

Henry P. Roybal
Commissioner, District 1

Miguel M. Chavez
Commissioner, District 2

Robert A. Anaya
Commissioner, District 3



Kathy Holian
Commissioner, District 4

Liz Stefanics
Commissioner, District 5

Katherine Miller
County Manager

DATE: May 21, 2015

TO: County Development Review Committee

FROM: Jose E. Larrañaga, Development Review Team Leader *JEL*

VIA: Penny Ellis-Green, Growth Management Director *PEG*
Vicki Lucero, Building and Development Services Manager *VL*
Wayne Dalton, Building and Development Services Supervisor *WD*

FILE REF.: CDRC CASE # DP 15-5090 The Legacy at Santa Fe

ISSUE:

PinPoint Equities, LLC, Applicant, JenkinsGavin, Agents, request Preliminary and Final Development Plan approval for an Assisted Living Facility on 6.78 ± acres within Phase I-A of Aldea de Santa Fe. The 66,476 square foot facility will contain 84 beds and will be constructed 33' 10" in height. The property is located at 34 Avenida Frijoles, North of 599, within Section 20, Township 17 North, Range 9 East, (Commission District 2).

Vicinity Map:



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SUMMARY:

The Applicant is requesting Preliminary and Final Development Plan approval for an assisted living facility in conformance with the Aldea de Santa Fe Amended Master Plan and Santa Fe County Ordinance No. 1996-10, the Land Development Code (Code). The Amended Master Plan was approved on February 2005, by the Extraterritorial Zoning Authority. The 6.78 ± acre site is recognized as an Institutional Use in the Amended Master Plan. The uses allowed, as per the Amended Master Plan, for an Institutional Use are: Educational Institutions; Civic and Religious Organizations. This includes: Museums, School Buildings, School Campuses, Churches, Retirement Homes, Botanical Gardens, and Accessory Uses and Structures.

Article III, § 6.1 (Location) states, “large scale residential uses include multi-family residential uses, institutional-residential uses and resort uses and are allowed anywhere in the County provided the requirements of the Code are met.”

Article III, § 6.2.2, provides:

Institutional-residential uses include the following having five (5) or more units intended to be used for overnight occupancy:

- 6.2.2a hospitals
- 6.2.2b universities
- 6.2.2c boarding schools
- 6.2.2d facilities owned or used by any governmental entity
- 6.2.2e nursing and rest homes
- 6.2.2f retirement homes
- 6.2.2g facilities owned or used by religious organizations

The assisted living facility will be a two-story building, 33 feet and 10 inches in height. The 66,476 square-foot facility will contain 84 beds. The structure is designed in a simplified Territorial style with two interior open courtyards. The development will utilize water from the Santa Fe County Utility. The development will utilize the Santa Fe County Utility liquid waste system. The primary access to the site will be Avenida Frijoles, with secondary access off Avenida Aldea at the northeast portion of the site.

Article V, § 7.1 (Preliminary Development Plans), subsection 7.1.3 (Review) states, “a preliminary development plan may be only a phase or portion of the area covered by an approved master plan, so long as the preliminary development plan substantially conforms to the approved master plan.”

Article V, § 7.2 (Final Development Plan), subsection 7.2.2 (Review) states:

The final development plan shall be submitted to the County Development Review Committee accompanied by a staff report. The County Development Review Committee shall review the plan and make a determination as to its compliance with the County General Plan and Code. The County Development Review Committee

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may recommend changes or additions to the plan as conditions of its approval. The final development plan as approved by the County Development Review Committee shall be filed with the County Clerk. The approved final development plan becomes the basis of development permits and for acceptance of public dedications. Any changes in the plan must be approved by the County Development Review Committee.

Article III, § 6.3.4 (Maximum Height) as amended by Santa Fe County Ordinance No. 2002-6 states:

Structures shall be limited to a maximum height of thirty- six (36') feet from any point on the upper surface of a building or structure to the natural grade or finished cut grade; whichever is lower, directly below that point. The vertical depth of fill materials from the natural grade, with or without retaining walls, shall be considered as a component of the building or structure; this depth shall be included in determination of building height. Chimneys may extend three feet (3') beyond the height limitation.

The owner of the property acquired the property by warranty deed recorded as Instrument # 1823644 in the Santa Fe County Clerk's records dated November 3, 2000. JenkinsGavin is authorized by the property owner and the developer to pursue the request for preliminary and final development plan approval for an assisted living facility in conformance with the Aldea de Santa Fe Amended Master Plan on a 6.78 acre \pm site, as evidenced by a copy of the written authorization contained in the record (Exhibit 13).

Notice requirements were met as per Article II § 2.4.2, of the Code. In advance of a hearing on the Application, the Applicant provided a certification of posting of notice of the hearing, confirming that public notice posting regarding the Application was made for twenty-one days on the property, beginning on April 30, 2015. Additionally, notice of hearing was published in the legal notice section of the Santa Fe New Mexican on April 30, 2015, as evidenced by a copy of that legal notice contained in the record. Receipts for certified mailing of notices of the hearing were also contained in the record for all adjacent property owners (Exhibit 14).

This Application was submitted on March 13, 2015.

Building and Development Services staff has reviewed this project for compliance with pertinent Code requirements and have found that the facts presented support this request: Institutional Use conforms with approved uses under the Amended Master Plan; the proposed use conforms with the Large Scale Residential Institutional Uses under the Code; the height of the structure meets the Code requirements for a Large Scale Residential Use; the Preliminary Development Plan conforms to the approved Amended Master Plan; the Final Development Plan conforms to the Code requirements for this type of use; the Application satisfies the submittal requirements of the Code.

The review comments from State agencies and County staff establish findings that the Application is in compliance with state requirements, Article III, § 6 Large Scale Residential

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Uses, Article V, § 7.1 Preliminary Development Plan, and Article V, § 7.2 Final Development Plan of the Code.

APPROVAL SOUGHT: Preliminary and Final Development Plan approval for an assisted living facility in conformance with the Aldea de Santa Fe Amended Master Plan and Santa Fe County Ordinance 1996-10 (Code).

GROWTH MANAGEMENT AREA: SDA-2

ARCHAEOLOGIC: An Archeological Survey was conducted for Frijoles Village (Aldea) in 1997. The New Mexico Historic Preservation Division reviewed the Application and stated the following: "a review of our archaeological records shows that archeological surveys have been conducted in the proposed project area. Although archeological sites were identified in the area, they were excavated prior to development of NM 599. Based on this information, the proposed project will not have an effect on archeological sites or other historic properties."

