representatives of the Village, three of which have spoken here tonight and Mr. Griscom mentioned me earlier.

Essentially, my conclusions were that the effects of the proposed development, if the entire water supply of 195 acre-feet were taken from the development area itself would be negligible on the Village wells. And I'm not going to go through all of that analysis here but if you have questions about that I'd be happy to answer them now or at a later time during this hearing.

CHAIRMAN MONTOYA: Are there any questions at this point? All right. Thank you.

BRENT BONWELL: My name is Brent Bonwell, 31 Agua Viviendo, and I am under oath. Ted asked me to - I'm a cyclist and been living on the 285 Corridor on the east side of 285 for almost 20 years and ridden out there. I ride literally thousands of miles per year. He indicated that Commissioner Stefani had some questions about bike lanes, possibly on these roads and concerns about the widths that are in some of these adjustments that they're asking for. From the standpoint of a cyclist, on these areas where there's very low traffic, particularly residential areas with no curbside parking the widths of the road should not be of concern. On the main arterial roads from the Village to 285 it's my understanding there will be a separate off main arterial road path as they have in Eldorado to supply easement for cyclists or hikers, so it would not be in the main arterial roads. But in the subarterial roads and the residential streets themselves the amount of traffic that's in there would be negligible compared to the cyclist and that should be fine.

Also, as a resident out there, I'm not a resident of Eldorado so I'm not legally allowed into Eldorado wilderness area; I have to trespass if I go out there. But the preserve, when they built their trails they welcomed the whole community and I've been an enthusiastic user of those trails and really support what they're doing out there and wanted to address those concerns and express my support for this project. I am also a member of COLTPAC for the central area region, so you know that as well, but I am speaking as an individual and a resident of the 285 Corridor.

CHAIRMAN MONTOYA: Thank you. Next please.

LUCY LIPPARD: I have been sworn in. My name is Lucy Lippard, 14 Avenida Vieja in Galisteo. I too live in Galisteo and I too love it. And I actually do have water problems. I'm not here to talk about my water problems but I have been hauling water for about six or seven years and the Village system cannot accommodate me. But that's not why I'm here. I care about the landscape in Galisteo. I'm a writer and I write often about landscape. And it worries me terribly that if with the usual Ranchette kind of development which everybody is going on about and I agree with what's been said, that the beautiful little village of Galisteo will be simply swallowed up by suburbia. And its rural character will be lost, its historic character will be lost. The archeologists have already been trying to protect all the archeological sites in the Galisteo Basin. It's a different place. I know this sounds kind of like not in my backyard, but the fact remains that this is such a special place I think it deserves to be preserved and not swallowed up by ranchettes. Thank you.

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CHAIRMAN MONTOYA: Thank you. Next.

SUBY BOWDEN: Mr. Chair, Commissioners, my name is Suby Bowden. I have been sworn in under oath. My address is 333 Montezuma Avenue. Tonight, you're obviously here to vote on variances and so the focus of my talk will be the variances in particular. Traditionally, the majority of the variances that you address are individual for the pursuit of an individual property owner, an individual developer. There is a second type of variance, which is essentially community variances, what we call planning and changing of code. And there's a long history of code changes, variances in this community that I think that Commonweal is a very fundamental aspect of.

Commonweal as you've heard tonight is a community variance. All of the variances that have been requested are site-based. They're widths of road or they're heights. These are not randomly requested. Commonweal early on analyzed their site to determine where locations could be that would not be seen by any of the highways or the village of Lamy and Galisteo. That led them to their current site. They also analyzed passive solar in order to reduce energy use for our community and they also looked at the fragile ecosystems of the grasslands since the dominance of the Eldorado development.

So in the process of their choosing to analyze all these before picking a site it led them to a hillside. Now, that is more costly development for any developer. No developer would normally pick a hillside to build on. But it did lead to a hillside in their effort to protect the community and think about the community. And in that process the widths of roads are typically narrower in a hillside community, as you've witnessed all over the world, and they also require greater heights in order that buildings can look over other buildings and receive passive solar.

The five major community-based variances that I've seen in the Santa Fe area I consider Commonweal to be number five. The first one is the Law of the Indies, which chose to have a very compact density and narrow streets, and that was obviously in the 1600s. In the 1800s the communities of Santa Fe and Lamy and Galisteo began to spread out, have wider roads, have greater property between houses. In the 1940s what we know as today's subdivisions occurred, and that in Santa Fe became Casa Solana and the west side of St. Francis, and today it is Eldorado as a quite dominant landform for the county.

And then in the 1980s the Rancho Viejo and your own Land Use Department chose to choose a new major variance, and to implement it into Code, and that was the Community College District. And instead of the tradition from the 1600s through to the 1980s of expanding, expanding, expanding and using more land, your County made a major change, major variances, and began to pull the community back together into greater density and narrower roads. And the only difference between – there are two major differences between that and Commonweal. Rancho Viejo has never committed to protect all the rest of their land as open space. They'll be equal in size to the City of Santa Fe someday. Commonweal chose to protect open space and they chose a hillside, and that hillside requires minor variances for roads, four locations where intersections will be closer than 75 feet to a stop sign, and 13 locations where fire trucks will be on more of a slope than they traditionally are if you're

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down in the grasslands.

I consider these very minor variances for the tremendous community good. And so I please encourage you to approve the variances tonight and to actually apply them into Code in your Sustainability Land Development Plan as your own Land Use Administrator, Jack Kolkmeyer, has stated, these project variances do not pose any threats to health, safety and welfare concerns, and most of them may in fact not be variances under the proposed new Sustainability Land Development Plan and Code. Thank you very much.

CHAIRMAN MONTOYA: Thank you.

JOE SEHEE: My name is Joe Sehee. I live at 8 Destacada Court. I'd like to say that I don't have a dog in the race but I feel like I have a litter right now. I relocated my family five years ago because I was so moved by the vision of Ted Harrison and the Commonweal Conservancy for this new kind of community. I also came out to help bring forward the first green cemetery in the state, which I do really believe has enormous potential for facilitating landscape level conservation and ecological restoration and being a tremendous amenity for the community.

I wanted to comment on a couple things that were mentioned in our last meeting here, one being that there may not be enough families interested in this kind of community and having lived in Eldorado for the past five years I've come to learn that there are many families wanting an alternative to the single-family, detached [inaudible] or ranchette that is so available in the southern part of the county.

And I found it interesting that the word utopian was used somewhat pejoratively last session, and in fact the fact that this community has such a big vision is one of the reasons I think we should find a way to support it. I think it has the potential to inspire others to embrace a new ethic in market-based conservation and in development and the fact the project has been held up already to inspire others. I've met some of you through Leadership Santa Fe, I was a participant as was Commissioner Holian a couple years ago, and most recently served as chairman of the organization. And for several years we had one project to choose from a development project that would show what a development could and should look like and it was this very project that was brought forward to teach future leaders of Santa Fe, which I think is significant.

And I want to finally, following up on what was just said previously say these variances seem enormously minor compared to the tremendous public good that it going to be generated by this project. And there's a lot of precedents for them being used. I was an affordable housing for a number of years and learned that until developers were incentivized properly, until there was fast-tracking and variances, and such incentives, we had a really hard time getting affordable housing developed. I really hope that beyond this project we can as a County figure out ways to promulgate policies so that more Commonweal Conservancies will be inspired to come forward. Thank you.

CHAIRMAN MONTOYA: Thank you. Is that it? Okay. How many more? So this is the last testimony we'll take.

RODNEY HALL: My name is Rodney Hall, 11-VC, Galisteo, New Mexico,

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and I'm under oath. The plan sounds really nice. So far, nobody's talked about where the water is going to come from. We're talking possibly 2,000 to 5,000 people in an area that has very little water. Galisteo is currently threatened by the pumping of the Lamy wells by Eldorado, by proposed developments at Saddleback, and we're looking now at a very large development and no one can say where the water's coming from. It may come from the County, it may come from Eldorado, and we can't get any answers about where that water is going to come from. And we're afraid that it's going to come out of the Galisteo Creek, which will mean that our wells will be in jeopardy.

I would like to request that the Commission table this issue until water supply for this development can be established.

CHAIRMAN MONTOYA: Thank you. Okay. So this public hearing is now closed. Commissioner Holian.

COMMISSIONER HOLIAN: Mr. Chair, I move for approval of CDRC Case 06-5031 with approval of the variances.

COMMISSIONER STEFANICS: I'll second.

CHAIRMAN MONTOYA: Have a motion by Commissioner Holian, second by Commissioner Stefanics. Discussion? Commissioner Holian.

COMMISSIONER HOLIAN: Thank you, Mr. Chair. This is an interesting situation. We have a 12,000-acre ranch in the Galisteo Basin. The heirs of the ranch do not want to be ranchers any longer. They want to sell it. So who is going to buy this ranch? It's possible that another rancher might come along and want to buy the ranch and that would be great, but I think in this economic condition, in the economic times that we're in now and other situations I think it's highly unlikely that a rancher would come along.

Is the County going to buy this for open space? That's extremely unlikely. We actually don't have any money for open space at all anymore. We're considering passing a bond issue in the future but as of now we don't have the money and what's going to happen when the next big ranch comes along for sale? It's most likely that a developer or developers would buy this land, and if we were to develop in the traditional model that we have over the past years, what would that look like? It would be divided up into 40-acre lots, and then 20-acre lots and then 10-acre lots and we'd probably get down to 2.5-acre lots after a while.

And what would we have? We'd have a patchwork of homes. We'd have a spider web of roads that would shatter the wildlife habitat and the agriculturally productive land. So the designers of the preserve have an idea, and I think that I won't repeat all that has been said this evening about all the good features of this particular concept, but I would like to particularly highlight that their consideration of land conservation is almost unprecedented. You just look at the sheer area of the open space that is being preserved. And what I think is particularly commendable is that they are actually incorporating food production into their ideas. They've already planted a fruit tree orchard. They have plans for community gardens, and most interesting of all, they're going to actually be considering grazing cattle. If cattle grazing is done properly it can actually be a land restoration technique. It can be a technique to bring the grasslands back. And if we bring the grasslands back in that area what does that

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mean? It means that the water, when it rains and the water hits the ground, instead of flowing off and creating erosion and going off to be evaporated somewhere it will actually soak into the ground. It will actually help our aquifers.

So I know that this is not the last large ranch that is going to come on the market out in that area and we need creative solutions as to how to deal with the economic realities that we're faced with as well as, at the same time, to preserve the open space. And I believe that Trenza planned community is that solution. Thank you.

CHAIRMAN MONTOYA: Okay, Commissioner Anaya.

COMMISSIONER ANAYA: Thank you, Mr. Chair. When you all were talking I was thinking about Bruce King, because Bruce King would say, I got friends that are against it and I got friends that are for it, and I'm for my friends. But I want to thank all of you for your comments, whether they were for it or against the project. I want to thank Ted and Scott for their hard work and for them meeting with the communities. I want to thank Jan for meeting with me after the first meeting, or the last meeting we had to go over each of the variances, and I appreciate you coming in and talking to me about that, Jan. Thank you.

I have a question for staff and that is on the fire impact fees that will be generated from the building permits, what district they go to? I believe they would go to the Eldorado District but I want to make sure that if this gets approved that those impact fees be split up to the Galisteo District and the Eldorado District.

MS. LUCERO: Mr. Chair, Commissioner Anaya, the development is located within the Eldorado Fire District, so typically, that's where the fees would go. I don't know if there's a mechanism for changing that.

COMMISSIONER ANAYA: If I could make an amendment, an extra condition that those fire impact fees be split up and go the Eldorado and Galisteo, because they'll be the ones responding.

I want to thank you all for naming the project a different name than the Village at Galisteo Preserve, because now Trenza is definitely different. And when I heard the name it reminded me of my daughter, because she always had trenzas. Thank you all for including the cemetery, because we always put in developments and we forget that after we pass on we need places to put those individuals so thank you for doing that.

I think that in these tough times that if we support this it will create jobs and stimulate our economy in Santa Fe County. And a lot of these issues that we talk about in terms of water and water availability rely on staff. And their comments and concerns, and I want to thank staff for their hard work because it's not been easy. And we can't - I wonder about water too. I have a well in Galisteo and I hope it never goes dry but we have to rely on the experts that are out there to tell us whether we're going to have water or not, so I rely on them.

I think that the Galisteo community working closely with Ted and his group, with the five conditions that were brought up a few years ago by the community of Galisteo and Richard Griscom. I'm glad to see that most of them or all of them are going to be met. That's all I have, Mr. Chair. Thank you.

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CHAIRMAN MONTOYA: Okay. Commissioner Stefanics? Commissioner Holian.

COMMISSIONER HOLIAN: Thank you, Mr. Chair. I actually wanted to add one condition to the list of conditions here and that is for a well monitoring agreement to be worked out with the Galisteo Water Board. They had mentioned that as their fifth – yes, I'm making a motion – I'm amending my own.

CHAIRMAN MONTOYA: You're amending your motion to add this condition.

COMMISSIONER HOLIAN: Yes. Another condition.

CHAIRMAN MONTOYA: So that's 24.

COMMISSIONER HOLIAN: Shelley?

MS. COBAU: Mr. Chair, members of the Commission we'd like to point out that we met with the applicant yesterday and we would like to allow the applicant to ask for an amendment to the conditions that staff had added. I think that their request for an amendment to those two conditions was valid and will make the conditions more enforceable in the future. So if the applicant could ask for those I would really appreciate it.

MR. HOEFT: Commissioner Holian, I concur with your condition that you just added. And condition #19 and #20 is what we talked about at length with Shelley and Vicki yesterday. And we just wanted to talk onto the end of the last alternative solution as approved by the Public Works Director prior to final plat submittal. Thank you.

CHAIRMAN MONTOYA: So that's on both #19 and #20?

MR. HOEFT: That's correct.

CHAIRMAN MONTOYA: Okay. So would the maker of the motion accept those changes?

COMMISSIONER HOLIAN: Yes.

CHAIRMAN MONTOYA: Okay. Seconder?

COMMISSIONER STEFANICS: Yes.

CHAIRMAN MONTOYA: Commissioner Anaya.

COMMISSIONER ANAYA: Yes. About the impact fees. Does the Commission agree to that? Putting that on? Okay.

COMMISSIONER STEFANICS: So just a point of clarification. You're asking that they be split?

COMMISSIONER ANAYA: Since it's right in the middle of both districts, and they'll both be responding.

COMMISSIONER STEFANICS: And let me ask staff, is Lamy in the Eldorado Fire District? Shelley?

MS. COBAU: We believe so, Mr. Chair, Commissioner Stefanics. We may have a map here. Just give us a moment and we'll check.

COMMISSIONER STEFANICS: So while you're looking that up, this is a question, Mr. Chair, for staff. When a fire call comes in, it goes to the RECC? And then they dispatch it?

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MS. COBAU: Mr. Chair, Commissioner Stefanics, I believe that's correct. And we did meet with Buster Patty at length about the Village at Galisteo Basin Preserve because fire was involved in some of the impacts of the variances that were proposed. And Captain Patty had indicated that first response would come from Eldorado in this case.

COMMISSIONER STEFANICS: So my question is, if Eldorado is contacted how would Galisteo ever learn about the call? Just be self-monitoring the radio?

MS. COBAU: They might not learn of it, unless they were needed. If they didn't have enough response with the call to Eldorado and they get there then I don't know why they would call another district, unless there were a large grass fire or something that they needed more equipment on. But that would definitely be a question for Captain Patty or one of the other Fire Department members. I can't speak to that exactly.

COMMISSIONER STEFANICS: Well, Mr. Chair and Commissioner Anaya, I recognize the property is caught between the two. I just would want to make sure that if Galisteo received a portion of the fee that they then would be involved in activity.

COMMISSIONER ANAYA: Mr. Chair.

CHAIRMAN MONTROYA: Commissioner Anaya.

COMMISSIONER ANAYA: If we could - if there's a call in this area that the both page out, on Eldorado and Galisteo.

MR. ROSS: Yes, Mr. Chair, Commissioner Anaya, we'd have to look at those RECC protocols and see what the rules are. I know they have lots of rules and who they call and when they call and when they call for backup and stuff like that. The other thing that we were just talking about is we're not really sure that you can split impact fees, so we'd like to check that and report back to you quickly. I don't think you should change your motion but it's possible state law or our ordinance, which none of us have looked at in a while, might have some guidelines. So we'd like to check that and make sure it's okay to do that.