ACCESS AND TRAFFIC: The primary access to the project is via Avenida Frijoles. Avenida Frijoles is a privately maintained, paved, two-lane road with two eleven-foot driving lanes, a center stripe, and without shoulders or bar ditches. A secondary access is proposed via Avenida Aldea. A Traffic Impact Analysis (TIA) was submitted for the development. The study assessed the traffic impacts the proposed project may have on road systems within the area and identified that the traffic volumes do not meet NMDOT SMM criteria for right or left turn deceleration lanes. Other than the access to the site no other improvements are proposed to the roadways.

Santa Fe County Public Works Department has reviewed the submittal and TIA and supports the Application.

New Mexico Department of Transportation (NMDOT) reviewed the Application and TIA. NMDOT determined that this development will not impact the State Transportation System.

FIRE PROTECTION: Agua Fria Fire District: Santa Fe County will provide the water source for fire protection. Santa Fe County Fire Prevention Division reviewed the Application and stated the following:

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- Fire hydrants shall be located no further than 10 feet from the edge of the approved access roads;
- Automatic fire prevention sprinkler systems shall be required;
- The system shall comply with Article 1, § 103.3.2-New Construction and Alterations of the 1997 Uniform Fire Code, inclusive to all sub-sections and current standards, practice and rulings of the Santa Fe County Fire Marshal.

The Applicant proposes a new hydrant be installed north of the building which will be served by a dedicated 6 inch fire line. A second hydrant will be installed on the south side of the building and will be served by a dedicated 8 inch fire line. The building will be equipped with automatic fire suppression.

WATER SUPPLY:

The subject property is currently served by the County Water Utility via an existing water meter at the north end of the site. This meter will be relocated to the east property boundary, connecting to the existing 8-inch County water main in Avenida Aldea. The proposed Project Water Budget is 10.08 acre feet per year. The data source for this budget is City of Santa Fe Resolution 2009-116, which updated the City's "Water Use in Santa Fe" report. The Applicant shall submit documentation from the City of Santa Fe, identifying the water allocation granted for this site by the City prior to the recordation of the Final Development Plan.

The proposed development has a previously approved installed meter/water service account and is current with the Santa Fe County Utility Division. The Santa Fe County Utility Division states that the water availability request for this development is complete.

The Office of the State Engineer (OSE) reviewed the Application and stated that the development is not formally covered under the New Mexico Subdivision Act and the OSE declines to provide an opinion at this time.

LIQUID WASTE:

The project has access to the County Waste Water Utility. The Santa Fe County Utility Division requires that an account be established and fees be paid to the County Utility for connection to the waste water system. An inspection of the sewer connection by County Utilities is required.

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New Mexico Environment Department reviewed the Application and had no comment.

SOLID WASTE:

The development will have a dumpster located on the north side of the building that will be screened and gated. Weekly collection of waste will be contracted with a local waste collection company.

**FLOODPLAIN &
TERRAIN MANAGEMENT:**

The Terrain Management Plan for The Legacy of Santa Fe has been reviewed for compliance with the Code. The buildable site contains slopes less than 30% and the 6.78 acre parcel contains minimal 30% + slopes in other locations. The initial Application included a variance request to disturb 30% slope. After staff's review of a slope analysis with 5' contours as required by the Code (Article VII, Section 3.2.1.a.3), submitted by the Applicant's agent, staff has determined that no disturbance would occur on 30% slopes or greater and a variance request was not necessary.

The site is not located within a 100 year FEMA Special Flood Hazard Area. The project proposes a central ponding location for the proposed development and will capture 20,393 cubic feet of storm runoff. The Application has shown pre and post construction drainage calculations (20,200 cf). The project complies with the Code and Ordinance No. 2008-10, Flood Damage Prevention and Stormwater Management Ordinance.

SIGNAGE AND LIGHTING:

The Applicant has submitted a signage plan illustrating two monument signs at the entrances of the Development. As per Article VIII, Section 7.13 the sign area shall not exceed 20 square feet in size. The proposed signs are less than 20 square feet in sign area. Staff has determined that the signage element of this Application complies with Article VIII, Section 7.13 (Sign Regulations).

The Applicant has submitted a lighting plan illustrating pole mounted lights along the driveways and in the parking areas, the height of lights are not addressed by the Applicant, pathway bollards, building mounted scones and decorative pendant lights beneath the portals. All pole mounted lighting shall not exceed 24 feet in height. All lighting shall be shielded. Staff has determined that the lighting element, as submitted by the Applicant, meets the requirements set forth within Article III, Section 4.4.4 h.

EXISTING DEVELOPMENT:

The project site is currently vacant.

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ADJACENT PROPERTY:

The site is bordered to the west by Avenida Frijoles and residential lots; to the north by Camino Botanica and residential lots; to the east by Avenida Aldea, open space, and Institutional Use; and to the south by open space and N.M. Hwy. 599.

AGENCY REVIEW:

<u>Agency</u>	<u>Recommendation</u>
County Fire	Approval with Conditions
County Utilities	Approval
NMDOT	Approval
Public Works	Approval
OSE	No Opinion
SHPO	Approval
NMED	No Comment

STAFF RECOMMENDATION:

Approval of Preliminary and Final Development Plan to allow an assisted living facility on 6.78 ± acres subject to the following staff conditions:

1. The Applicant shall comply with all review agency comments and conditions.
2. Final Development Plan with required signatures, shall be recorded with the County Clerk as per **Article V, § 7.2.**
3. The Applicant shall submit a financial guarantee, in sufficient amount to assure completion of all required improvements prior to Final Development Plan recordation, as per **Article V, § 9.9.**
4. Automatic Fire Protection Sprinkler system shall be required as per Uniform Fire Code, **Article 10 Section 1003.2.**

EXHIBITS:

1. Applicant Preliminary/Final Development Plan Report
2. Proposed Plans
3. Reviewing Agency Responses
4. Aerial Photo of Site
5. Article V, § 7.1.3.a (Preliminary Development Plans)
6. Article V, § 7.2.2 (Final Development Plan)
7. Article III, § 6.1 (Location)
8. Article III, § 6.2.2
9. Article III, § 6.3.4 (Maximum Height)

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10. Amended Master Plan
11. Warranty Deed and Letter of Authorization
12. Legal Notice

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jenkinsgavin
DESIGN & DEVELOPMENT INC

March 13, 2015

Jose Larrañaga, Commercial Development Case Manager
Santa Fe County Development Services
102 Grant Avenue
Santa Fe, NM 87501

**RE: The Legacy at Santa Fe Assisted Living Facility
Preliminary/Final Development Plan Application**

Dear Jose:

This letter is respectfully submitted on behalf of PinPoint Equities, LLC in application for Preliminary/Final Development Plan approval for an Assisted Living Facility on Lot 237 in Phase 1A of Aldea de Santa Fe (the "Project"), for consideration by the CDRC at their meeting of May 21, 2015. The 6.78-acre subject property is located at 34 Avenida Frijoles, north of the 599 Frontage Road.