COMMISSIONER ANAYA: Okay.

CHAIRMAN MONTROYA: Any other discussion? Is there anything else?

The motion passed by unanimous [4-0] voice vote. [Commissioner Vigil was not present for this action.]



October 8, 2014

Penny Ellis Green, Manager
Santa Fe County Land Use Administration Office

CDRC CASE #Z 06-5033

RE: Commonweal Conservancy Master Plan Amendment to reconfigure the Planning Envelope from 10,360 acres to 3,560 acres, to reduce the size of the development from 965 dwelling units and 150,000sf of commercial/civic to 450 dwelling units and 88,500sf commercial/civic uses. The applicant also requests that the original 5-phase development be changed to 6 phases over a 12-year period.

The property is south of Eldorado and west off US285, south of the railroad track crossing.

Comments:

The Northern New Mexico Group of the Rio Grande Chapter of Sierra Club has several members that reside in the US285 corridor and are familiar with the Commonweal Conservancy and the plans of the President, Ted Harrison. Since this project came into being 11 years ago, Mr. Harrison has shown his willingness to attend community meetings, meet privately with individuals and to listen and change his plans to better meet the needs of the population he wishes to serve as well as address the concerns of local residents. He has funded 3 independent water studies in the past and is well informed as to the availability of water on his property to sustain this downsized Master Plan. These water reports demonstrate the lack of impact the project will have on nearby water use areas such as Eldorado and Lamy, which is a major ongoing concern of residents in this area.

Over the last several years, the Commonweal Conservancy has followed through on many of its goals for the larger community through establishing a large public Galisteo Preserve and creating over 25 miles of public trails for outdoor hiking, biking, wildlife watching and dog walking. The area is very popular with locals and people come from around the county to enjoy the unusual rock formations, scenic trails, protected cultural resources and extensive varieties of wildflowers and wildlife species.

This amendment to reduce the size and density of this project has the full support of the Northern New Mexico Group, and we commend Commonweal Conservancy for their creation of the Galisteo Preserve and their ongoing efforts to strike the right balance of conservation and development on the land.

Teresa Seamster

Teresa Seamster, Co-chair, Northern New Mexico Group, Sierra Club

Norma McCallan

Norma McCallan, Co-chair, Northern New Mexico Group, Sierra Club
1807 Second Street, Suite 45, Santa Fe, NM 87505



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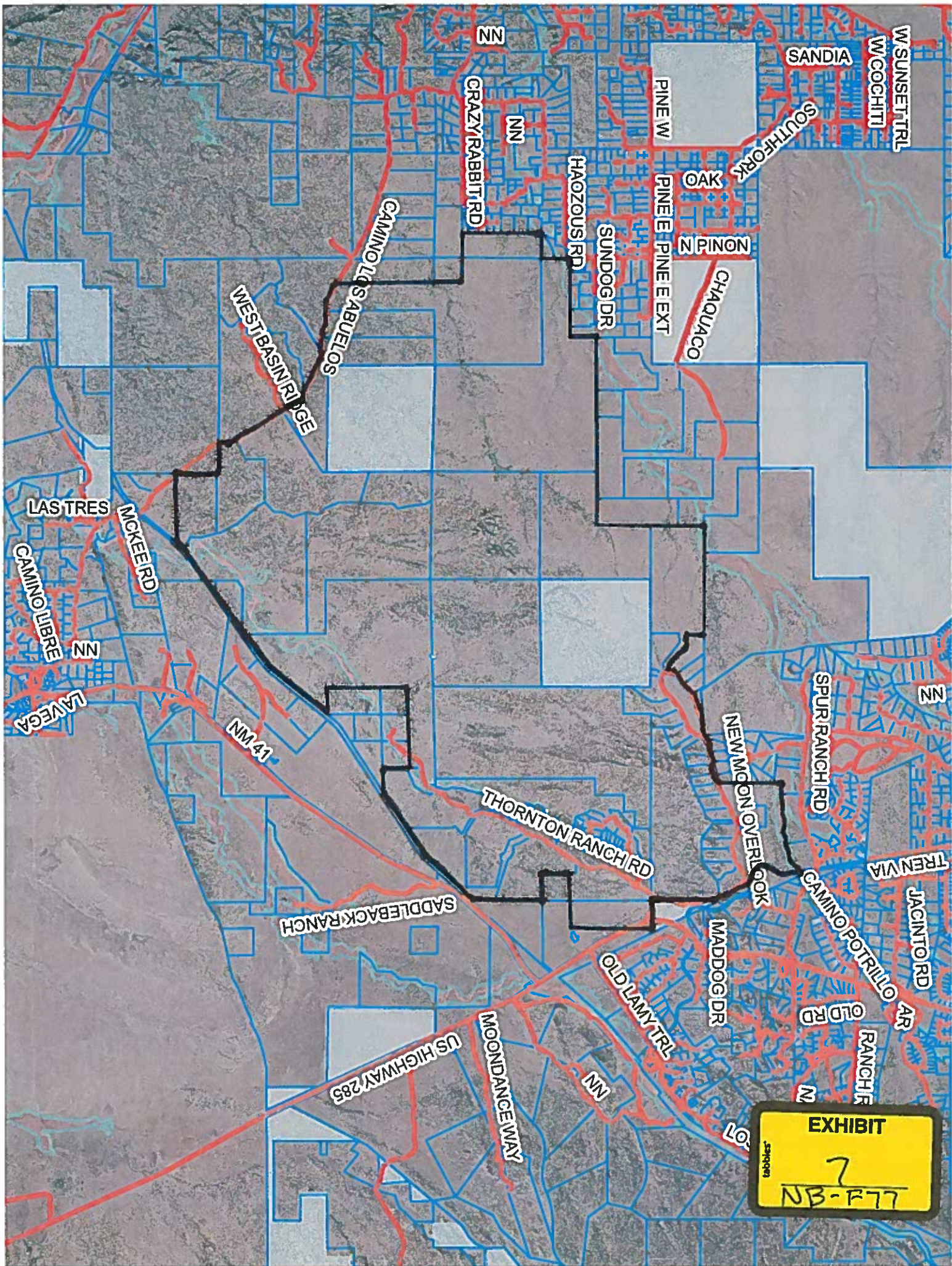


EXHIBIT
7
NB-F77

Daniel "Danny" Mayfield
Commissioner, District 1

Miguel M. Chavez
Commissioner, District 2

Robert A. Anaya
Commissioner, District 3



Kathy Holian
Commissioner, District 4

Liz Stefanics
Commissioner, District 5

Katherine Miller
County Manager

DATE: November 20, 2014

TO: County Development Review Committee

FROM: Vicente Archuleta, Development Review Team Leader *VA*

VIA: Penny Ellis-Green, Growth Management Director *PEG*
Vicki Lucero, Building and Development Services Manager *VL*
Wayne Dalton, Building and Development Services Supervisor *WD*

FILE REF.: CDRC CASE # FDP Glorieta Fire Station No. 2 Final Development Plan

ISSUE:

Santa Fe County, Applicant, Riskin Associates Architecture (Marcie Riskin), Agent, request Final Development Plan approval for an unmanned fire station on 1.52 acres. The proposed 3,140 square foot fire station will consist of 3 apparatus bays and an administration area (restrooms, office, classroom and storage).

The property is located at 366 Old Denver Highway in Glorieta, east of Leadville Lane, within Section 1, Township 15 North, Range 11 East (Commission District 4).

Vicinity Map:



102 Grant Avenue · P.O. Box 276 · Santa Fe, New Mexico 87504-0276 · 505-986-6200 ·
FAX: 505-995-2740 www.santafecountynm.gov

NB-61

Summary:

The Applicant is requesting Final Development Plan approval for a 3,140 square foot un-manned Volunteer Fire Station to be located in Glorieta, which will consist of 3 apparatus bays and administration area. The nearest fire station is located approximately 4 miles to the west on the south side of I-25. The property was acquired from the New Mexico Department of Transportation (NMDOT) on December 9, 2004 and the deed was recorded in the Office of the County Clerk on December 21, 2004 and recorded as Document No. 1359749.

The applicant met the Public Notice requirements of the Land Development Code by sending letters to the adjoining property owners and by placing the Public Notice Boards on the subject property.

Article V, § 7.2 (Final Development Plan) states: "a final development plan conforming to the approved preliminary plan and approved preliminary plat, if required, and containing the same required information shall be submitted. In addition, the final development plan shall show, when applicable, and with appropriate dimensions, the locations and size of buildings, heated floor area of buildings, and minimum building setbacks from lot lines or adjoining streets.

This Application was submitted on September 5, 2014.

Growth Management staff have reviewed this Application for compliance with pertinent Code requirements and finds the project is in compliance with County criteria for Final Development Plan and Plat approval.

APPROVAL SOUGHT: Final Development Plan approval for a 3,140 square foot Fire Station consisting of 3 apparatus bays and administration area on 1.52 acres.

GROWTH MANAGEMENT AREA: Galisteo, SDA-2

LOCATION: The development is located at 366 Old Denver Highway in Glorieta south of the Old Denver Highway and north of Interstate 25.

HYDROLOGIC ZONE: Mountain Hydrologic Zone, minimum residential lot size per Code is 20 acres per dwelling unit with a 0.25 acre foot per year per lot water restriction; lot size can be further reduced to 2.5 acres per dwelling unit if water availability is proven to support increased density. The 1.52 acre tract

lies and being situate in Exception 336, Private Claim 372 and is a legal non-conforming lot of record.

ARCHAEOLOGIC ZONE:

Low Potential. The Archaeological report that was submitted by the Applicant shows no cultural resources on the site. The report has been submitted to the State Historic Preservation Division for review.

ACCESS AND TRAFFIC:

The site will be accessed off of Old Denver Highway, which is a paved road under the jurisdiction of NMDOT. The station driveway and parking lot will also be paved. NMDOT states: "The Fire Station will have minimal traffic impacts to the state highways. No further analysis is needed for this development."

FIRE PROTECTION:

The building will be fully sprinklered. The sprinkler system will consist of water collected in a partially buried insulated 18,000 gallon cistern (fed by both harvested roof water and well-water). The cistern will be connected to a fire pump in the pump room in the building.

WATER SUPPLY:

The Fire Station will be served by an onsite well. There is no water onsite at this time. The owner will install the well.

This is an unmanned fire station and the projected total Water Budget for the project is approximately .11 acre feet per year (39,000 gals per year).

LIQUID WASTE:

The project will utilize a conventional septic system for liquid waste from the administrative area. The Applicant will install approximately 100 feet of Traffic Rated 4 inch SAS service lines to the septic tank.

For waste water from the apparatus bays, there is an oil separator/sediment trap which outlets to a holding tank. The Fire Department will pump the holding tank as needed.

NMED had concerns about the 4" SAS service line that extends underneath the parking lot and through the retention pond. The Applicants Engineer has addressed the

concern and stated that the 4" SAS service line is "Traffic Rated" and the retention pond will be re-located.

SOLID WASTE:

Since this is an un-manned fire station, no solid waste will be stored at the Fire Station. Fire Department staff will take waste to a nearby solid waste transfer station as deemed necessary.

**FLOODPLAIN &
TERRAIN MANAGEMENT:**

There are no slopes greater than 15% within the development area. There is a drainage easement that runs south to north approximately forty feet from the proposed building on the property.

A 1,067 cubic foot retention pond located on the east side of the parking lot will capture all of the surface runoff from new paved areas.

LANDSCAPING:

There are 26 existing trees on site that will screen the building and parking area from the road. The Applicant is proposing to plant 15 shrubs to screen the 18,000 gallon partially buried cistern. The cistern will use 3,000 gallons for landscaping use and the additional 15,000 gallons will be for fire protection.

WATER HARVESTING:

Roofwater is collected in a partially buried insulated cistern which will be used for fire protection and for watering the plants that screen the partially buried cistern.

**ARCHITECTURAL, PARKING,
SIGNAGE AND LIGHTING**

The total building height will not exceed 24 feet at the highest point (apparatus bay). The remainder of the building will be approximately 22 feet in height. Staff has determined the Architectural element of the Application complies with Article III, Section 2.3.8 (Architectural and Appearance Standards) of the Land Development Code.

The Applicant has proposed a total of 10 parking spaces plus an additional space for handicap use. The parking is situated on the east side of the building. All parking spaces shall be defined with striping, wheel stops, parking bumpers or railroad ties. Staff has determined that the

parking element of the Application complies with Article III, Section 9 (Parking Standards) of the Land Development Code.

The Applicant has proposed a sign with 12 inch metal letters which will be mounted on the face of the apparatus bay to identify the station. The Applicant has provided a signage detail plan addressing size and mounting. Staff has determined that the signage element of the Application complies with Article VIII (Sign Regulations).

Three LED wall mounted shielded exterior lights with motion sensor are proposed to be located on the apparatus bay. The Applicant is also proposing a 20 foot tall Flagpole with 2 shielded solar 50 watt LED lights to illuminate the Flags as required for Fire Station flags. Staff has determined that the lighting element of the Application complies with Article III Section 4.4.4h (Outdoor Lighting Standards).

AGENCY REVIEW:

<u>Agency</u>	<u>Recommendation</u>
SFC Fire	Approval
SFC Utilities	No Opinion
NMDOT	Approval
SFC Public Works	Approval with Conditions
OSE	No Opinion
NMED	Approval with Conditions
NMSHPO	Approval

STAFF RECOMMENDATION: The Application for Final Development Plan approval is in conformance with Article V, Section 7.2 (Final Development Plan) Therefore, staff recommends approval of the request for Final Development Plan subject to the following conditions:

1. The Final Development Plan must be recorded with the County Clerk's office as per Article V, Section 7.2 of the Land Development Code prior to building permit issuance.
2. The Applicant shall comply with all review agency comments and conditions as per Article V, Section

7.1.3.c. of the Land Development Code prior to Final Development Plan Recordation.

3. The water use shall not exceed .25 acre feet (81,457 gallons) per year. The Water Restrictive Covenants must be recorded with the Final Development Plan.
3. The Applicant must obtain an Access Permit from NMDOT to provide access for the proposed development prior to obtaining a Development Permit for the construction of the building.
4. The Applicant shall utilize roll-over curb from edge of Right-of-Way through the radiuses, to minimize interference with Snow Plows on Old Denver Highway.

EXHIBITS:

1. Development Report
2. Development Plans
3. Review Agency Comments
4. Aerial Photo of Site and Surrounding Areas



RISKIN ASSOCIATES ARCHITECTURE
227 East Palace Avenue, Suite C
Santa Fe, New Mexico 87501
tel 505.983.0722 fax 773.913.0722
www.riskinassociates.com

DEVELOPMENT PLAN REPORT

Date
Project

9.5.14
Glorieta Fire Station no. 2

Glorieta Fire Station no. 2 is an unmanned County fire station, owned by Santa Fe County. It is approximately 3,140 square feet with a 3 bay apparatus bay and an administration area (restrooms, office, classroom and storage).

Height

The building height is 24' at the most restrictive point, the northeast corner of the apparatus bay where the peak of the sloped roof meets the lowest natural grade. The parking area will be graded so that the apparent height at this point is only 21'-7" feet at this point. The roof slopes away to the west and the grades slopes up so that this height is only at one point not along the facade.

Parking

There is parking for 10 vehicles (asphalt parking lot) plus an additional van-accessible parking space (concrete pad).

Water Harvesting

Roofwater is collected in a partially buried (bermed) insulated cistern which will be used for fire protection water (this is the reason it will be placed above-grade and bermed - it will need to gravity feed the fire pump in the building). A small amount of the roof water will be used to direct water the plants that screen the partially buried cistern.

Landscaping

There are 26 trees on-site. Since this is an unmanned station, the owner is not proposing additional landscaping except approximately 15 shrubs to screen the cistern.

Fire Protection

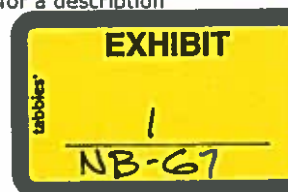
The building is fully fire sprinklered. The system will consist of water collected in a cistern (fed by both harvested roof water and well-water). The cistern will be connected to a fire pump in a pump room in the building (which is the reason it needs to be above grade and bermed rather than fully buried).