Background & Project Summary

The Aldea de Santa Fe Amended Master Plan was recorded on July 29, 2005, which classifies the subject parcel as "Institutional." The Permitted Uses identified in the Master Plan are as follows:

Educational Institutions and Civic and Religious Organizations, including Museums, School Buildings, School Campuses, Churches, Retirement Housing, Botanical Gardens, and Accessory Uses and Structures.

A ±84-bed senior assisted living facility is proposed for the subject property. The two story building comprises 66,476 square feet and is designed in a simplified Territorial style. Please refer to the attached building rendering for further details. Two interior landscaped courtyards provide outdoor recreational space for residents. The facility is anticipated to employ approximately 50 people.

Access & Traffic

Primary access to the Project will be via Avenida Frijoles, with a secondary access off Avenida Aldea at the northeast part of the site. A Traffic Impact Study was prepared by Bohannon Huston and is submitted with this application for your review. The Study found that there are very low existing peak hour traffic volumes on Avenida Frijoles and Avenida Aldea.



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Furthermore, the Project will generate very low traffic in the peak hours. Therefore, the forecasted traffic volumes do not meet NMDOT criteria for right or left turn deceleration lanes.

Parking

Article III, Section 9 of the Land Development Code does not include “assisted living” or “senior housing” among its list of uses. Therefore, we have developed a parking plan consistent with the Project’s actual parking demand. A total of 48 parking spaces will be provided, as follows:

- 20 employee spaces. This will accommodate the maximum number of employees who will be on-site at any given time.
- 28 spaces for visitors.

The applicant operates several other assisted living facilities nationwide and this parking budget is based on the “real world” needs of similar projects.

Water Supply Plan, Fire Protection Plan & Water Budget

The subject property is currently served by the County Water Utility via an existing water meter at the north end of the site (see attached water bill). This meter will be relocated to the east property boundary, connecting to the existing 8-inch County water main in Avenida Aldea. A new hydrant will be installed north of the building served by a dedicated 6-inch fire line and a second hydrant will be installed on the south side of the building served by a dedicated 8-inch fire line. In addition, the building will be equipped with automatic fire suppression. Please refer to the attached Site Utility Plans for further details.

The Project Water Budget is 10.08 acre feet per year, as described below:

<i>Use</i>	<i>AFY/Unit</i>	<i>Unit Count</i>	<i>Total AFY</i>
Senior Complex	0.12	84	10.08

The data source for this budget is City of Santa Fe Resolution 2009-116, which updated the City’s “Water Use in Santa Fe” report.

Liquid Waste Disposal

The Project will be served by Santa Fe County Utilities per the attached email from Robert George in the County Utilities Division. Wastewater from the site will gravity flow to an existing manhole in Avenida Frijoles near the southwest property corner. From there, effluent will gravity flow to Aldea Lift Station #2. Please refer to the attached Site Utility Plans for further information.

Terrain Management

The site slopes gently from north to south. In order to minimize the building’s visual impact on

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neighboring properties, the building will be tucked into the slope with a finished floor elevation of 6,708.5'. Consequently, the building will be an average of 17 feet below the adjacent grade of Camino Botanica and 12 feet below Avenida Frijoles.

Storm water runoff from the Project will be conveyed via a series of pipes to a centralized ponding area in the southwest portion of the site. The overflow outlet for the pond releases into an existing, localized drainage east of the site. In addition, rock lined swales will be installed in the cut slope in order to control erosion. The pond, cut slopes, and fill slopes will be reseeded and landscaped in accordance with County requirements. Two terraced retaining walls are proposed along the southeast corner of the site, which will be screened with vegetation. The construction of the lower retaining wall will necessitate some off-site ground disturbance in the open space south of the property, which will be reclaimed with landscaping. Attached for your review is the draft temporary construction easement from Aldea LLC permitting this disturbance. Please refer to the Terrain Management Plans for further information.

Landscaping

Proposed landscaping includes a combination of native, drought tolerant grasses, groundcovers, shrubs, evergreens, and deciduous trees. All disturbed areas will be reseeded with a native grass seed mix. Please refer to the Landscape Plans for further details.

Water Harvesting & Irrigation

In accordance with County Ordinance 2003-6, storm water from the roof will be actively harvested in a 14,000-gallon below-ground cistern connected to the irrigation system, which is located on the southwest side of the building as depicted on Sheet L201. The 14,000 gallons of storage will accommodate the peak monthly irrigation demand of 13,000 gallons per the attached Landscape Water Budget.

Open Space & Trails

The Project includes the preservation of significant open space totaling 4.88 acres or 72.0% of the site.

Archaeology

An archaeological survey was performed as part of the Aldea master planning and platting process. There are no archaeological sites identified on the subject parcel.

Solid Waste

A dumpster will be located on the north side of the building and will be screened and gated. Weekly collection will be contracted with a local waste collection company.

Lighting & Signage

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As depicted in the attached Lighting & Signage Plan, site lighting includes pole mounted lights along the driveway and parking areas; pathway bollards; emergency wall packs; building mounted decorative sconces; and decorative pendant lights beneath the portals. All lights will be shielded and full cut-off in accordance with County requirements. One monument sign is proposed at each entrance, a detail of which is Lighting & Signage Plan.

Environmental Performance Standards

The Project will comply with all County codes as they pertain to environmental performance standards. Furthermore, environmental protection is accomplished through (1) the preservation of open space; (2) active water harvesting for irrigation purposes; and (3) night sky protection.

In support of this request, the following documentation is included herewith for your review:

- Development Permit Application
- Warranty Deed & Letters of Authorization
- Legal Lot of Record
- Proof of Property Taxes Paid
- Aldea Amended Master Plan
- County Water Bill
- Water/Sewer Availability Application
- Sewer Service Email
- Assigned Address Form
- Temporary Construction Easement
- Traffic Impact Study – 3 copies
- Development Plan Submittal Drawings – 9 full size & one reduced set

Finally, included herewith is a check in the amount of \$1,925.00 for the application fees, calculated as follows:

Application Fee	100.00
Initial Inspection	150.00
Final Inspection	150.00
2 Notice Boards	50.00
Development Plan Review	750.00
Variance	150.00
Traffic Impact Analysis	500.00
Fire Review	50.00
<u>Fire Inspection</u>	<u>25.00</u>
 Total	 \$1,925.00

Please do not hesitate to contact us should you have any questions or need additional

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information.

Thank you for your consideration.

Sincerely,



Jennifer Jenkins

JenkinsGavin Design & Development, Inc.