Exterior Lighting

Lighting will be minimal given the rural setting and out of respect for neighbors. The station has three LED motion sensor activated exterior lights (one is on the north side, the other two are either end of the apparatus bay. The flagpole has two solar LED lights to illuminate the flags as required for fire station flags. There is no pole or bollard site lighting.

Utilities

There is an electrical pole nearby, but we are also specifying a ground-mounted PV solar system for electricity (the location is between the station and the highway embankment which reduces visibility and is screened from neighbors by trees). This is an alternate and may not be taken. There is no water on-site; the owner is installing a well. There is no sewer system; see "septic system" below for a description of the system.



All Weather Access

The project site is off of the Old Denver Highway, which is paved. The station driveway and parking lot will be asphalt.

Slope Analysis

There are no slopes greater than 15% in the developed area. There is an acequia on the property, but the station is not located near the acequia.

Septic System

The project will utilize a septic system for water from the administration area (restrooms and serving area sink). The septic system will be permitted by the selected Contractor. For water from the apparatus bay, there is an oil separator/sediment trap which outlets to a holding tank; the fire department will pump the holding tank as needed.

Geo-Hydro

The County soils report is in the project specification; it recommended either conventional shallow foundations with an isolated concrete slab-on-grade ground floor, or a monolithic style slab with turned-down edges.

Archaeological Report

The archaeological report shows no cultural resources on the site.

Traffic Study

The County has not performed a traffic study; the site is on a rural road with minimal traffic.

Signage

The only identification sign will be 12" high metal letters on the face of the apparatus bay to identify the station. These are shown on interior elevations. There will be signage for disabled-accessible parking as well as a "fire station ahead" sign at the road.

Terrain Management

There are no steep slopes on this site. A pond will capture all of the surface runoff from new paved areas.

Phasing

The project will not be phased.

Solid Waste

The Fire Department will bring waste to a nearby solid waste transfer station on a weekly basis.

Roadway/Offsite Improvements

There will be no roadway or off-site improvements.

PANCV GROUP:
Main Station - Group 'B' (NM Code 14.2.1.1)
Apparatus Bay - S-2 (IBC 311.2.3)
Classroom - A-3 (IBC 303.1)

PROTECTION
- Fully Sprinklered
Standpipe not req'd per sec 905
Fire alarm not req'd per code

HEIGHT OF BUILDING:
Actual height = 40' (IBC Table 503) actual 24' at top of pitch
r of stories = 2 allowed, 1 actual
ble area: 9,000 sq ft for B, 13,500 sq ft for S-2
raa actual = 3043 sq ft
modification not required

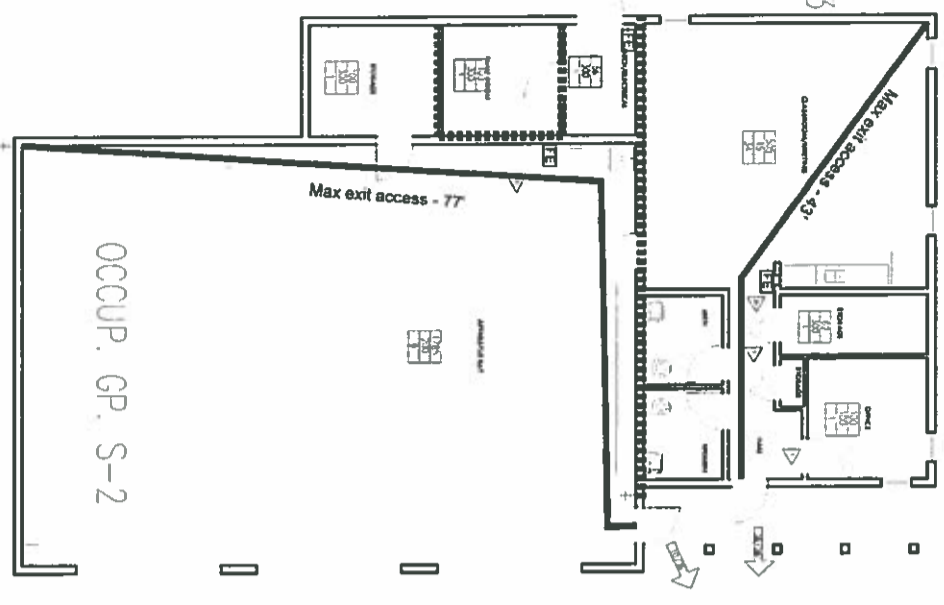
PANCV SEPARATION (FIRE BARRIERS)
- rated from S-2 - fire barrier not required - sprinklered (IBC Table 508.4)
- 4 size of a single opening - 120 sq ft (IBC 706.7), 90 min. label (715.2)
- slings in fire barrier - max. aggregate width of 25% of wall (IBC 706.7) = 25% of 308 sq ft
- Allowed - 77 sq ft, Actual - 21 sq ft
- Max. length of opening = 25% of 308 sq ft
- C Table 508.2.5)
- fire separation not required at
- noma <40,000 BTU, boiler <15 psi and <10 HP (Table 508.2.5)

RESISTANCE RATINGS/SEPARATIONS
(IBC Table 602)
- structural frame, interior bearing walls, interior non-bearing walls and partitions,
- roof construction, roof construction - 0 rating
- interior bearing walls - 0 hour
- interior non-bearing walls - Group B and S-2 (IBC Table 602)
- Fire separation distance <30' = 1 hour
- Fire separation distance >30' = 0 hour

Areas of all spaces/condensate/exitways - Class C (IBC 803.5)
Areas of exterior wall openings (IBC Table 704.8, IBC 704.8.1)
adjacent buildings >30' - no limit

Occupant Load:
based on occupancies (Table 1004.1.1) - within building

OCCUP. GP. A-3



TOTAL SF - 3,140 SF

KEY

- Fire Extinguisher (max. 75, quantity 3)
- Area Occupant Load Factor
- Total Number of Occupants Exiting/Width of Exit Door
- Number of occupants exiting
- 1 HOUR RATED WALLS

EXTING
Width of egress required - .2"/occupant x 48 occupants = 9.6" (IBC 1005.1)
Provided - 72"
Doors cannot reduce required width to less than 1/2 (IBC 1005.2)
Egress is continuous to public way (IBC 1007.2)
Number of exits required - 1 (IBC 1015.1), Provided - 2
Exit signs not required in rooms which require only one exit (IBC 1011)
Community Room (34 occupants) requires only 1 exit

Plumbing Counts
Occupant load = 48 (24 male, 24 female)
WCs - 1/125 male, 1/65 female for A-3 = 1 male/1 female required, 1 male/1 female provided
Lave - 1/200 male or female = 1 male/1 female required, 1 male/1 female provided (IBC Chapter 29)
Dfs - 1/100 = 1 required, bottled water provided
1 service sink required, 1 provided in apparatus bay (IBC Chapter 29)

GLORIETA FIRE STATION #2

SANTA FE COUNTY

GENERAL NOTES

- All references to the Building Code or Building Department shall be construed to mean the rules and regulations adopted by the State of New Mexico.
- The Contractor shall visit the Project Site to familiarize himself with existing conditions and to verify all elevations, dimensions and conditions of existing buildings and the actual field conditions shall be to be used.
- It is the responsibility of the Contractor to secure the permits to install any necessary equipment at all times. The Contractor shall be responsible for all permits resulting from failure to provide adequate protection.
- The Contractor shall perform the work so that there is a minimum of disruption caused to those portions of the building(s) and the where there is no work during peak hours.
- All construction refuse and debris shall be removed from the job site not less than once a week and shall be properly disposed of at the property.
- Work for this project shall be carried out in accordance with State and Local Codes and requirements of any other agency having jurisdiction. In all cases the most restrictive requirements shall apply.
- When conflicts occur between the Contract Documents, Specifications, Field Conditions and the Building Code, the most stringent requirements shall apply. In the case of a conflict, the Contractor shall advise the Architect in writing of the conflict and the Contractor shall be responsible for resolving the conflict.
- Dimensions shall be in accordance with the best recommendations.
- Dimensions shall be in accordance with the best recommendations.
- The Contractor shall coordinate his work with the Santa Fe Fire Department and shall be responsible for a minimum fire safety inspection of the work of any other subcontractor.
- When pipe, wire, conduits, ducts, etc. penetrate the fire-rated walls and ceilings, such penetrations shall not exceed 2% of the area of the penetration on any one face. The penetrations are to be closed off with doors using metal enclosures or plates and the concealed spaces shall be fire stopped in accordance with the requirements of the International Building Code, (2008 Edition).
- The Contractor shall be solely responsible for delivery of materials and equipment to the Project Site.
- After site work is laid out, it must be reviewed by the Architect prior to construction.
- Blocking is required for all wall and ceiling mounted specialties and equipment.
- The Contractor is responsible for ensuring that there are no braches in vapor barriers.
- Positive Drainage away from the building is the responsibility of the Contractor.
- Sprinkler and alarm system shop drawings must be submitted to Santa Fe Fire Marshal and Architect prior to construction.
- Paint all exposed fire protection, mechanical, ducts, pipes, conduit.
- Slope at concrete sidewalks and all grades adjacent to building 1/4% foot for positive drainage.
- Contractor shall be responsible for locating conductible type/sprinkler pipes such that adequate access to data controls is maintained.
- Contractor shall verify all field conditions and shop drawings and shall start corrected immediately to conflicts in the drawings.
- Contractor shall remove all items associated with demolition, including but not limited to electrical and mechanical devices, outlets, switches, wiring, conduit and all site items.
- It is the Contractor's responsibility to position ducts in relation to penetrations to maintain access to control.
- Provide 2% min. for surface runoff. All walkways 1/20 min.
- If topog notes are not shown, Contractor must find the reference on another sheet or submit a question during Bidding. All items keyed must be provided/installed.
- Coordinate mechanical and electrical items in mechanical rooms. Conflicts must be brought to the attention of the architect prior to installation.
- DO NOT SPLIT SETS, SOME SUB-CONTRACTOR ITEMS ARE SHOWN SOLELY ON ARCHITECTURAL SHEETS. ITEMS NOT SHOWN ON THE SHEET FOR A SPECIFIC SUB-CONTRACTOR DISCIPLINE ARE STILL THE RESPONSIBILITY OF THE SUB-CONTRACTOR.

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PROJECT TEAM

Owner:
SANTA FE COUNTY
Contact: Ron Sanderson
102 Grant Ave, Santa Fe, NM 87504
phone: 505.892.9833

Architect of Record:
RISKIN ASSOCIATES ARCHITECTURE, INC.
Contact: Marc Riskin
227 E. Palace Avenue, Suite C
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phone: 505.883.0722

Structural Engineer:
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Contact: Eric Trullio
1819 5th St., Santa Fe, NM 87505
phone: 505.474.3232

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Contact: Scott Haugland (505.264.7653)
Contact: Electrical: Chris Halling (505.263.8704)
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WALLNER ENGINEERING (Contact: Merry Walker)
Contact: Merry Walker
908 Camino Sierra Vista
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phone: 505.820-7890 fax: 505.820-3539

ALTERNATES

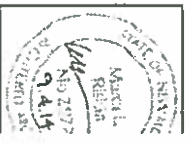
All Alternates No. 1: Shading from roof finish: Used Thermal Insulation
All Alternates No. 1: Ratched Ceiling for lighting is to be used
All Alternates No. 1: Split Ceiling
All Alternates No. 4: 4' x 4' to General Hazard Alarm System (conduit to be removed/revised from 1/2 inch to 1/4 inch)

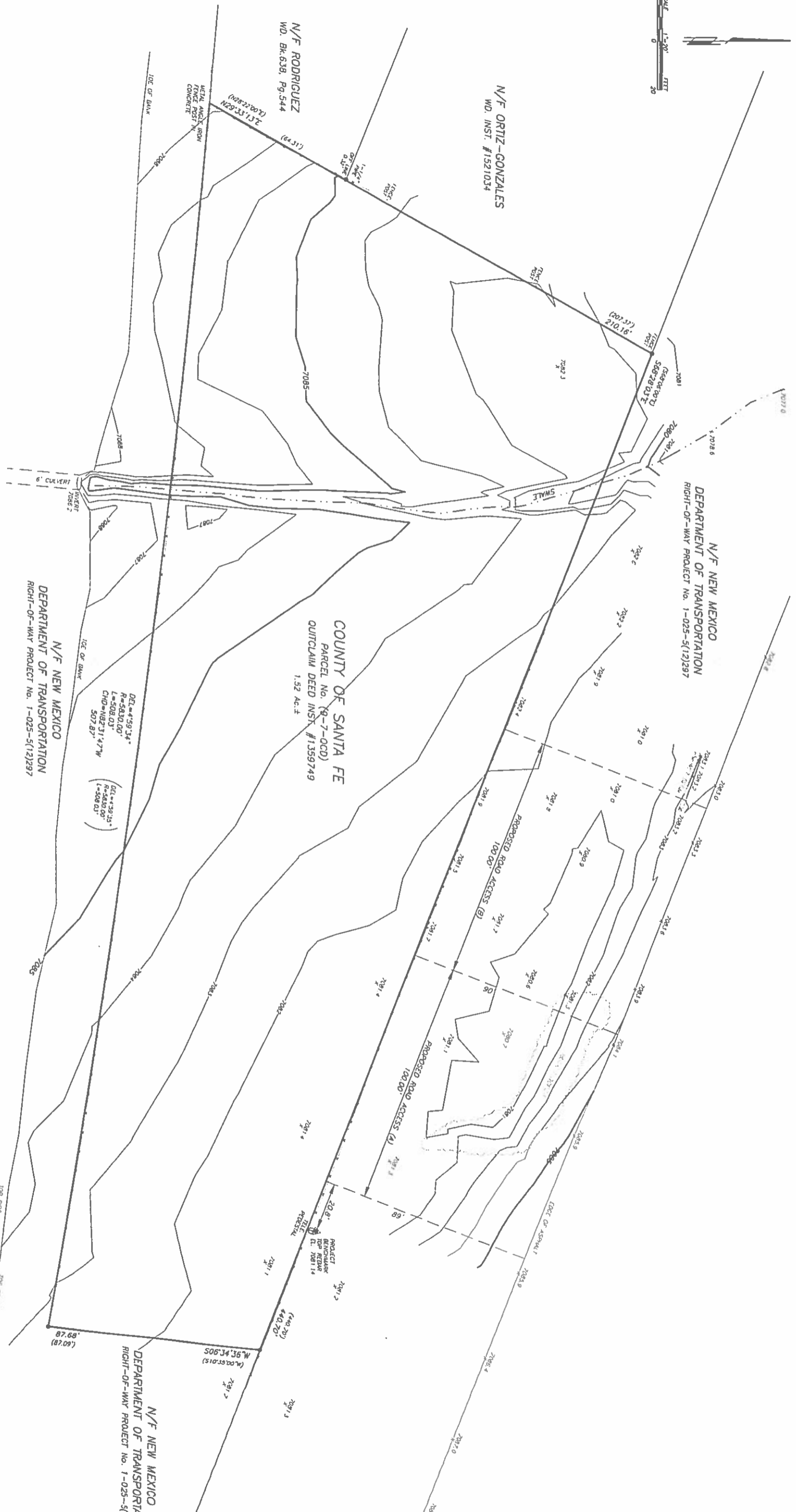
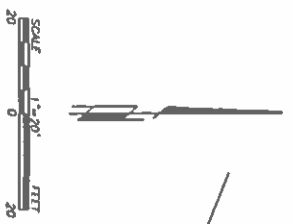
SET NUMBER

EXHIBIT

2

NB-69





FLOOD ZONE

THIS PROPERTY LIES WITHIN ZONE "X" OTHER AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON F.I.R.M. PANEL J5049C06000, AND F.I.R.M. PANEL J5049C05030, DATED JUNE 17, 2008.

NOTES

BOUNDARY DATA IN PARENTHESIS IS FROM N.M. DEPT. OF TRANSPORTATION, TO: COUNTY OF SANTA FE, RECORDED DEC. 21 2004 AS INST. #1359749.

BOUNDARY PLAT SHOWING PARCEL No. (9-7-0CD) RECORDED FEBRUARY 18, 2014 IN BK. 789, Pg. 42.

THIS PLAT SUBJECT TO ANY RESTRICTIONS, COVENANTS AND EASEMENTS OF RECORD.

LEGEND

BEARINGS ARE NEW MEXICO STATE PLANE CENTRAL ZONE. DISTANCES ARE REFERRED TO 6800 AMSL. TO CONVERT TO NEW MEXICO STATE PLANE CENTRAL ZONE, MULTIPLY BY 0.999583883

- DENOTES REBAR, OR AS SHOWN
- DENOTES BOUNDARY OF LANDS DEALT WITH BY THIS PLAT INFORMATION OUTSIDE OF THIS BOUNDARY IS BACKGROUND INFORMATION ONLY, NOT VERIFIED FOR ACCURACY AND IS NOT PART OF THIS PLAT.

SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THIS MAP IS A TRUE REPRESENTATION OF A TOPOGRAPHIC SURVEY COMPLETED UNDER MY PERSONAL SUPERVISION IN FEBRUARY AND JUNE OF 2014. THE SURVEY AND DRAWING ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, AND MEET THE MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYS IN NEW MEXICO.

Edward M. Trullio
N.M.P.L.S. #12352



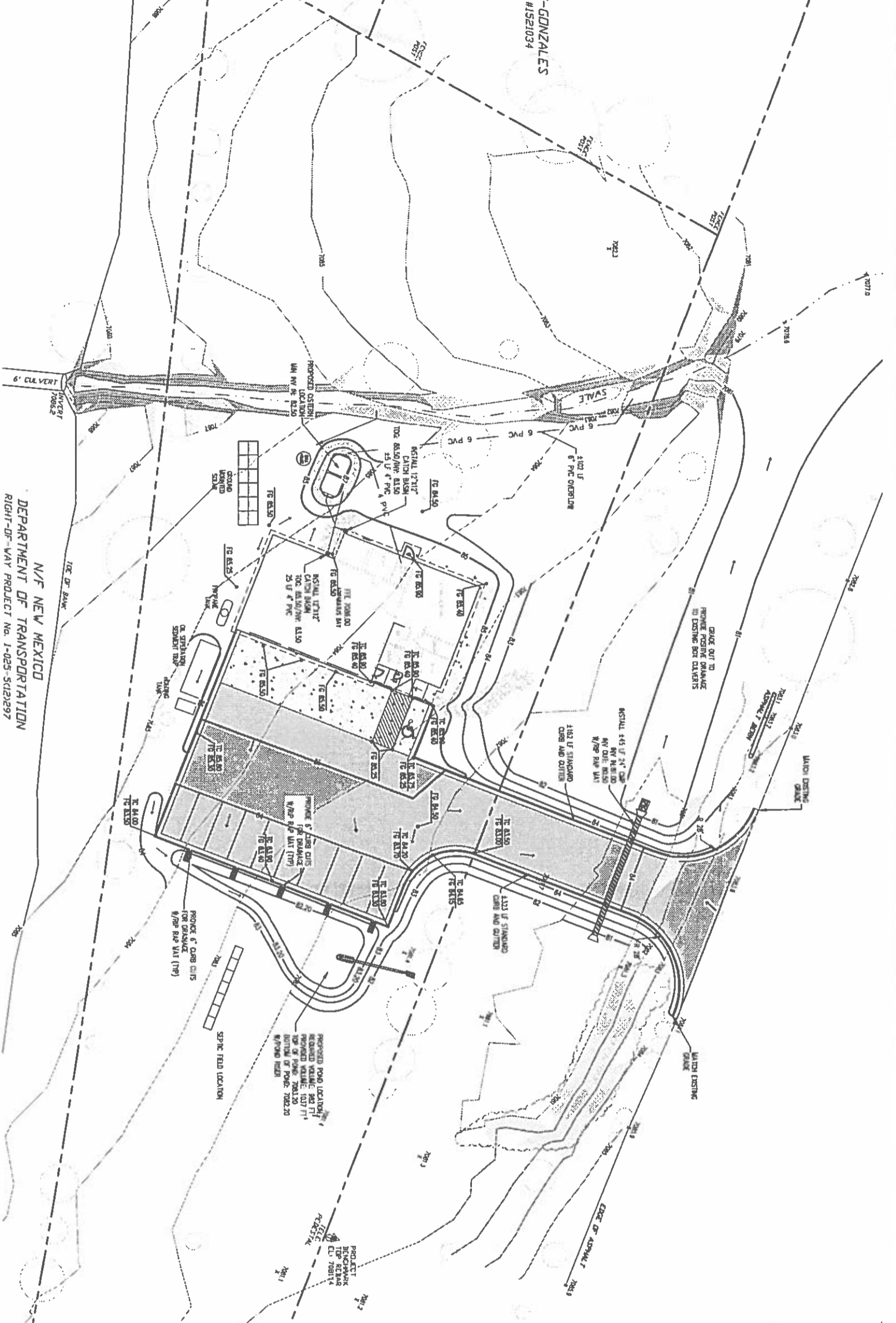
TOPOGRAPHIC MAP

SHOWING PARCEL No. (9-7-0CD) PREPARED FOR SANTA FE COUNTY SANTA FE COUNTY, NEW MEXICO.

N/F NEW MEXICO DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY PROJECT No. 1-025-5(12)297

NB-640

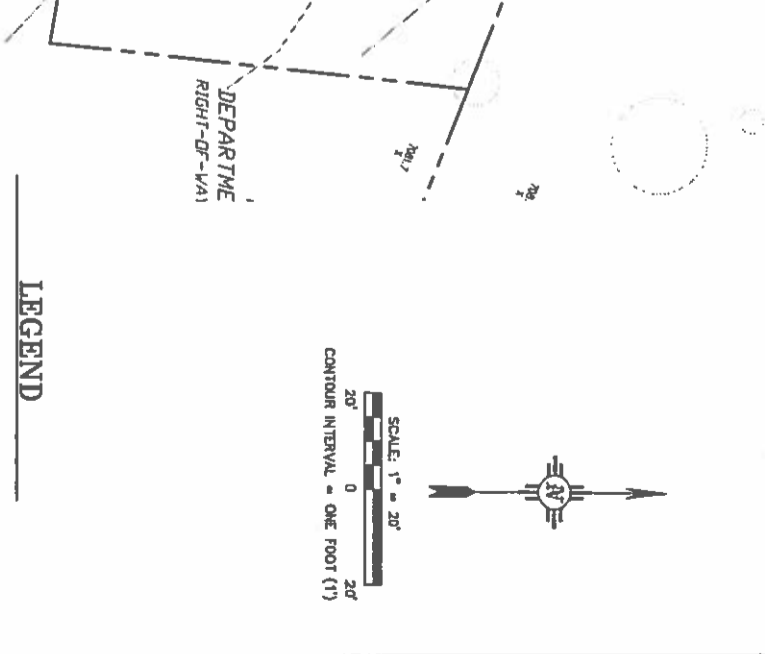
DAWSON SURVEYS
PROFESSIONAL LAND SURVEYORS
25028 CAMINO ENTRADA
SANTA FE, N.M. 87505
FILE# 93589 / 10-P0 DATE: 11/14/14



Proposed Land Use		Description		Area (Ac.)		C		C/A	
Unimproved	0.93	0.93	0.93	0.93	0.53	0.53	0.53	0.53	0.53
Improved	40451.00	40451.00	40451.00	40451.00	0.93	0.93	0.93	0.93	0.93
Total	40451.93	40451.93	40451.93	40451.93	1.86	1.86	1.86	1.86	1.86

Discharge Calculations		Description		Area (Ac.)		C		C/A	
Roof	1045.00	0.07	0.07	0.07	0.93	0.07	0.07	0.07	0.07
Concrete	792.00	0.05	0.05	0.05	0.93	0.05	0.05	0.05	0.05
Asphalt	4620.00	0.33	0.33	0.33	0.93	0.33	0.33	0.33	0.33
Grass	26917.00	0.20	0.20	0.20	0.93	0.20	0.20	0.20	0.20
Total	30074.00	0.65	0.65	0.65	0.93	0.65	0.65	0.65	0.65

Discharge (cfs)		Description		Area (Ac.)		C		C/A	
Proposed Land Use	0.31	0.31	0.31	0.31	0.93	0.31	0.31	0.31	0.31
Discharge	0.11	0.11	0.11	0.11	0.93	0.11	0.11	0.11	0.11



RECORD DRAWINGS

RECORD DOCUMENT HAS BEEN PREPARED BASED ON THE AVAILABLE INFORMATION AS PROVIDED BY OTHERS. WALKER ENGINEERS ASSOCIATES, INC. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY OCCUR IN THE FINAL CONSTRUCTION.

DATE: _____

EARTHWORK

CUT = 88 CY
 FILL = 786 CY (IMPORT)
 NET = 700 CY (IMPORT)
 *COMPACTION FACTOR NOT INCLUDED

STAKING NOTE

STAKING SHOWN IS FOR GRADING AND DRAINAGE ONLY AND IS NOT TO BE USED FOR STAKING PURPOSES. SEE SITE PLAN FOR ACTUAL LOCATION OF IMPROVEMENTS.

UTILITY NOTE

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THE DRAWING, THEY ARE SHOWN IN APPROXIMATE LOCATION ONLY. UTILITY LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OR PIPELINE COMPANY, THE OWNER, OR BY OTHERS. THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

TOPOGRAPHY NOTE

ALL EXISTING TOPOGRAPHIC SURVEY DATA SHOWN ON THESE PLANS HAS BEEN OBTAINED AND CERTIFIED BY OTHERS. WALKER ENGINEERING HAS NOT BEEN RESPONSIBLE FOR THE ACCURACY OF THIS TOPOGRAPHY INFORMATION. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE ENGINEERING ANALYSIS THAT UTILIZES THE TOPOGRAPHY SURVEY.

DISTURBANCE NOTE

THERE ARE NO SLOPES GREATER THAN 15% ON THE BUILDING PAD.

DEPARTMENT OF TRANSPORTATION
 N/F NEW MEXICO
 RIGHT-OF-WAY PROJECT No. 1-925-512/297

PROJECT: GLORIETA FIRE STATION
SHEET TITLE: GRADING AND DRAINAGE PLAN

NO.	REVISION	BY	APP.	DATE

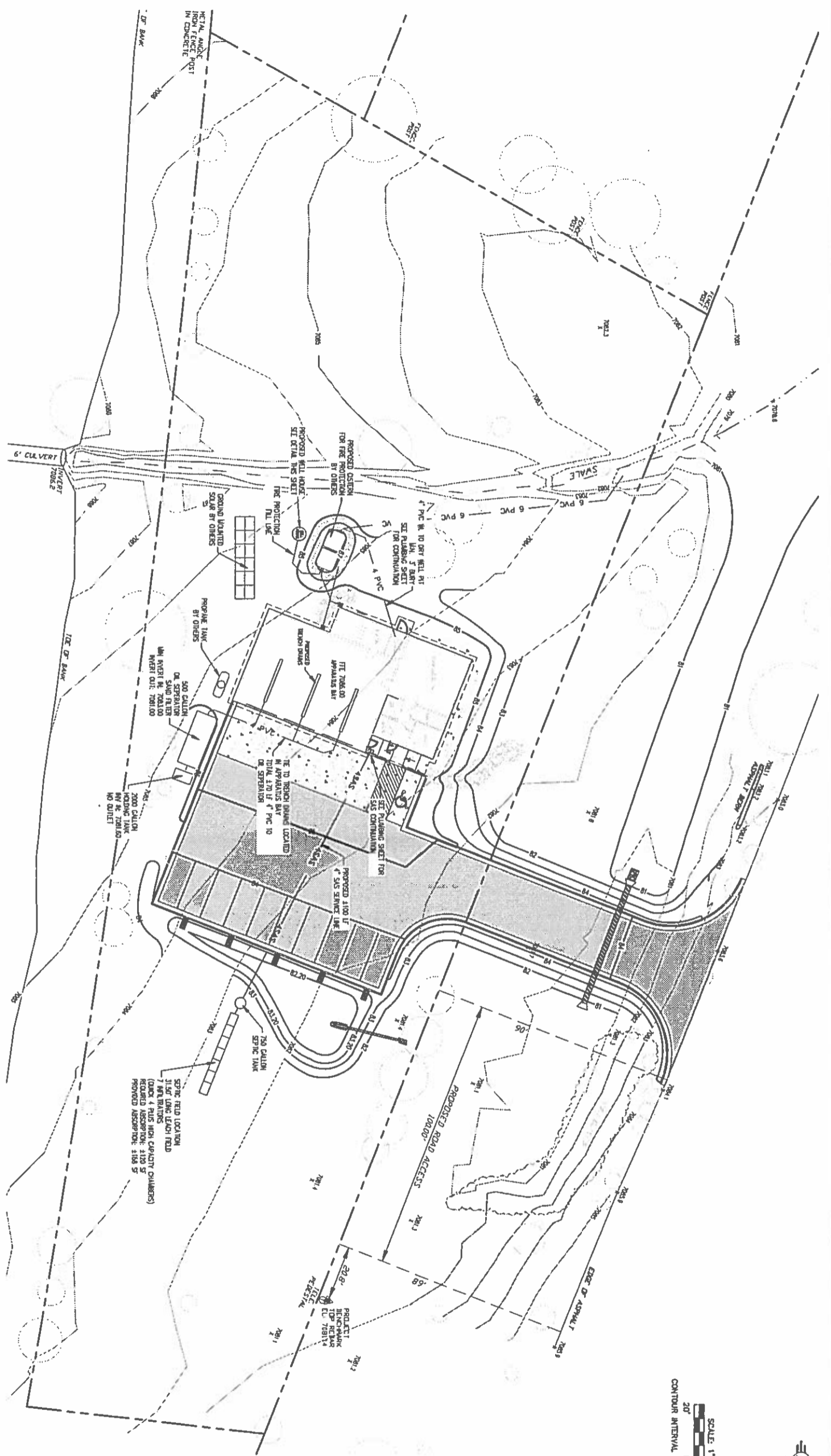
PROJECT: 14-140
 FILE: 140 GRADE
 DATE: 8/28/2014

DESIGNED BY: P.L.B.
 DRAWN BY: P.L.B.
 CHECKED BY: M.E.W.

Civil Engineering • Water Resources • Traffic •
W. E. Walker Engine
 806 Camino Sierra Vista, • Santa Fe, NM 87505
 805-820-7990
 FAX 805-880-3699

DATE: _____
 P.E. 12105
 DATE: _____

3-34



UTILITY NOTE

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THE DRAWING, THEY ARE SHOWN IN APPROPRIATE LANNER ONLY. UTILITY LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OR PIPELINE COMPANY, THE OWNER, OR BY OTHERS. THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.

THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES AT THE LOCATION. EXISTING UTILITIES ARE SHOWN AS SHOWN ON THE DRAWING. THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE LOCATION, DEPTH, SIZE, OR TYPE OF ANY EXISTING UTILITY LINES. THE CONTRACTOR SHALL IN ADVANCE OF ANY EXISTING ABOVE AND UNDERGROUND UTILITIES, AND EXISTING PIPELINES, IN AND NEAR THE AREA OF THE WORK, IN ADVANCE OF ANY AND ALL DAMAGE CAUSED BY HIS FAILURE TO LOCATE, MARK, AND PROTECT ALL EXISTING ABOVE AND UNDERGROUND UTILITIES, AND EXISTING PIPELINES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES PERTAINING TO THE LOCATION OF THESE LINES IN PLANNING AND CONDUCTING EXCAVATION WORK.

TOPOGRAPHY NOTE

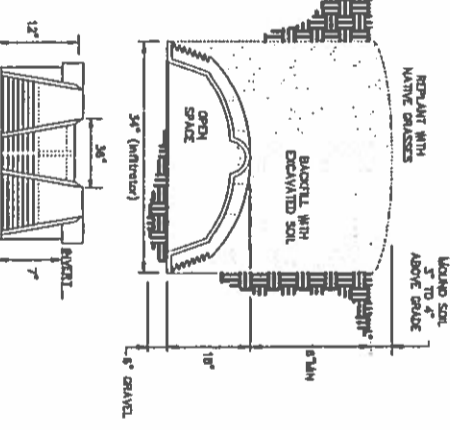
ALL EXISTING TOPOGRAPHIC SURVEY DATA SHOWN ON THESE PLANS HAS BEEN OBTAINED FROM THE RECORD DRAWINGS OF THE PROJECT. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING TOPOGRAPHIC DATA. THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE LOCATION, DEPTH, SIZE, OR TYPE OF ANY EXISTING TOPOGRAPHIC DATA. THE CONTRACTOR SHALL IN ADVANCE OF ANY AND ALL DAMAGE CAUSED BY HIS FAILURE TO LOCATE, MARK, AND PROTECT ALL EXISTING TOPOGRAPHIC DATA. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES PERTAINING TO THE LOCATION OF THESE LINES IN PLANNING AND CONDUCTING EXCAVATION WORK.