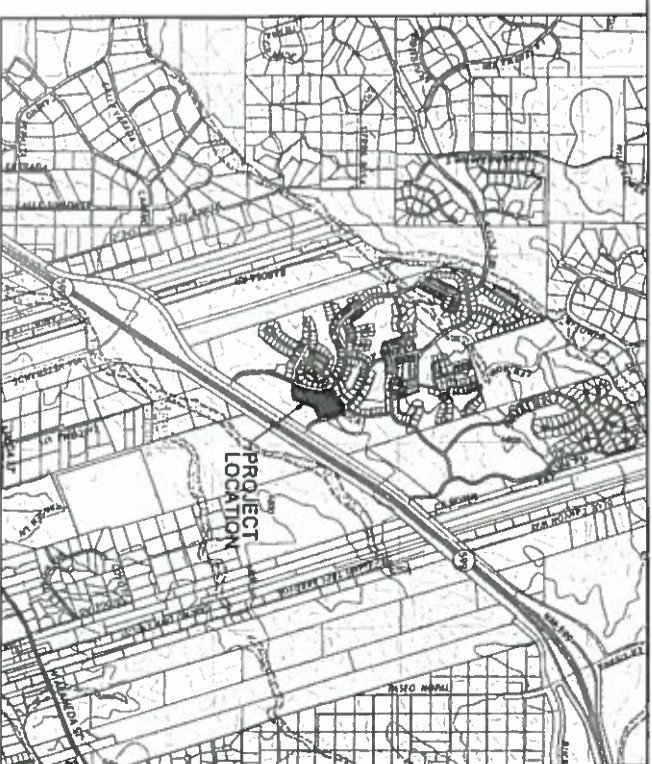
Colleen C. Gavin, AIA

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THE LEGACY AT SANTA FE ASSISTED LIVING FACILITY

34 AVENIDA FRIJOLAS S20 T17N R9E LOT 237, ALDEA DE SANTA FE PRELIMINARY/FINAL DEVELOPMENT PLAN

SANTA FE COUNTY, NEW MEXICO
MARCH 13, 2015



VICINITY MAP
SCALE: 1"=150'

DEDICATION AND AFFIDAVIT

KNOW ALL PERSONS BY THESE PRESENT THAT THE UNDERSIGNED OWNERS HAVE CAUSED THIS FINAL DEVELOPMENT PLAN TO BE PREPARED. ALL THAT APPEARS ON THIS PLAN IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS. THIS DEVELOPMENT LIES WITHIN THE PLANNING JURISDICTION OF THE COUNTY OF SANTA FE, NEW MEXICO.

OWNERS,

THE FOREGOING WAS SWORN, ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY

THIS _____ DAY OF _____, 2015

NOTARY PUBLIC _____

MY COMMISSION EXPIRES ON _____

APPROVALS

COUNTY DEVELOPMENT PERMIT NUMBER _____

APPROVED BY _____ COUNTY LAND USE ADMINISTRATOR _____ DATE _____

APPROVED BY _____ COUNTY FIRE MARSHALL _____ DATE _____

APPROVED BY _____ COUNTY PUBLIC WORKS DIRECTOR _____ DATE _____

APPROVED BY _____ SANTA FE COUNTY WATER/WASTEWATER OPERATIONS _____ DATE _____

OWNER: PINPOINT EQUITIES, LLC _____ DATE _____

DRAWING INDEX

SHEET NUMBER	DESCRIPTION
1	COVER SHEET/DRAWING INDEX
2	PRELIMINARY/FINAL DEVELOPMENT PLAN
3	EXISTING CONDITIONS - BOUNDARY/TOPOGRAPHY/SLOPE ANALYSIS
L101	LANDSCAPE PLAN
L102	LANDSCAPE NOTES/DETAILS
L103	COURTYARDS LANDSCAPE PLAN
L201	IRRIGATION/WATER HARVESTING PLAN
L202	COURTYARDS IRRIGATION PLAN
L203	IRRIGATION/WATER HARVESTING NOTES & DETAILS
A101	LIGHTING & SIGNAGE PLAN
A102	CONCEPTUAL FIRST FLOOR PLAN
A103	CONCEPTUAL SECOND FLOOR PLAN
A104	EXISTING CONDITIONS BUILDING ELEVATIONS
C101	PROPOSED CONDITIONS DRAINAGE MANAGEMENT PLAN
C102	OVERALL TERRAIN MANAGEMENT PLAN
C103	TERRAIN MANAGEMENT PLAN
C104	TERRAIN MANAGEMENT PLAN
C105	TERRAIN MANAGEMENT PLAN
C106	TERRAIN MANAGEMENT PLAN
C107	TERRAIN MANAGEMENT PLAN
C108	SITE UTILITY PLAN
C109	EROSION CONTROL PLAN
C110	CIVIL DETAILS

OWNER/DEVELOPER



PINPOINT COMMERCIAL
6715 BERINO DRIVE, SUITE 550
HOUSTON, TX 77057

ENGINEERING CONSULTANTS

Bohannon & Huston
www.bhinc.com
7500 Jefferson St., NE Albuquerque, NM 87109
800.877.5332

PLANNING CONSULTANTS



JENKINS & GAVIN
DESIGN & DEVELOPMENT, INC.
130 Grant Avenue, Suite 101
Santa Fe, New Mexico 87501

ARCHITECTS

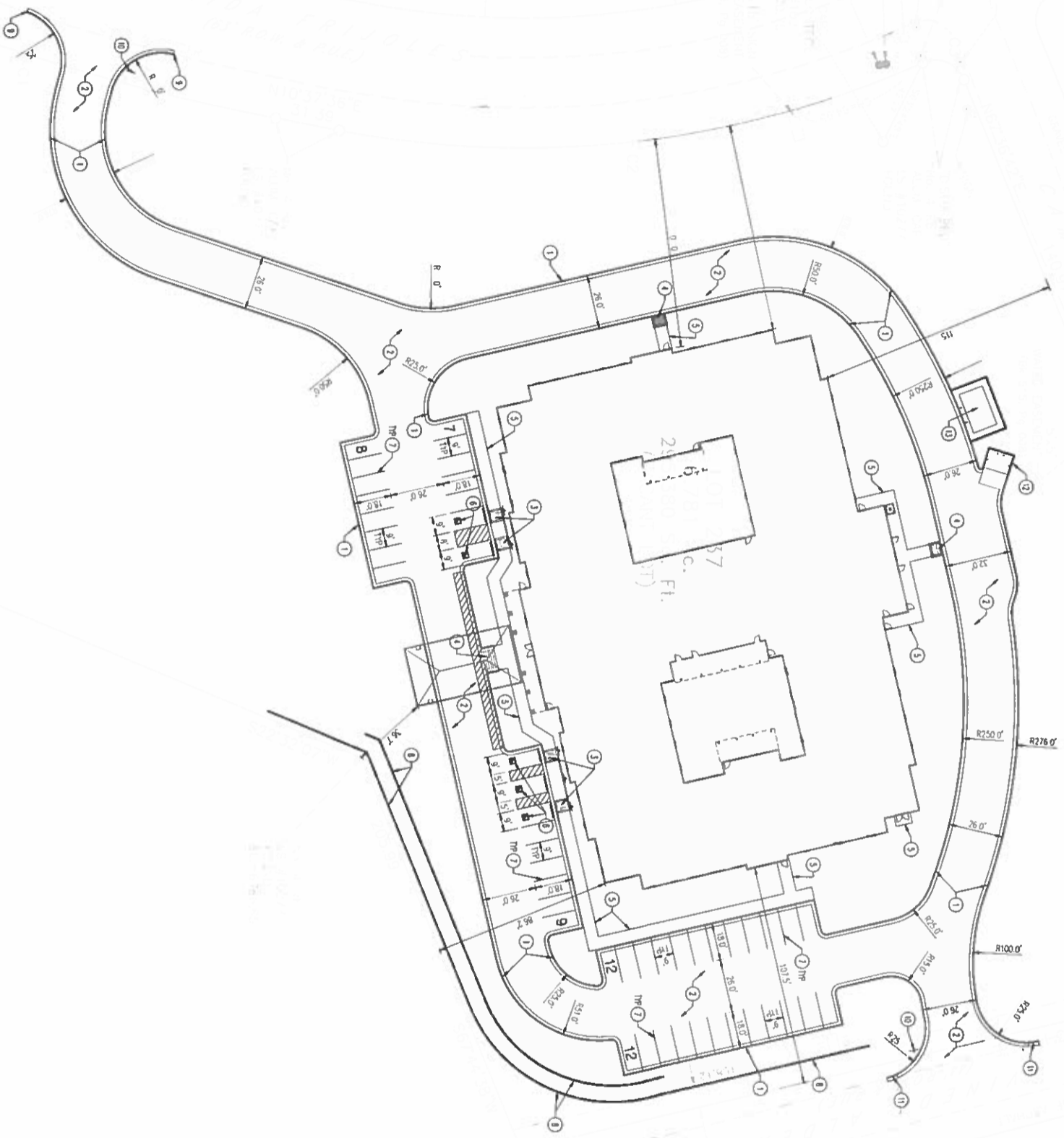
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KEYED NOTES

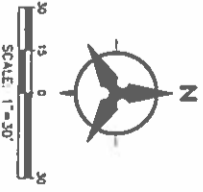
1. CONSTRUCT CONCRETE CURB & GUTTER PER 1/C110.
2. INSTALL ASPHALT PAVEMENT PER 3/C110.
3. CONSTRUCT CONCRETE CURB RAMP PER 3/C110.
4. CONSTRUCT CONCRETE CURB RAMP PER 3/C110.
5. CONSTRUCT CONCRETE SIDEWALK PER 2/C110.
6. ACCESSIBLE PARKING. SEE DETAILS 5/C111 & 6/C110.
7. PAINT 4" WIDE SOLID WHITE STRIPE.
8. RETAINING WALL. SEE STRUCTURAL PLANS FOR DETAILS.
9. MATCH EXISTING CURB & GUTTER HORIZONTALLY & VERTICALLY.
10. INSTALL POST MOUNTED STOP SIGN. SEE SIGN FACE DETAIL 4/C110.
11. CONSTRUCT 5" TRANSITION FROM 5" CURB TO FLUSH CURB.
12. CONSTRUCT REFUSE ENCLOSURE PER 7/C110 & 8/C110.
13. UTILITY PAD.

LEGEND

- PROPERTY LINE
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED RETAINING WALL

SITE INFORMATION

ITE LOCATION: 34 AVONDA TRUCK / LOT 237, ALDEA DE SANTA FE, PHASE 1A
LAND AREA: 6.78 ACRES (283,134 SF)
ZONING: "RESIDENTIAL" PER THE ALDEA DE SANTA FE AMENDED MASTER PLAN, RECORDED JULY 29, 2005
BUILDING FOOTPRINT: 36,464 SF
LOT COVERAGE: 12.55%
GROSS FLOOR AREA: 66,076 SF (70,000 SF MAXIMUM)
MAXIMUM ALLOWABLE BUILDING HEIGHT: 36 FEET
OPEN SPACE: 4.88 ACRES/77.0%
PARKING PROVIDED: 20 STAFF SPACES
 28 VISITOR SPACES
 TOTAL: 48 SPACES



Bohannon **Huston**
 www.bhnhc.com 800.877.5332

THE LEGACY AT SANTA FE
ASSISTED LIVING FACILITY

PRELIMINARY/FINAL DEVELOPMENT PLAN

BN PROJECT NO. 20150299
 SHEET NO. 2

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BENCH MARKS		AS-BUILT INFORMATION		ENGINEER'S SEAL	
		CONTRACTOR	DATE	<div style="border: 1px solid black; width: 100%; height: 100%;"></div>	
		WORK STARTED BY	DATE		
		INSPECTOR'S ACCEPTANCE BY	DATE		
		FIELD VERIFICATION BY	DATE		
		DRAWINGS CORRECTED BY	DATE		
NO.	DATE	REMARKS	BY		
DESIGN REVISIONS					
DESIGN					
DESIGNED BY	GSB	DATE	3/2015		
DRAWN BY	BO	DATE	3/2015		
CHECKED BY	GSB	DATE	3/2015		

ELEVATION DATUM NOTE:

THE ELEVATIONS, AS SHOWN HEREON, ARE BASED ON AN AERIAL TOPOGRAPHIC MAP PREPARED BY TOM R. MANN & ASSOCIATES, DATED SEPTEMBER 7th, 2003, BASED ON THE GROUND CONTROL POINTS ESTABLISHED AND ESTABLISHED BY BRIAN K. MCCLINTOCK, N.M.P.S. No. 11597.

NOTE: THIS IS NOT A BOUNDARY SURVEY. APPARENT SURVEY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY DATA SHOWN IS BASED ON THE PREVIOUS SURVEY REFERENCED HEREON.