RECORD DRAWINGS

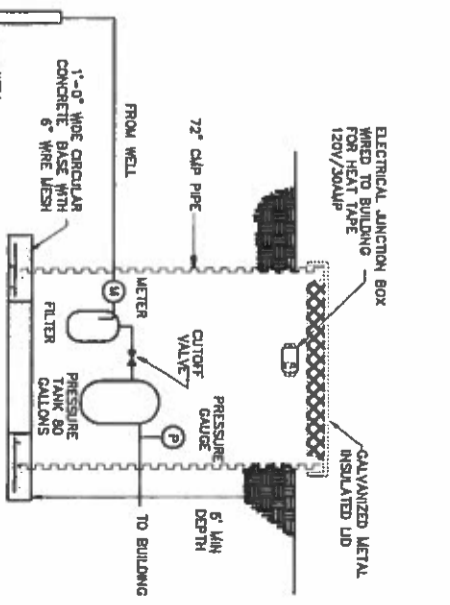
THIS RECORD DOCUMENT HAS BEEN PREPARED BASED ON THE BEST AVAILABLE INFORMATION AS PROVIDED BY OTHERS. WALKER ENGINEERING ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE INFORMATION SHOWN IN A RECORDABLE DOCUMENTATION OF THE FINAL CONSTRUCTION.

MOORE E. WALKER, P.E. 12105 DATE

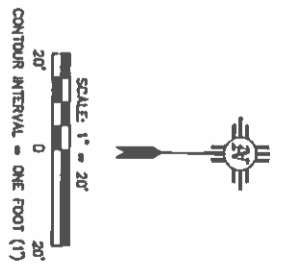
AVAILABLE FROM
WALKER ENGINEERING, INC.
PHONE 1-800-271-4456
FAX 1-505-388-8810



QUICK 4 HIGH CAPACITY INFILTRATORS



NB-612
NOT TO SCALE



COUNTY REVIEW		
DEPARTMENT	SIGN-OFF	DATE
LAND USE PLANNER		
PUBLIC WORKS DIRECTOR		
S.F. WATER COMPANY		

PROJECT: **GLORIETA FIRE STATION**
SHEET TITLE:

MOORE E. WALKER
12105

No.	REVISION	BY	APP.	DATE

PROJECT: 14-140 DESIGNED BY: P.L.B.

Civil Engineering • Water Resources • Traffic E
W. E. Walker Engine
905 Camino Sierra Vista, Santa Fe

additional off-site trees (in DOT setback) providing screening from road - 26

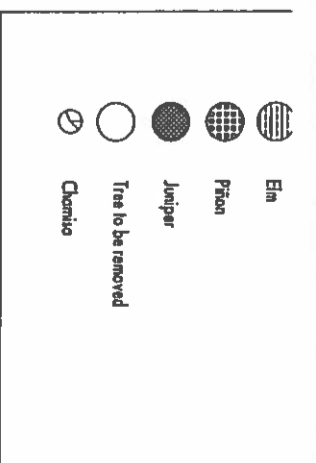
Shrubs on-site - 6 to remain

Trees screening building from residential neighbor on-site - 7

off-site (on neighbor property line) 5

CALCULATION:

3039 sf
 Trees required = $\frac{3039}{450} = 7$
 Shrubs required = $\frac{3039}{500} = 6$ [per exception 4.4.1.8 - Additional trees meeting minimum planting standards may be substituted for shrubs in rural locations or where water restrictions are severe, provided that the buffering or screening function is maintained; each additional tree may substitute for 1.5 shrubs] = 13 additional trees
 Trees provided on-site: 26 (exceeds 20 tree requirement)



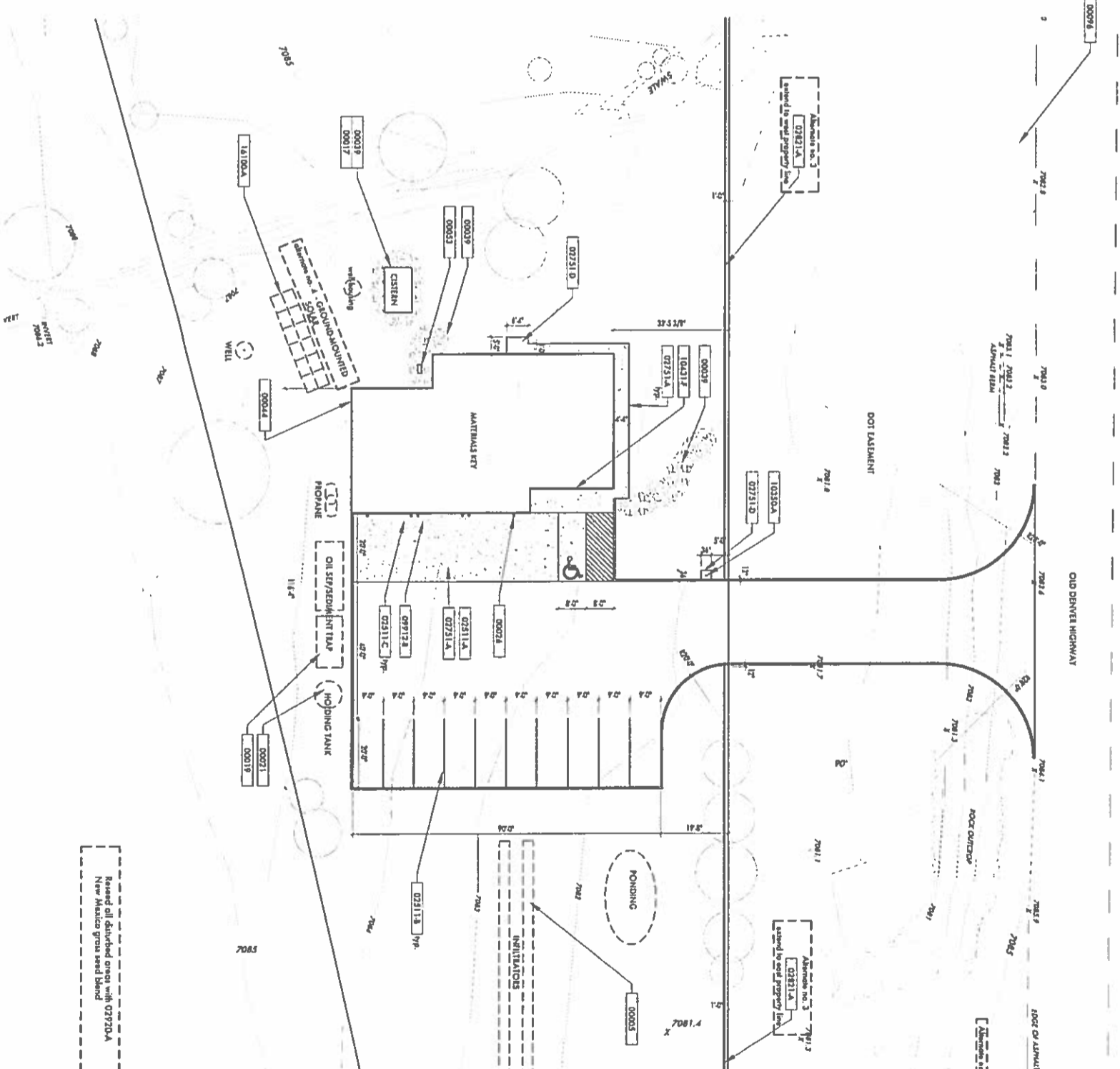
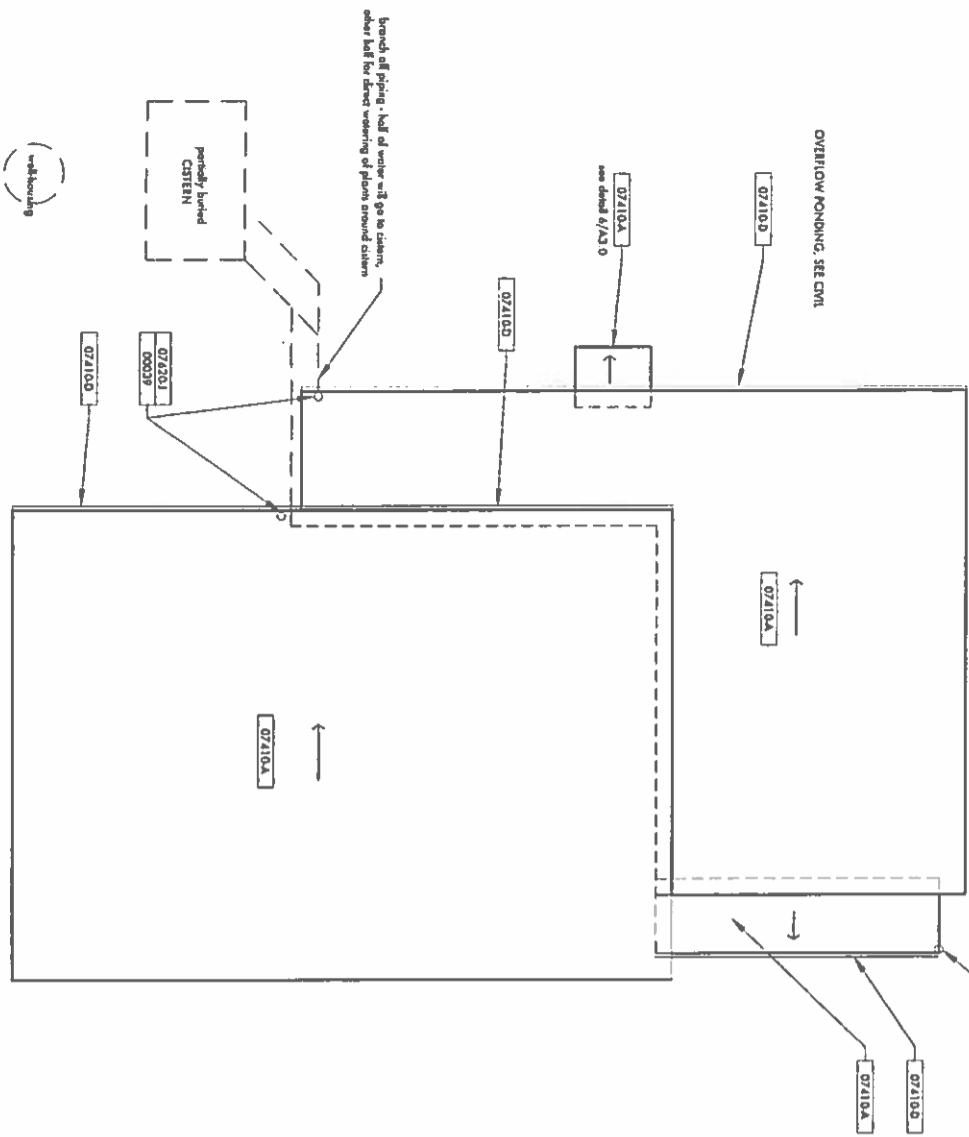
NB-614

KEYED NOTES, ROOF PLAN AND DETAILS

- 00037 64 DOWNPOUT, CONNECT TO DOWN PIPING WITH 1/2" DIA. CEMENT SET ONE
- 00038 64 DOWNPOUT, MATCH DETAIL TO THE NORTH TO MATCH WITH DOWN PIPING, SET SET PLAN
- 07104A 64 1/2" DIA. COP GUTTER, FLASH TO MATCH FLASH/ROOF COLOR
- 07104B 64 1/2" DIA. COP GUTTER, FLASH TO MATCH FLASH/ROOF COLOR
- 07430J 64 1/2" DIA. DOWNPOUT, FLASH TO MATCH FLASH/ROOF COLOR

GENERAL NOTES:

1. All pipe shall be 1/2" dia. unless otherwise noted.
2. Down pipe shall be 1/2" dia. unless otherwise noted.
3. Flashing shall be 1/2" dia. unless otherwise noted.
4. Flashing shall be 1/2" dia. unless otherwise noted.
5. Flashing shall be 1/2" dia. unless otherwise noted.
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7. Flashing shall be 1/2" dia. unless otherwise noted.
8. Flashing shall be 1/2" dia. unless otherwise noted.
9. Flashing shall be 1/2" dia. unless otherwise noted.
10. Flashing shall be 1/2" dia. unless otherwise noted.
11. Flashing shall be 1/2" dia. unless otherwise noted.
12. Flashing shall be 1/2" dia. unless otherwise noted.

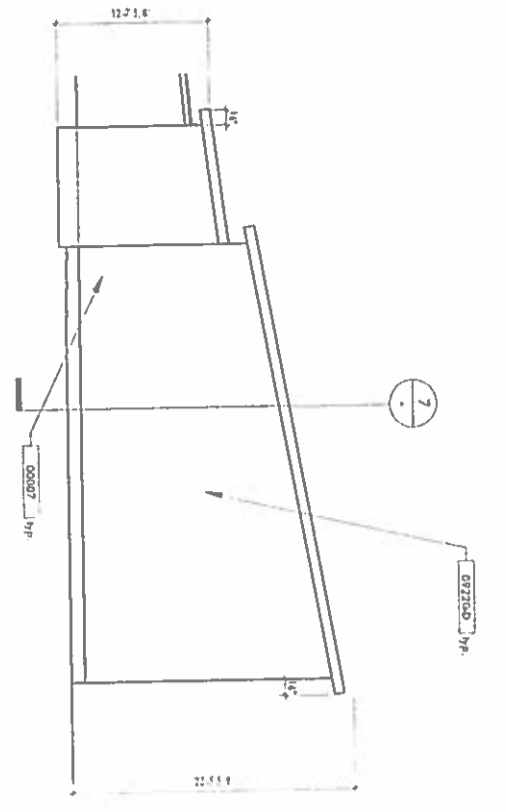


- 00037 PERMANENT, SET ONE
- 00038 PERMANENT, SET ONE
- 07104A 64 1/2" DIA. COP GUTTER, FLASH TO MATCH FLASH/ROOF COLOR
- 07104B 64 1/2" DIA. COP GUTTER, FLASH TO MATCH FLASH/ROOF COLOR
- 07430J 64 1/2" DIA. DOWNPOUT, FLASH TO MATCH FLASH/ROOF COLOR
- 00037 64 DOWNPOUT, CONNECT TO DOWN PIPING WITH 1/2" DIA. CEMENT SET ONE
- 00038 64 DOWNPOUT, MATCH DETAIL TO THE NORTH TO MATCH WITH DOWN PIPING, SET SET PLAN
- 07104 64 1/2" DIA. COP GUTTER
- 07104A 64 1/2" DIA. COP GUTTER, FLASH TO MATCH FLASH/ROOF COLOR
- 07104B 64 1/2" DIA. COP GUTTER, FLASH TO MATCH FLASH/ROOF COLOR
- 07430J 64 1/2" DIA. DOWNPOUT, FLASH TO MATCH FLASH/ROOF COLOR
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- 07104A 64 1/2" DIA. COP GUTTER, FLASH TO MATCH FLASH/ROOF COLOR
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- 07430J 64 1/2" DIA. DOWNPOUT, FLASH TO MATCH FLASH/ROOF COLOR

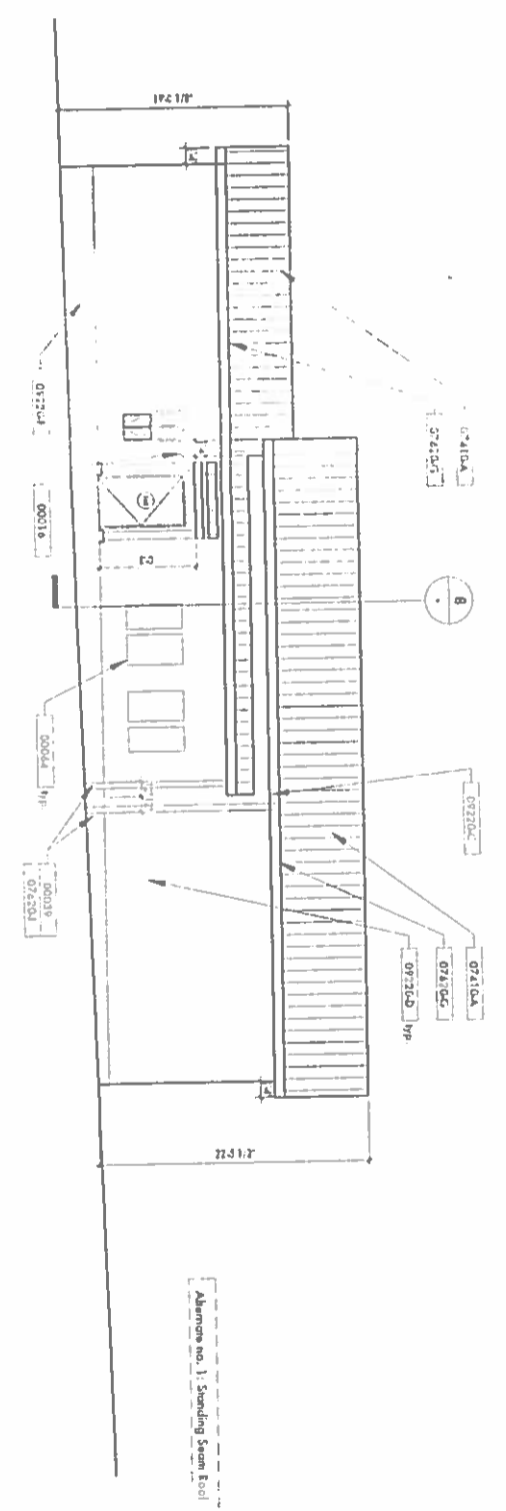
GENERAL NOTES:

1. All pipe shall be 1/2" dia. unless otherwise noted.
2. Down pipe shall be 1/2" dia. unless otherwise noted.
3. Flashing shall be 1/2" dia. unless otherwise noted.
4. Flashing shall be 1/2" dia. unless otherwise noted.
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12. Flashing shall be 1/2" dia. unless otherwise noted.