REFERENCE DOCUMENTS:

1. PLAT OF SURVEY ENTITLED: "ARROYO ALDEA DE SANTA FE PHASE 1A AND MASTER PLAT TRACTS 1 & 2" BY RICHARD A. MORRIS, N.M.P.S. No. 10277, FILED IN THE SANTA FE COUNTY CLERK'S OFFICE ON JULY 5th, 2001, IN PLAT BOOK 478, PAGES 13-16.
2. PLAT OF SURVEY ENTITLED: "ALDEA DE SANTA FE PHASE 1A AND MASTER PLAT TRACTS 1 & 2," BY RICHARD E. SMITH, N.M.P.S. No. 10827, FILED IN THE SANTA FE COUNTY CLERK'S OFFICE ON AUGUST 20th, 2000 IN PLAT BOOK 459, PAGES 07-18. (BASIS OF BEARINGS TAKEN FROM THIS PLAT)
3. PLAT OF SURVEY ENTITLED: "BOUNDARY SURVEY OF LOT 237, PHASE 1A, ALDEA DE SANTA FE, SANTA FE COUNTY, NEW MEXICO," PREPARED BY RICHARD A. MORRIS, No. 10277, FILED IN THE SANTA FE COUNTY CLERK'S OFFICE ON OCTOBER 17th, 2002, IN PLAT BOOK 515, PAGE 008.
4. PLAT OF SURVEY ENTITLED: "BOUNDARY SURVEY LOT 136, ALDEA DE SANTA FE, PHASE 1A," PREPARED BY BRIAN K. MCCLINTOCK, N.M.P.S. No. 11597, DATED AUGUST 17th, 2007 AND FILED IN THE OFFICE OF THE COUNTY CLERK.
5. TOPOGRAPHIC SURVEY ENTITLED: "TOPOGRAPHIC SITE PLAN, PREPARED FOR ALDEA DE SANTA FE, LLC, BEING LOT 237 OF THE INSTITUTIONAL LOT 20, 17th, 18th, 19th, 20th, 21st, 22nd, 23rd, 24th, 25th, 26th, 27th, 28th, 29th, 30th, 31st, 32nd, 33rd, 34th, 35th, 36th, 37th, 38th, 39th, 40th, 41st, 42nd, 43rd, 44th, 45th, 46th, 47th, 48th, 49th, 50th, 51st, 52nd, 53rd, 54th, 55th, 56th, 57th, 58th, 59th, 60th, 61st, 62nd, 63rd, 64th, 65th, 66th, 67th, 68th, 69th, 70th, 71st, 72nd, 73rd, 74th, 75th, 76th, 77th, 78th, 79th, 80th, 81st, 82nd, 83rd, 84th, 85th, 86th, 87th, 88th, 89th, 90th, 91st, 92nd, 93rd, 94th, 95th, 96th, 97th, 98th, 99th, 100th, 101st, 102nd, 103rd, 104th, 105th, 106th, 107th, 108th, 109th, 110th, 111th, 112th, 113th, 114th, 115th, 116th, 117th, 118th, 119th, 120th, 121st, 122nd, 123rd, 124th, 125th, 126th, 127th, 128th, 129th, 130th, 131st, 132nd, 133rd, 134th, 135th, 136th, 137th, 138th, 139th, 140th, 141st, 142nd, 143rd, 144th, 145th, 146th, 147th, 148th, 149th, 150th, 151st, 152nd, 153rd, 154th, 155th, 156th, 157th, 158th, 159th, 160th, 161st, 162nd, 163rd, 164th, 165th, 166th, 167th, 168th, 169th, 170th, 171st, 172nd, 173rd, 174th, 175th, 176th, 177th, 178th, 179th, 180th, 181st, 182nd, 183rd, 184th, 185th, 186th, 187th, 188th, 189th, 190th, 191st, 192nd, 193rd, 194th, 195th, 196th, 197th, 198th, 199th, 200th, 201st, 202nd, 203rd, 204th, 205th, 206th, 207th, 208th, 209th, 210th, 211st, 212nd, 213th, 214th, 215th, 216th, 217th, 218th, 219th, 220th, 221st, 222nd, 223rd, 224th, 225th, 226th, 227th, 228th, 229th, 230th, 231st, 232nd, 233rd, 234th, 235th, 236th, 237th, 238th, 239th, 240th, 241st, 242nd, 243rd, 244th, 245th, 246th, 247th, 248th, 249th, 250th, 251st, 252nd, 253rd, 254th, 255th, 256th, 257th, 258th, 259th, 260th, 261st, 262nd, 263rd, 264th, 265th, 266th, 267th, 268th, 269th, 270th, 271st, 272nd, 273rd, 274th, 275th, 276th, 277th, 278th, 279th, 280th, 281st, 282nd, 283rd, 284th, 285th, 286th, 287th, 288th, 289th, 290th, 291st, 292nd, 293rd, 294th, 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CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	BEARING	DISTANCE
C1	233.67	1028.25	14.08 05°	N17°41.38'E	233.02
C2	289.32	478.25	34.39 39°	N06°42.14'W	284.92
C3	23.99	15.00	91.38 48°	N21°47.21'E	21.52
C4	73.21	164.25	25.32 22°	N54°50.32'E	72.51
C5	23.58	15.00	92.00 00°	S87°04.21'W	21.21
C6	164.83	284.00	33.35 13°	N31°18.03'W	162.53

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS MAP IS AN ACCURATE REPRESENTATION OF THE SURVEYED SITE, POSITIONED, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS MAP MEETS THE NATIONAL MAP ACCURACY STANDARDS.

Brian K. McClintock 11/11/2014
 BRIAN K. MCCLINTOCK N.M.P.S. No. 11597 DATE



BLUELINE CONSTRUCTION
 (SURVEY DEPARTMENT)
 20 REATA ROAD
 SANTA FE, NEW MEXICO
 505-216-7909

Slopes Table

Number	Minimum Slope	Maximum Slope	Color
1	0.00%	15.00%	Light Blue
2	15.00%	30.00%	Medium Blue
3	30.00%	196.43%	Dark Blue

LEGEND:
 ○ = PROPERTY CORNERS (AS NOTED)
 LP = LIGHT POLE
 ⊙ = SITE "BENCHMARK" (AS NOTED)
 --- = EXISTING GROUND CONTOURS