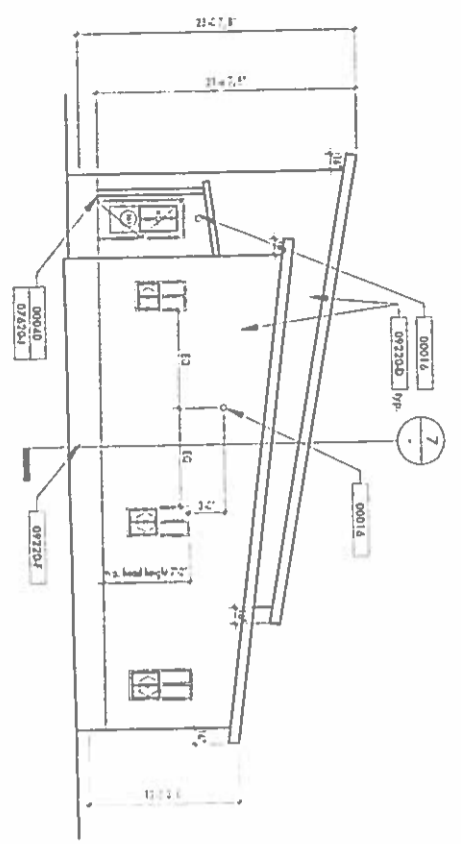
NB-615



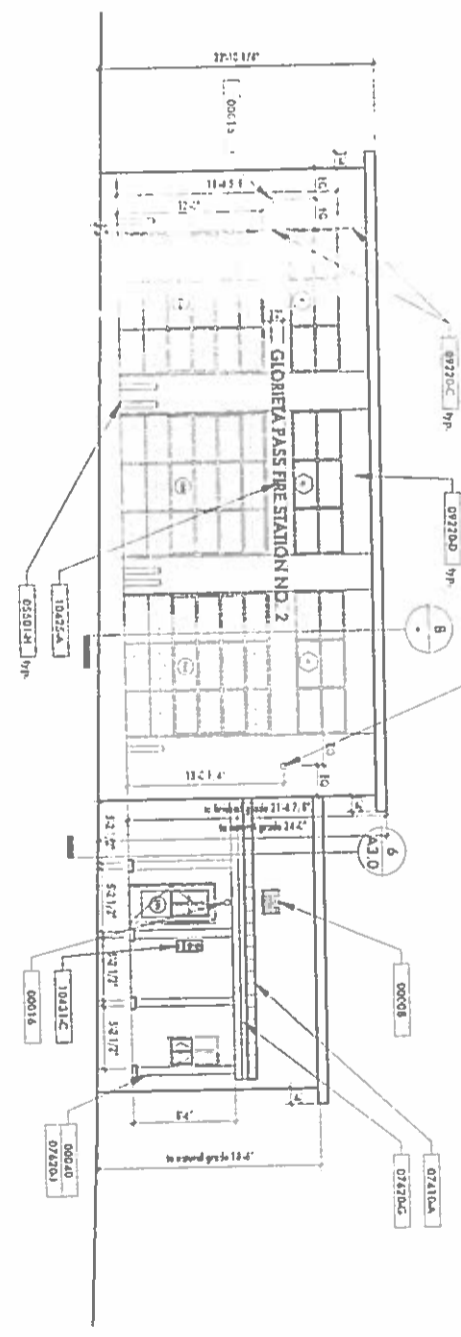
1 ELEVATION - SOUTH
A2.0 1/8" = 1'-0"



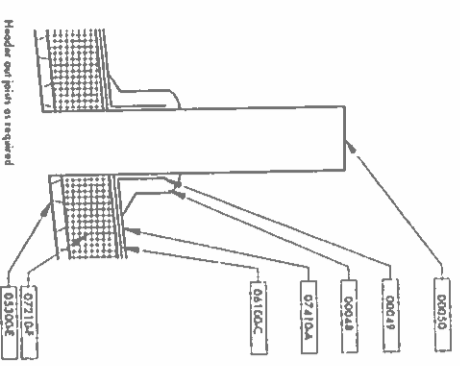
2 ELEVATION - WEST
A2.0 1/8" = 1'-0"



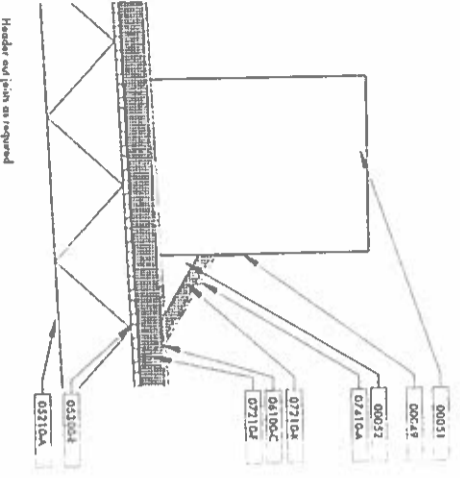
3 ELEVATION - NORTH
A2.0 1/8" = 1'-0"



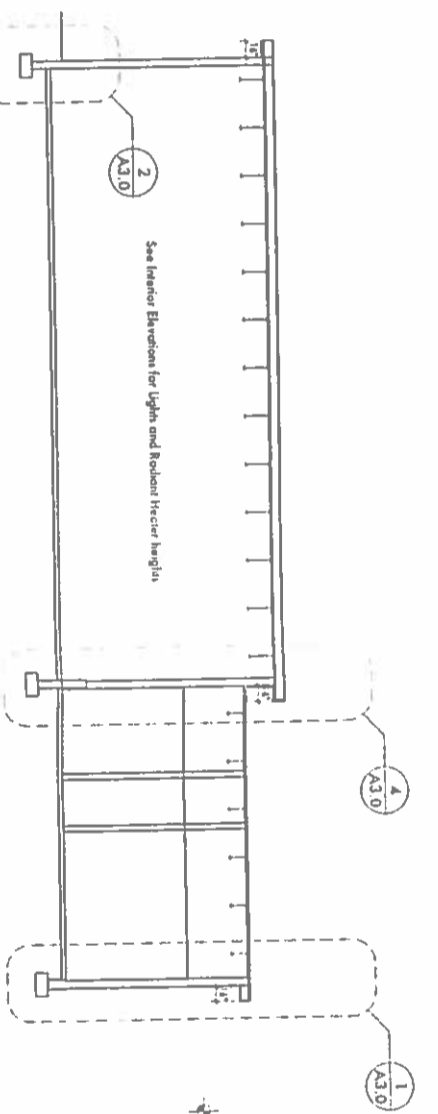
4 ELEVATION - EAST
A2.0 1/8" = 1'-0"



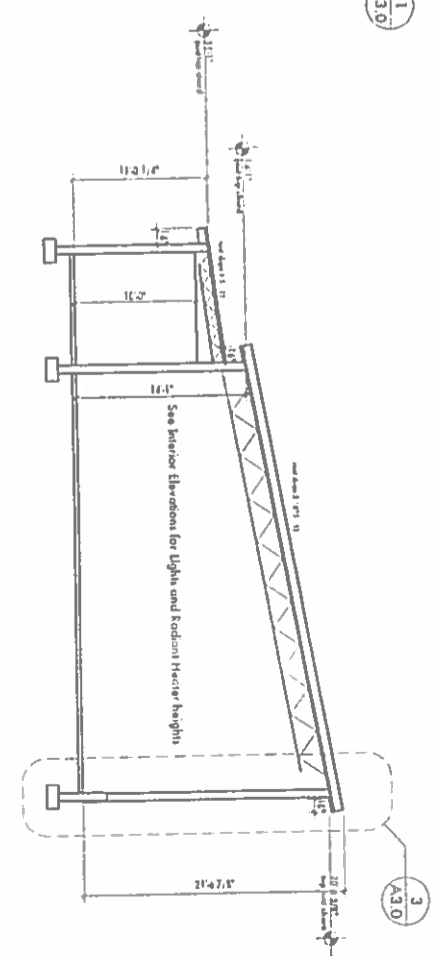
5 ROOF PENETRATION
A2.0 1" = 1'-0"



6 CRICKET - TYPICAL
A2.0 3/4" = 1'-0"



7 SECTION B
A2.0 1/8" = 1'-0"



8 SECTION A
A2.0 1/8" = 1'-0"

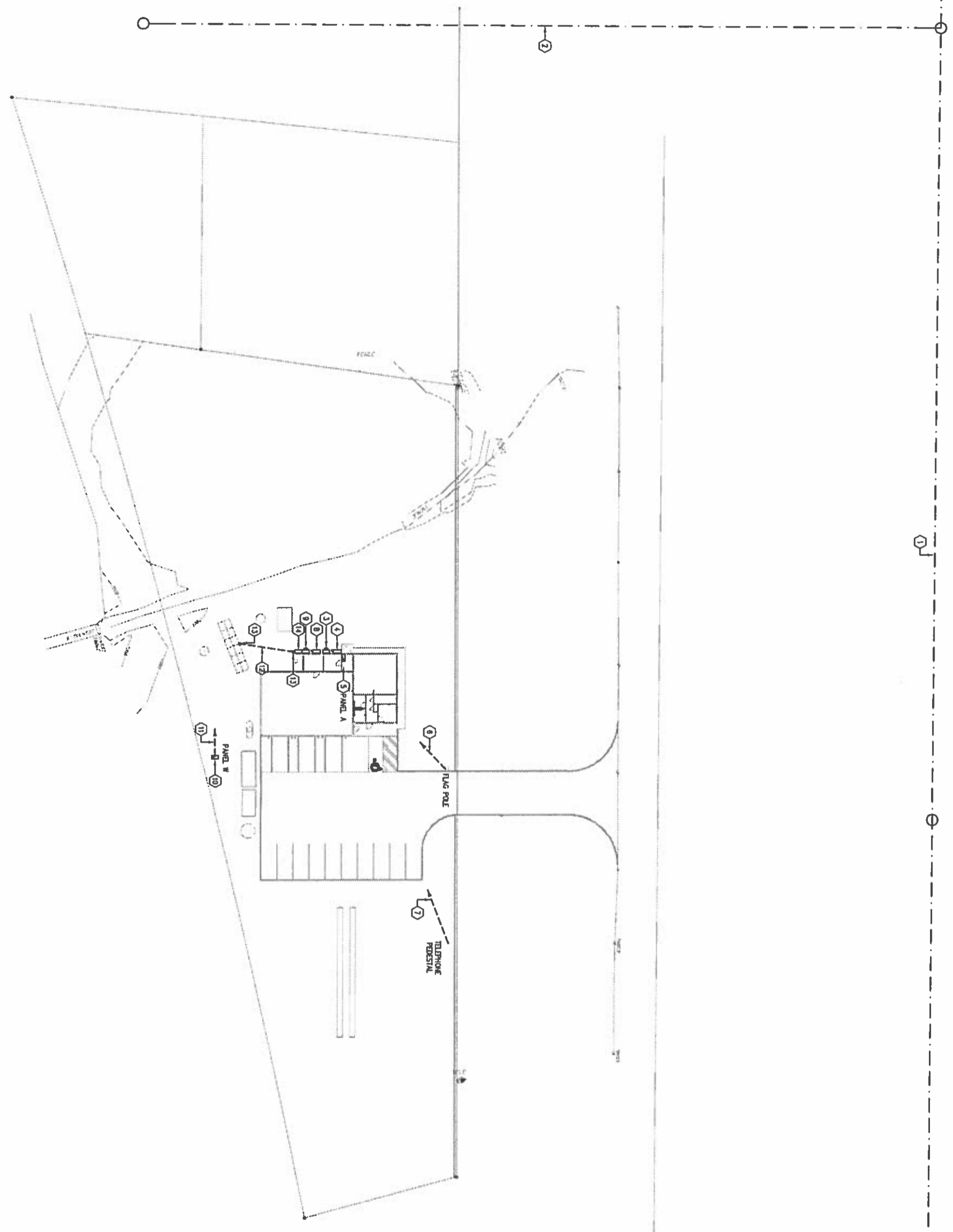
- GENERAL NOTES:**
1. Check for existing conditions and verify with field notes.
 2. Verify all dimensions and locations with field notes.
 3. Verify all elevations and heights with field notes.
 4. Verify all materials and finishes with field notes.
 5. Verify all structural requirements with field notes.
 6. Verify all mechanical and electrical requirements with field notes.
 7. Verify all plumbing and fire protection requirements with field notes.
 8. Verify all interior and exterior finishes with field notes.
 9. Verify all lighting and signage requirements with field notes.
 10. Verify all accessibility requirements with field notes.
 11. Verify all safety and security requirements with field notes.

00019	1/2" RADIANT HEATING BOARD
00018	1/2" RADIANT HEATING BOARD
00017	1/2" RADIANT HEATING BOARD
00016	1/2" RADIANT HEATING BOARD
00015	1/2" RADIANT HEATING BOARD
00014	1/2" RADIANT HEATING BOARD
00013	1/2" RADIANT HEATING BOARD
00012	1/2" RADIANT HEATING BOARD
00011	1/2" RADIANT HEATING BOARD
00010	1/2" RADIANT HEATING BOARD
00009	1/2" RADIANT HEATING BOARD
00008	1/2" RADIANT HEATING BOARD
00007	1/2" RADIANT HEATING BOARD
00006	1/2" RADIANT HEATING BOARD
00005	1/2" RADIANT HEATING BOARD
00004	1/2" RADIANT HEATING BOARD
00003	1/2" RADIANT HEATING BOARD
00002	1/2" RADIANT HEATING BOARD
00001	1/2" RADIANT HEATING BOARD

NB-616

N


1
E2.1
ELECTRICAL SITE PLAN
1/4" = 1'-0"



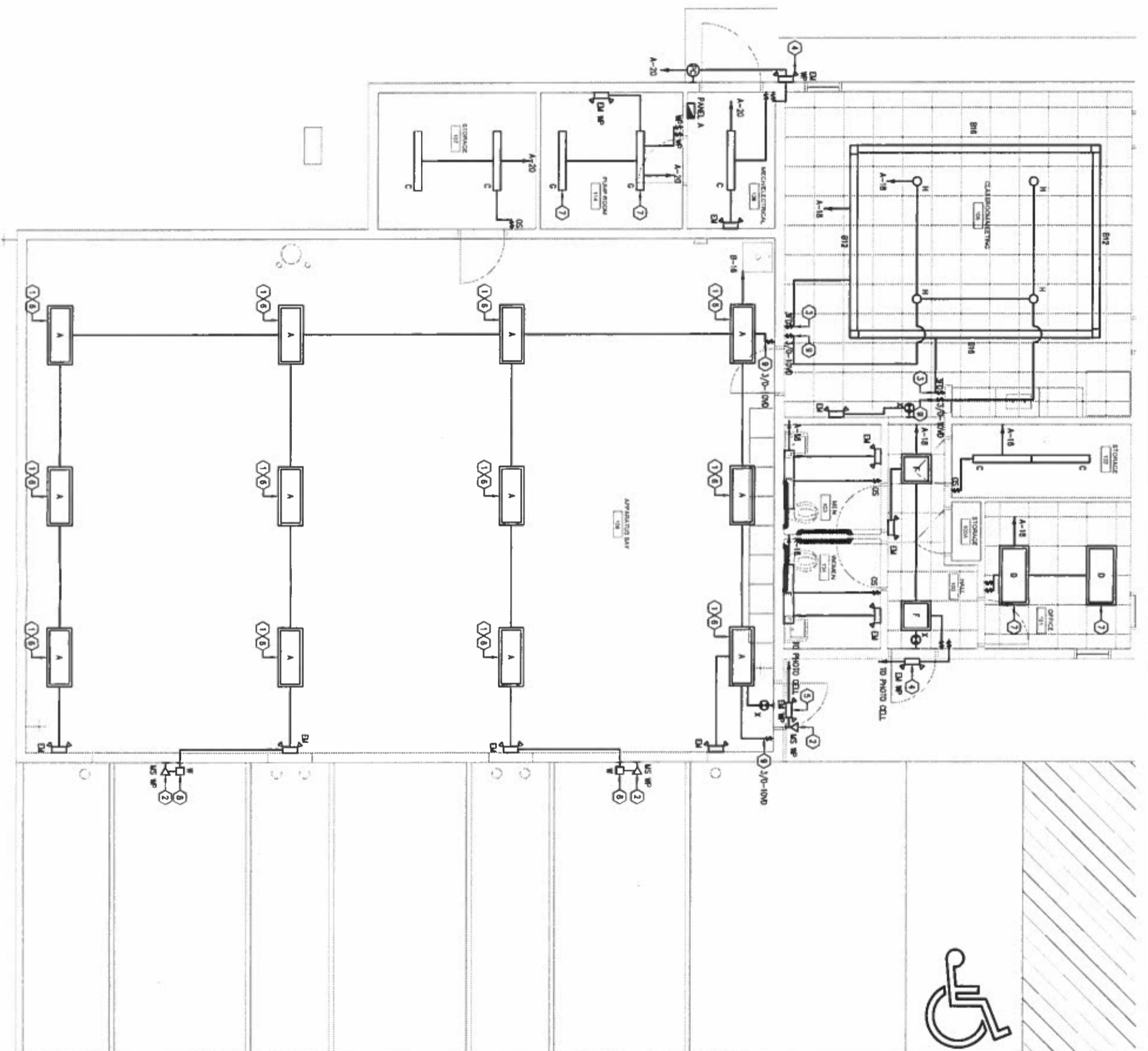
- 0 FOR METHOD OF GROUNDING SEE SHEETS E&I AND ELECTRICAL SPECIFICATIONS.
- E FOR LOAD CALCULATIONS SEE SHEETS E&I.
- F FOR FAULT CURRENT CALCULATIONS SEE SHEET E&I.
- G FOR PANEL SCHEDULES SEE SHEET E&I.
- H FOR ELECTRICAL LEGEND SEE SHEET E&I.
- I FOR POLE BASE DETAILS SEE SHEET E.
- J FOR LIGHTING BUDGET CALCULATION E&C (INTERNATIONAL ENERGY CONSERVATION CODE) SEE SHEET E7.1.
- K FOR LIGHTING FIXTURE SCHEDULE SEE SHEET E7.1.
- L BACK FILL ELECTRICAL CONDUIT TRENCHES WITH ENGINEERED FILL.
- M PLACE BURIED AND TUL UTILITIES IN LAYERS NOT MORE THAN 8 INCHES IN LOCAL UTILITY TRENCHES. TRENCHES SHALL BE 18 INCHES DEEP AND NOT MORE THAN 4 INCHES IN WIDTH FOR HANDS COMPACTED BY HAND-OPERATED TAMPERS.
- N COMPACT ELECTRICAL CONDUIT TRENCHES TO 80%.
- O PRIMARY ELECTRICAL SERVICE SOURCE TO BUILDING TO BE DETERMINED BY THE LOCAL UTILITY.
- P TRANSFORMER LOCATION TO BE DETERMINED BY THE LOCAL UTILITY.
- Q ASSIST THE OWNER IN FILING OUT THE REQUEST FOR NEW SERVICE APPLICATION.

KEYED NOTES

- 1 EXISTING 3-PHASE PRIMARY POWER LINE.
- 2 EXISTING SINGLE-PHASE PRIMARY POWER LINE.
- 3 UTILITY WATER. FOR ADDITIONAL INFORMATION SEE POWER RISER DIAGRAM.
- 4 SERVICE ENTRANCE DISCONNECT. FOR ADDITIONAL INFORMATION SEE POWER RISER DIAGRAM.
- 5 ELECTRICAL PANEL. FOR ADDITIONAL INFORMATION SEE POWER RISER DIAGRAM.
- 6 3/4" CONDUIT WITH PULL STRING TO PANEL A.
- 7 (2) 4" CONDUITS WITH PULL STRINGS TO TELEPHONE BOARD.
- 8 PV SYSTEM CUSTOMER CONNECTION DISCONNECT PROVIDED AND INSTALLED BY THE PV CONTRACTOR UNDER BID ALTERNATIVE #4. FOR ADDITIONAL INFORMATION SEE POWER RISER DIAGRAM.
- 9 PV SYSTEM REC W/TER PROVIDED AND INSTALLED BY THE PV CONTRACTOR UNDER BID ALTERNATIVE #4. FOR ADDITIONAL INFORMATION SEE POWER RISER DIAGRAM.
- 10 WALL PUMP PANEL. FIELD VERIFY LOCATION AND ELECTRICAL REQUIREMENTS PRIOR TO ROUGH-IN. FOR ADDITIONAL INFORMATION SEE POWER RISER DIAGRAM AND PANEL SCHEDULE.
- 11 1-1/4" c, (3) 2, (1) 8 c, TRNH/TRNH, CENTER.
- 12 1" CONDUIT WITH PULL STRING FOR PV SYSTEM PROVIDED UNDER BASE BO.
- 13 8"-GROUND PULL BOX FOR PV SYSTEM. LIGHT TRAFFIC RATED, 12" X 12" X 12" UNIMOUNTED. PROVIDE COVER WITH LABEL "ELECTRICAL". PROVIDE UNDER BASE BO.
- 14 PV SYSTEM INVERTER PROVIDED AND INSTALLED BY THE PV CONTRACTOR UNDER BID ALTERNATIVE #4. FOR ADDITIONAL INFORMATION SEE POWER RISER DIAGRAM.


Friedman Engineering Inc.
 515 BOYD STREET, SUITE 200
 ALABAMA CITY, AL 35005-0710
 TEL: (205) 283-5704
 FAX: (205) 283-5704
 info@friedmaneng.com

NB-617



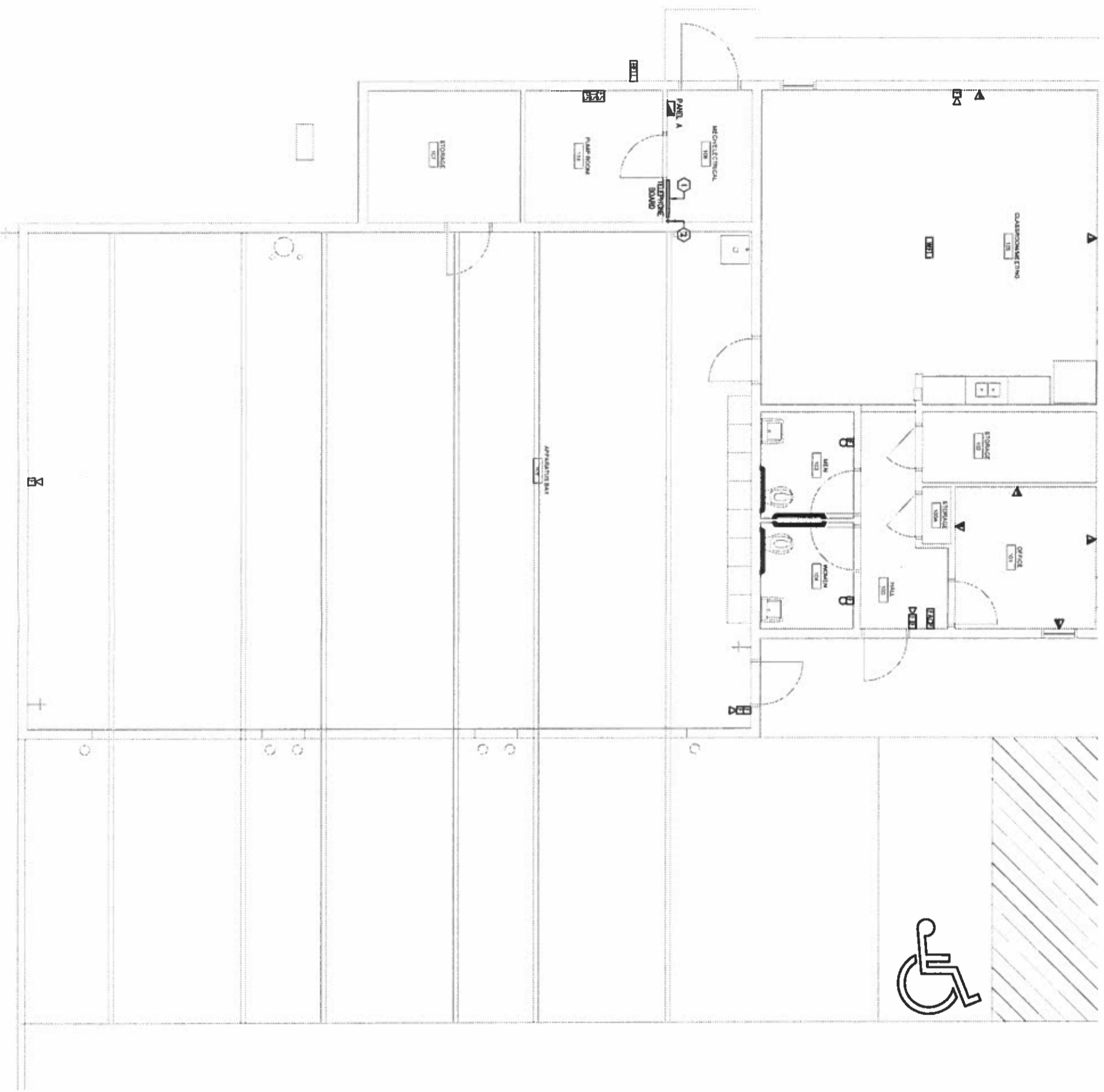
1 LIGHTING PLAN
 1/4" = 1'-0"
 E3.1

1. FOR UNLESS OTHERWISE NOTED, SEE SHEETS E3.1, E3.2, E3.3 AND E3.4.
2. FOR METHOD OF GROUNDING SEE SHEETS E3.1 AND ELECTRICAL SPECIFICATIONS.
3. FOR LOAD CALCULATIONS SEE SHEETS E3.1.
4. FOR FAULT CURRENT CALCULATIONS SEE SHEET E3.1.
5. FOR PANEL SCHEDULES SEE SHEET E3.1.
6. FOR ELECTRICAL LEGEND SEE SHEET E3.1.
7. FOR PANEL BUSES SEE SHEET E3.1.
8. FOR LIGHTING SCHEDULE SEE SHEET E3.1.
9. FOR LIGHTING SCHEDULE SEE SHEET E3.1.
10. FIELD VERIFY LIGHT SWITCH LOCATIONS WITH OWNER PRIOR TO ROOM-NO. LOCATIONS.
11. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR LIGHT FIXTURE LOCATIONS.
12. LIGHT FIXTURE COLORS TO BE SELECTED BY THE ARCHITECT FROM THE MANUFACTURER'S STANDARD COLORS.
13. CONNECT EMERGENCY LIGHTS AND EXIT SIGNS TO UN-SERVOED LEG OF LIGHTING CIRCUIT.

KEYED NOTES

1. NON-BAY LED LIGHT FIXTURE. FOR ADDITIONAL INFORMATION SEE LIGHTING SCHEDULE. PROVIDE MOUNTING SUPPORT ATTACHED TO STRUCTURE. BAY LIGHTS SHALL BE INSTALLED WITH THE INSTALLATION OF BAY LIGHT HEAVY. LIGHT FIXTURES MUST BE INSTALLED ABOVE THE HEADERS.
2. EXTERIOR MET LOCATION SENSOR. INSTALL AT 6'-0" ABOVE FINISH GRADE.
3. 3-WAY FLUORESCENT DIMMER. VERIFY COMPATIBILITY WITH DIMMING BALLAST.
4. OPERATIONAL EXTERIOR WALL MOUNT EMERGENCY LIGHT FIXTURE TO BE CONTROLLED BY PHOTO CELL AND WALL SWITCH WIRED IN SERIES. WIRE ALWAYS ON CIRCUIT THROUGH PHOTO CELL AND WALL SWITCH ACCORDING TO INSTALLATION INSTRUCTIONS.
5. OPERATIONAL EXTERIOR WALL MOUNT EMERGENCY LIGHT FIXTURE TO BE CONTROLLED BY PHOTO CELL AND MOTION SENSOR WIRED IN SERIES ACCORDING TO INSTALLATION INSTRUCTIONS.
6. PROVIDE LED LIGHT FIXTURE WITH DIMMING LED DRIVER TO MEET EIC ENERGY CONSERVATION CODE.
7. WAC LIGHT FIXTURE WITH (2) BALLASTS FOR DUAL LEVEL SWITCHING.
8. EXTERIOR WALL MOUNT LIGHT FIXTURE TO BE CONTROLLED BY MOTION PHOTO CELL AND MOTION SENSOR WIRED IN SERIES.
9. 3-WAY, 0-10 VOLT, DIMMER. VERIFY COMPATIBILITY WITH LED FIXTURE.





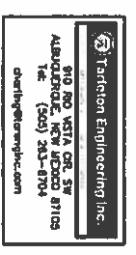
 N
 1 SPECIAL SYSTEMS PLAN
 EA.1 1/4" = 1'-0"

GENERAL NOTES

- 1 TELEPHONE BOARD, 30" X 36" X 3/4" PLYWOOD, SANDWICH PANELED AND PAINTED WITH (2) COATS OF WHITE FIRE RESISTANT PAINT.
- 2 2" CONDUIT THROUGH ROOF FOR SATURITE DSH CONNECTION, SEAL ROOF PENETRATION ACCORDING TO ARCHITECTURAL DETAILS.

FIRE ALARM SYSTEM GENERAL NOTES

- FA FIRE ALARM SYSTEM DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 70, NFPA 72 AND STATE OF NEW MEXICO STANDARDS.
- FB ALL DEVICES AND EQUIPMENT SHALL BE UL LISTED.
- FC PROVIDE SAFETY LOCKOUT DEVICE FOR FIRE ALARM CIRCUIT BREAKER.
- FD PROVIDE FIRE MARSHAL'S OFFICE WITH A RECORD OF COMPLETION UPON FINAL INSPECTION.
- FE FIRE ALARM CONTRACTOR SHALL SUBMIT WORKING DRAWINGS TO THE FIRE MARSHAL'S OFFICE PRIOR TO INSTALLATION. DRAWINGS ARE TO INCLUDE THE FOLLOWING:
 - 1 DEVICE LOCATIONS
 - 2 CONDUIT AND CONDUCTOR SCHEDULE
 - 3 VOLTAGE DROP CALCULATIONS LIMITING DROP TO 5%
 - 4 BATTERY LOAD CALCULATION
 - 5 DEVICE SPECIFICATIONS
 - 6 DEVICE WIRING DIAGRAMS
- FF SELECT AUDIBLE DEVICES TO COMPLY WITH ADA/AGC REQUIREMENTS, MINIMUM 15 DBA ABOVE AMBIENT BUT NOT OVER 120 DBA AT ANY LOCATION.