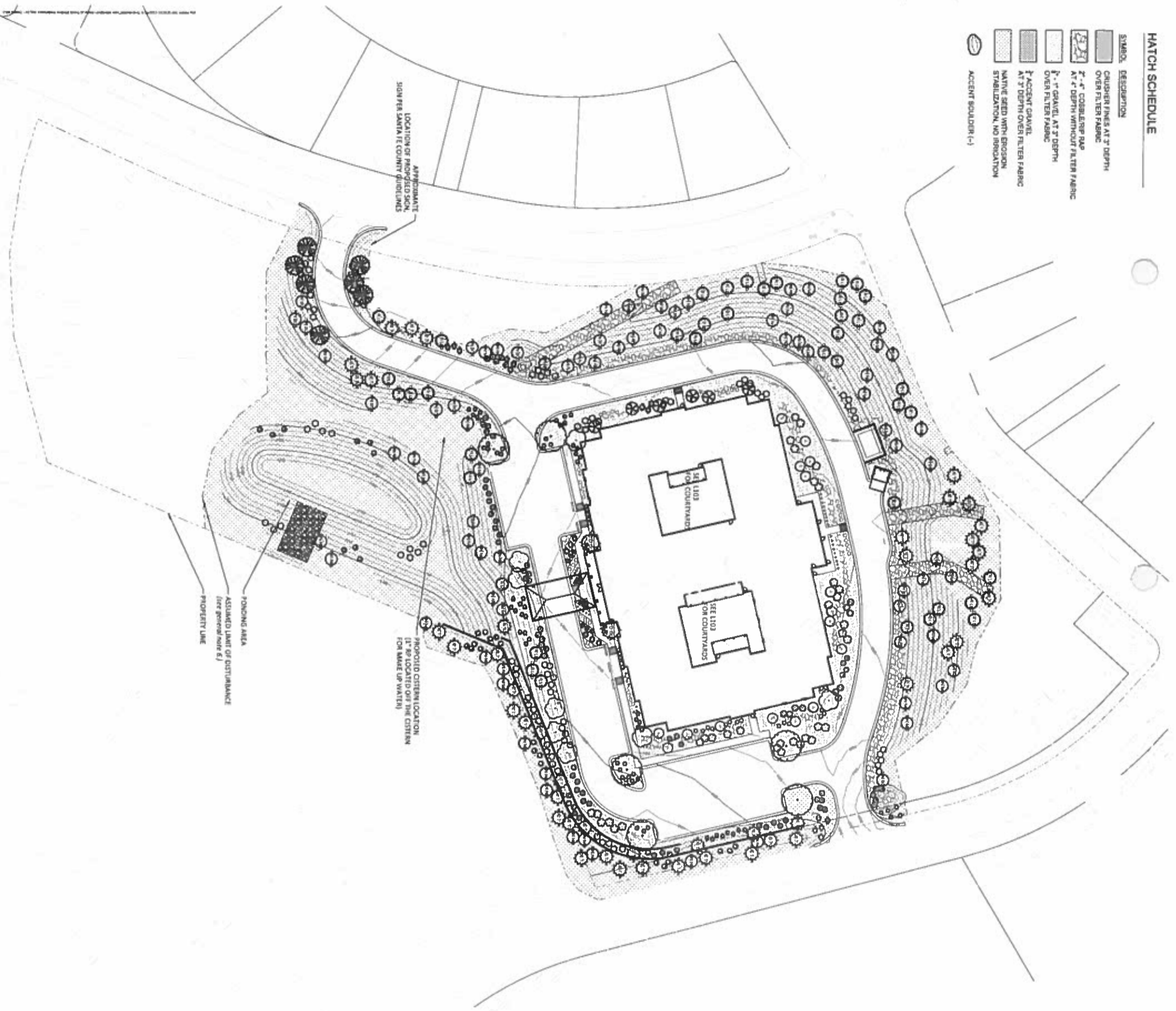
SLOPE ANALYSIS PLAN

PREPARED FOR
JenkinsGavin Design & Development, Inc.

BEING LOT 237 OF THE ALDEA DE SANTA FE, PHASE 1A SUBDIVISION, KNOWN AS THE "INSTITUTIONAL LOT", WITHIN SEC. 20, T.17N., R.9E., N.M.P.M., WITHIN THE COUNTY OF SANTA FE, STATE OF NEW MEXICO.

HATCH SCHEDULE

- SYMBOL DESCRIPTION
- CRUSHER FINES AT 3" DEPTH OVER FILTER FABRIC
- 2" - 4" COARSE/FP RAY AT 4" DEPTH WITHOUT FILTER FABRIC
- 2" - 4" GRAVEL AT 3" DEPTH OVER FILTER FABRIC
- ACCENT GRAVEL AT 3" DEPTH OVER FILTER FABRIC
- NATIVE SEED WITH EROSION STABILIZATION, NO IRRIGATION
- ACCENT BOLLARD (-)



PLANT SCHEDULE L101

EVERGREEN TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER
ED OL	2	Cedrus atlantica 'Gauca' / Blue Atlas Cedar	6'-8"	Medium +
ER LBD	41	Cercocarpus ledifolius / Curl-Leaf Mountain Mahogany	15 gal	Low +
FIN BOS	7	Picea pungens / Blue Spruce	4'-6"	Medium +
FIN BOS	10	Pinus murrayana / Borean Pine	6'-8"	Medium
FIN BOS	67	Pinus nigra / Austrian Black Pine	6'-8"	Medium
ORNA TR	45	Quercus turbinella / Desert Live Oak	15 gal	Low +
ORNA TR	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER
ORNA TR	8	Malus x 'Spring Snow' / Crab Apple	2" B&B	Medium
ORNA TR	16	Populus tremuloides / Quaking Aspen	2" B&B	Medium
ORNA TR	6	Vitis spina-castus / Chastia Tree	24" box	Medium
SHADE TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER
SHADE TREES	6	Gleditsia triacanthos inermis / Thornless Honeylocust	2" B&B	Medium
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER
SHRUBS	15	Artemisia stifoia / Sand Sagebrush	1 gal	RW
SHRUBS	31	Berberis thunbergii 'Crimson Pygmy' / Japanese Barberry	5 gal	Medium
SHRUBS	41	Caryophyllus x dandakensis / Blue Milk Spirea	5 gal	Low +
SHRUBS	39	Larandula angustifolia / English Lavender	5 gal	Medium
SHRUBS	14	Lavandula x Intermedia 'Grosso' / Grosso Lavender	5 gal	Medium
SHRUBS	85	Petroselinia atopicalia / Russian Sage	5 gal	Medium
SHRUBS	23	Prunus besseyi / Sand Cherry	5 gal	Medium
SHRUBS	10	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	Low +
SHRUBS	34	Rhus typhala / Three leaf Sumac	5 gal	Low +
SHRUBS	8	Salvia greygii / Autumn Sage	5 gal	Low +
DESERT ACCENT	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER
DESERT ACCENT	20	Hesperaloe parviflora / Red Yucca	5 gal	Low +
GROUNDCOVERS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER
GROUNDCOVERS	16	Ceratostigma plumbaginoides / Dwarf Plumbago	1 gal	Medium
GROUNDCOVERS	38	Santolina vitifolia / Green Lavender Cotton	1 gal	Low +
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER
ORNAMENTAL GRASSES	41	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	5 gal	Medium
ORNAMENTAL GRASSES	29	Muhlenbergia rigens / Deer Grass	5 gal	Low +

NBC-116

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design@huc.com

THE LEGACY AT SANTA FE
ASSISTED LIVING FACILITY
Aldea, Avenida Frijoles
Santa Fe County

Date: 02-13-2015
Revisions: 03-11-2015

Drawn by: Jilka Dakajova
Reviewed by: John Braly

Scale: 1" = 40' (24x36")