 Traction Engineering Inc.
 810 100 WEST 9TH ST
 ALBUQUERQUE, NM 87102
 TEL: (505) 243-8704
 email@tractioneng.com

NB-CR

MEMORANDUM

DATE: October 1, 2014
TO: Vicente Archuleta, Development Review Team Leader
FROM: Miguel Romero, Senior Development Review Specialist
VIA: Penny Ellis-Green, Growth Management Director
Vicki Lucero, Building and Development Services Manager
Wayne Dalton, Building and Development Services Supervisor

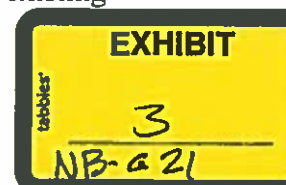
FILE REF: Case # FDP 14-5390 Glorieta Fire Station No. 2

REVIEW SUMMARY:

The Applicant requests approval of Final Development Plan for the Glorieta Fire Station No. 2 an unmanned County Fire Station approximately 3,140 sq. ft. on 1.52 acres, in accordance with the Land Development Code and all pertinent Ordinance. The Subject property is located at #366 Old Denver Hwy in Glorieta. The Water Harvesting and Landscaping Plan for the Fire Station has been reviewed for compliance with the Land Development Code 1996-10, Article III Section 4.4.4 f4 (landscaping plan), 4.4.4f.11 (landscaping plan for parking lots) and Ordinance 2008-4 (Water Harvesting).

Landscaping

The site plan depicts that the fire station will be screened from the highway and adjoining properties with existing trees and shrubs. The Applicant has stated that there are currently 26 trees on-site. Of these 26 trees, 12 of the trees will screen the building and parking area from the road. The Applicant has also stated that there are 26 trees off-site that will provide screening from the road. Trees that will be screening the building from the residential lot on-site will be 7 trees and off-site located on the property line will be 5 trees. The Applicant is proposing to plant 15 shrubs to screen the cistern. The Applicant has provided a site plan that shows existing trees and shrubs. The Applicant has stated that no new trees will be planted. The Applicant will need to indicate how the new plantings will be irrigated and maintained (2 years). The Applicant will need to also indicate what method will be used to irrigate the new plantings. The Applicant will need to indicate in the landscaping key the type, size, caliper, botanical names of the existing



Daniel "Danny" Mayfield
Commissioner, District 1

Miguel M. Chavez
Commissioner, District 2

Robert A. Anaya
Commissioner, District 3



MEMORANDUM


Kathy Holian
Commissioner, District 4

Liz Stefanics
Commissioner, District 5

Katherine Miller
County Manager

DATE: September 25, 2014

TO: Vicente Archuleta, Development Review Team Leader

FROM: John Lovato, Terrain Management 

VIA: Penny Ellis-Green, Land Use Administrator
Vicki Lucero, Building and Development Services Manager
Wayne Dalton, Building and Development Services Supervisor

FILE REF: CDRC CASE # FDP 14-5390 / Glorieta Fire Station No. 2

REVIEW SUMMARY

The referenced project has been reviewed for compliance with the Santa Fe County Land Development Code and Ordinance 2008-10 Flood Damage Prevention and Stormwater Management Ordinance. The request is for Final Development Plan approval to allow for a 3,140 square foot Fire station with a three bay apparatus bay and an administration area which include restrooms, office, classrooms and storage.

Terrain Management

The site has slopes less than 20% and slopes and all cut slopes are less than 2:1 and all fill slopes are 3:1. The request is in conformance of Article VII, Section 3.4.2

Storm Drainage and Erosion Control:

The Applicant's proposal shows a proposed Grading and Drainage Plan. The Development Plan proposal is required to provide a detention pond for onsite drainage. The proposed facility proposes to place a 1,067 cubic foot detention pond for onsite drainage. The amount of volume required is 982 cubic feet. After review of disturbed area and the grading and drainage plan, the request is in conformance of Article VII, Section 3.4.6 and Ordinance 2008-10 Flood Damage Prevention and Stormwater Management Ordinance.

Daniel "Danny" Mayfield
Commissioner, District 1

Miguel M. Chavez
Commissioner, District 2

Robert A. Anaya
Commissioner, District 3



Kathy Holian
Commissioner, District 4

Liz Stefanics
Commissioner, District 5

Katherine Miller
County Manager

MEMORANDUM

DATE: October 2, 2014

TO: Vicente Archuleta, Development Review Team Leader

FROM: Mathew Martinez, Development Review Specialist *MM*

VIA: Vicki Lucero, Building and Development Services Manager
Wayne Dalton, Building and Development Services Supervisor

FILE REF.: CASE # FDP 14-5390

REVIEW SUMMARY

ARCHITECTURAL, PARKING, LIGHTING, AND SIGNAGE:

The Referenced Project has been reviewed for compliance with the Santa Fe County Land Development Code. The request for Final Development Plan approval for Santa Fe County Fire Department Glorieta Fire Station No. 2. The subject property is a 3,140 square foot station with a three bay apparatus bay and an administration area which include restrooms, office, classrooms and storage.

PARKING:

The Applicant has proposed a total of 10 parking spaces plus an additional parking space for handicap use. All parking spaces shall be defined with striping, wheel stops, parking bumpers, or railroad ties. Staff has determined that the parking element of the Application complies with Article III, section 9 Parking Requirements.

ARCHITECTURAL:

The Applicant has submitted Building Elevations. The proposed building is 23' in height. Staff has determined that the Architectural element of the Application complies with Article III, Section 2.3.6b of the Land Development Code

NB-623



STATE OF NEW MEXICO
OFFICE OF THE STATE ENGINEER
SANTA FE

Scott A. Verhines, P.E.
State Engineer

September 30, 2014

CONCHA ORTIZ Y PINO BLDG.
POST OFFICE BOX 25102
130 SOUTH CAPITOL
SANTA FE, NEW MEXICO 87504-5102
(505) 827-6091
FAX: (505) 827-3806

Vicente Archuleta
Santa Fe County
102 Grant Avenue
Santa Fe, NM 87504

CERTIFIED MAIL
RETURN RECEIPT
REQUESTED

Reference: Glorieta Fire Station No. 2, Final Development Plan

Dear Mr. Archuleta:

On September 12, 2014 the Office of the State Engineer (OSE) received a request to provide comments for the *Glorieta Fire Station No. 2, Final Development Plan*. This Fire Station is an unmanned County Fire station, owned by Santa Fe County, and is approximately 3,140 square feet with a 3 bay apparatus bay and administration area including restrooms, office, classroom and storage. The property is located on Old Denver Highway.

The Development Plan does not include a disclosure statement, water supply documents, or water budget.

According to the proposal, there is currently no water onsite. The developer proposes to install a well. According to the proposal the developer intends to use rainwater collected in a partially buried insulated cistern for fire protection and use a small portion of this water for watering plants.

The development proposal was reviewed pursuant to the Santa Fe County Land Development Code (Code) and the New Mexico Subdivision Act (Act).

When a development proposal is received by the OSE, the developer's water demand analysis is reviewed to determine if it is technically correct and reasonable. The OSE also verifies that the appropriate conservation measures are reflected in the analysis. Further, data in the water demand analysis is compared with the data and statements included in the proposal to make sure that they are consistent with each other. General information regarding the development was provided, therefore the technical analysis was not performed.

NB-G24

Glorieta Fire Station No. 2
September 30, 2014
Page 2 of 2

Article VII, Section 6.1 of the Code allows the Santa Fe County Land Use staff to refer development plans to state agencies for review "*if, in the opinion of the County Hydrologist and the Code Administrator, such referrals will provide information necessary to the determination of whether or not a proposed development is in conformance with provisions of this Code*". The OSE recognizes the proactive actions on behalf of the County to solicit the technical opinion of the OSE on this development plan. However, because the proposed development is not formally covered under the New Mexico Subdivision Act, the OSE declines to provide an opinion at this time. We appreciate the opportunity to review the *Glorieta Fire Station No. 2*.

If you have any questions, please call Emily Geery at (505) 827-6664.

Sincerely,



Molly Magnuson, P.E.
Acting Bureau Chief

cc: OSE Water Rights Division, Santa Fe Office

NB-625



NEW MEXICO
ENVIRONMENT DEPARTMENT



SUSANA MARTINEZ
Governor
JOHN A. SANCHEZ
Lieutenant Governor

2540 Camino Edward Ortiz
Santa Fe, NM 87507
Phone (505) 827-1840 Fax (505) 827-1839
www.nmenv.state.nm.us

RYAN FLYNN
Cabinet Secretary
BUTCH TONGATE
Deputy Secretary

September 16, 2014

Vicente Archuleta
Development Review Team Leader
Santa Fe County
P.O. Box 276
Santa Fe, NM 87504-0276

RE: Glorieta Fire Station No. 2

Hello Mr. Archuleta:

On behalf of Bob Italiano in this office, I have reviewed the information you provided for the referenced project. My comments are strictly related to the proposed on-site liquid waste system (septic system) for the property.

The plans depict the septic system located east of the building, with both the parking lot and the retention pond in between (Sheets 3-34 and 4-34). One potential concern I have is that the proposed ± 100 lineal feet of 4" SAS service line will extend underneath the parking lot and through the pond. The 4" SAS service line is not traffic rated, and the vehicular traffic going into and out of the building may undermine the integrity of the service line. I would recommend that measures be taken to ensure the integrity of the service line as it will be transporting untreated sewage.

Also, the service line will extend through the retention pond. I would recommend that the line be re-routed, or either the septic system or pond be relocated.

Please contact me with any questions or if you need additional information.

Sincerely,

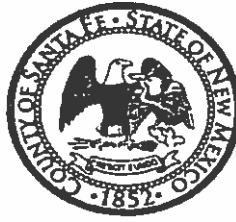
Bill Brown
New Mexico Environment Department
2540 Camino Edward Ortiz
Santa Fe, NM 87507
505-827-1840 office
505-221-9227 cell

NB-626

Daniel "Danny" Mayfield
Commissioner, District 1

Miguel M. Chavez
Commissioner, District 2

Robert A. Anaya
Commissioner, District 3



Kathy Holian
Commissioner, District 4

Liz Stefanics
Commissioner, District 5

Katherine Miller
County Manager

October 15, 2014

Mr. Vicente Archuleta
Development Review Team Leader
Santa Fe County Land Use Department
102 Grant Ave
Santa Fe, NM 87504

RE: CASE #DP 14-5390 Glorieta Fire Station No.2 Final Development Plan

Dear Vicente,

This letter is in response to your request for a review of Glorieta Fire Station No.2 for Final Development Plan dated September 5, 2014.

Please be aware that any statements made here refer solely to Glorieta Fire Station No.2 Final Development Plan, as you have described in your written inquiry and appurtenant documentation you submitted. If the parcel location or development concept is modified, or the current field conditions are modified in the future, this letter will be automatically invalidated, unless otherwise indicated in writing by Santa Fe County Utility Division (SFCUD).

Please note that in regards to water and sewer Santa Fe County does not have utility water/wastewater services available to accommodate this facility, and it is understood that this facility will be developed by establishing a new private well, and in regards to sewer the Glorieta Fire Station will be served by utilizing a septic system for the restrooms and serving area. For the apparatus bay an oil separator/sediment trap will be installed and plumbed to a holding tank that the fire department will be responsible for pumping as needed.

SFCUD will not be involved with the ownership, operation or maintenance of these systems, nor would the owners of these systems be customers of SFCUD.

Respectfully,

Paul Casaus
Utilities Engineering Associate
Santa Fe County Utilities Department

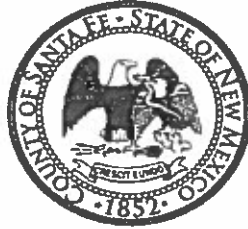
• Physical: 424 NM 599 Santa Fe, NM 87507 • Mailing: P.O. Box 276 Santa Fe, NM 87504 • Phone (505) 992-9870
• Fax (505) 992-3028 • www.santafecountynm.gov

NB-627

Harry B. Montoya
Commissioner, District 1

Virginia Vigil
Commissioner, District 2

Michael D. Anaya
Commissioner, District 3



Liz Stefanics
Commissioner, District 4

Kathy Holian
Commissioner, District 5

Roman Abeyta
County Manager

**PUBLIC WORKS DIVISION
MEMORANDUM**

Date: October 3, 2014

To: Vicente Archuleta, Development Review Team Leader

From: Paul Kavanaugh, Engineering Associate Public Works *R*
Johnny P. Baca, Traffic Manager Public Works *JP*

Re: CASE # DP 14-5390 Glorieta Fire Station No. 2 Final Development Plan

The referenced project has been reviewed for compliance of the Land Development Code, and shall conform to roads and driveway requirements of Article V (Subdivision Design Standards), Section 8.1 (General Policy on Roads), in which the roadway/driveway needs to conform. The project is located within the Traditional Community of Glorieta within the Santa Fe County Zoning Jurisdiction and is situated approximately south of State Road 50, east of County Road 63 B (Lower La Joya Road) and southeast of Leadivelle Lane and Old Denver Highway intersection. The applicant is requesting Final Development Plan Approval for an unmanned County Fire Station on a 1.52 acre tract.

Access:

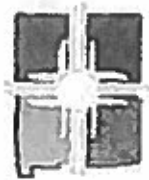
The applicant is proposing to construct a twenty four (24') foot access to the proposed firehouse. The proposed access is off the Old Denver Highway which is under the jurisdiction of the New Mexico Department of Transportation.

The *Institute of Transportation Engineers Trip Generation 9th Edition*, does not have a category for Fire Station, therefore, a Single Tenant Office Building (715) was used (3,140 sq.ft.) will generate an approximate Driveway Volume of 12 Average Daily trips for weekdays. Article III, Section 4.4.3.a. 9 Site Planning Standards and Driveway Access states: "Uses which generate more than one hundred (100) trips per day shall be required to submit an on-site circulation plan for approval and may be required to contribute to off-site improvements to mitigate the traffic hazards they create, such as, but not limited to traffic signals and acceleration or deceleration lanes".

Conclusion:

Public Works feels that the proposed project will not generate much traffic and will not impose a negative impact to Old Denver Highway. Staff feels that they can support the above mentioned project for a Final Development Plan with the following conditions;

- Applicant must obtain an Access Permit from New Mexico Department of Transportation (NMDOT) to provide access for proposed development
- The applicant shall utilize roll-over curb from edge of Right-of-Way through the Radiuses, to minimize interference with Snow Plows on Old Denver Highway.



New Mexico DEPARTMENT OF
TRANSPORTATION

October 17, 2014

Mr. Vicente Archuleta
Development Review Team Leader
102 Grant Avenue
Santa Fe, NM 87501

Re: CRDC Case # DP 14-5390 Glorieta Fire Station No. 2 Development Plan

Dear Mr. Archuleta:

Traffic staff reviewed the Development Plan Report for the above referenced project in Santa Fe County, NM. The fire station will have minimal traffic impacts to the state highways. No further analysis is needed for this development.

If you have any questions, please feel free to call me at 505-995-7800.

Sincerely,

Javier A. Martinez, P.E.
District 5 Traffic Engineer

Susana Martinez
Governor

Tom Church
Cabinet Secretary

Commissioners

Pete K. Rahn
Chairman
District 3

Ronald Schmeits
Vice Chairman
District 4

Dr. Kenneth White
Secretary
District 1

David Sepich
Commissioner
District 2

Butch Mathews
Commissioner
District 5

Jackson Gibson
Commissioner
District 6

TRAIL CROSSING

LOWER LA JOYA RD

LEADVILLE LN

OLD DENVER HWY

INTERSTATE 25

INTERSTATE 25

EXHIBIT
4
NB-630