Sheet Title:
Landscape Plan

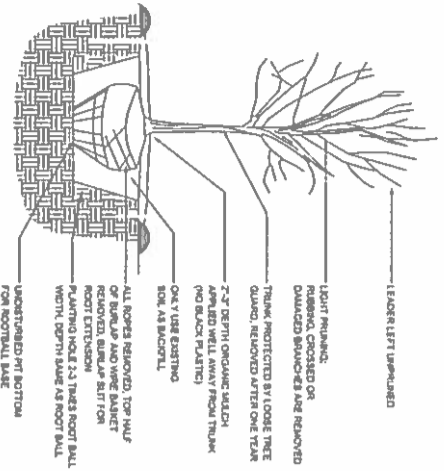
Sheet Number:
L101

- GENERAL NOTES:**
1. MAINTENANCE OF THE LANDSCAPE AND IRRIGATION PROVIDED BY THE PROPERTY OWNER.
 2. PLANTS ARE SHOWN AT MATURE SIZE.
 3. LANDSCAPE AREAS SHALL BE DESIGNED TO PROVIDE POSITIVE DRAINAGE FOR SITE RUN OFF. SEE CIVIL DRAWINGS FOR DRAINAGE INFORMATION AND PLACE THE CURB CUTS.
 4. THE LANDSCAPE DESIGN IS DESIGNED TO MEET ALL SANTA FE COUNTY REQUIREMENTS.
 5. PLANT MATERIALS AND SIGNING WILL NOT INTERFERE WITH CLEAN SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ACCEPTABLE IN CLEAN SIGHT AREAS.
 6. EXISTING TREES AND LANDSCAPE OUTSIDE OF THE DISTURBANCE LIMIT SHALL BE PRESERVED. ALL DISTURBED AREAS SHALL BE SEEDED OR LANDSCAPED WITH GRAVEL MULCH AND PLANTINGS.
- PLANTING STANDARDS:**
1. A MINIMUM OF 75% OF AN AREA DESIGNATED OF LANDSCAPING SHALL BE DEVELOPED WITH LIVING PLANT MATERIALS INCLUDING AREAS SEEDED WITH GRASS AND FLOWERS.
 2. THE USE OF HIGH WATER USE TURF SHALL BE LIMITED TO NO MORE THAN 25% OF LANDSCAPE AREAS.
 3. ALL LANDSCAPE AREAS SHALL BE COVERED WITH MULCH ON SEED MIX. USE GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC. WHERE MULCH IS ADJACENT TO THE CONCRETE, FINISH GRADE OF MULCH SHALL BE APPROXIMATELY 1/2" BELOW THE TOP OF CONCRETE. DO NOT USE FILTER FABRIC ON STEEP SLOPES.
 4. SEE 1/102 FOR TREE PLANTING DETAIL.

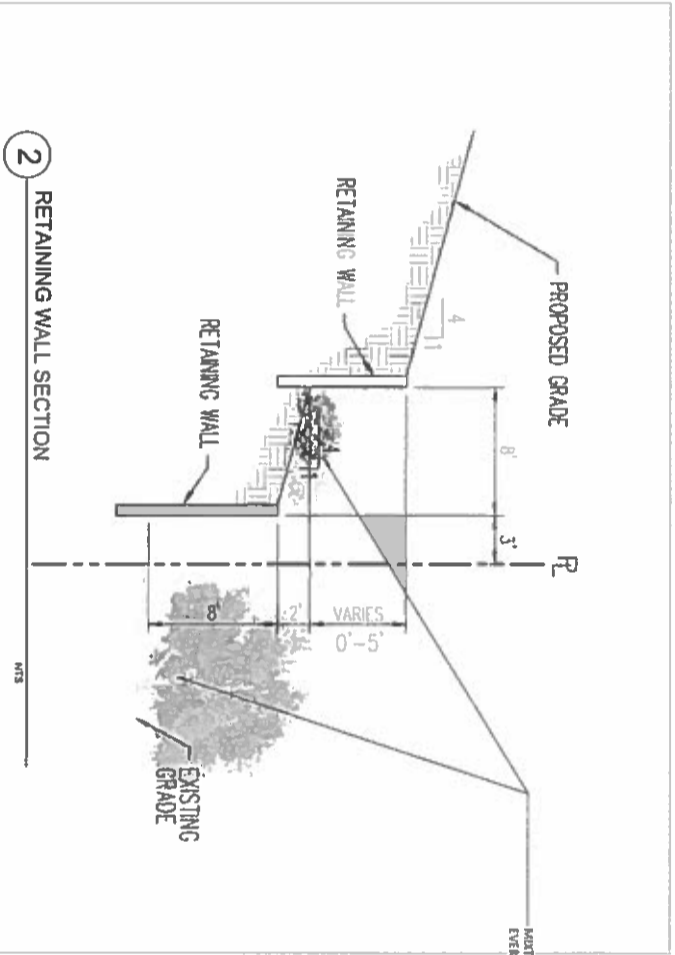
LANDSCAPE CALCULATIONS:

SITE AREA	... 295,380 sf
DEVELOPMENT SITE AREA	... 200,000 sf
REQUIRED LANDSCAPE AREA	... 10,000 sf
REQUIRED LANDSCAPE AREA PROVIDED LANDSCAPE AREA	... 23,200 sf
REQUIRED LIVING PLANT MATERIALS	
75% of landscaped areas = 23,200 sf x 75% = 17,400 sf	
REQUIRED TREES	... 48
1 tree at a minimum of 24' height at maturity per 500 sf	
PROPOSED TREES	... 202
REQUIRED SHRUBS	... 1,450
1 shrub at a minimum of 4' spread/height per 16 sf	
PROPOSED SHRUBS	... 419
PARKING LOT LANDSCAPE REQUIREMENTS	
REQUIRED TREES	... 5
minimum of 1 tree per 10 parking spaces	
PROPOSED TREES	... 6
total number of parking spaces = 48	
REQUIRED SHRUBS	... 15
minimum of 3 shrubs per 10 parking spaces	
PROPOSED SHRUBS	... 21
TOTAL REQUIRED TREES	... 35
TOTAL PROPOSED TREES	... 208
TOTAL REQUIRED SHRUBS	... 596
TOTAL PROPOSED SHRUBS	... 440

*proposed trees function as a required buffer/screen and as a part of the required re-vegetation
 *calculations do not include planting within two inner courtyards



1 TREE PLANTING DETAIL



2 RETAINING WALL SECTION

NBC-17

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 505.898.2105 (fax)
 des@gn@huc.com

THE LEGACY AT SANTA FE

ASSISTED LIVING FACILITY

Aldea, Avenida Frijoles
 Santa Fe County

Date: 02-13-2015

Revisions: 03-11-2015

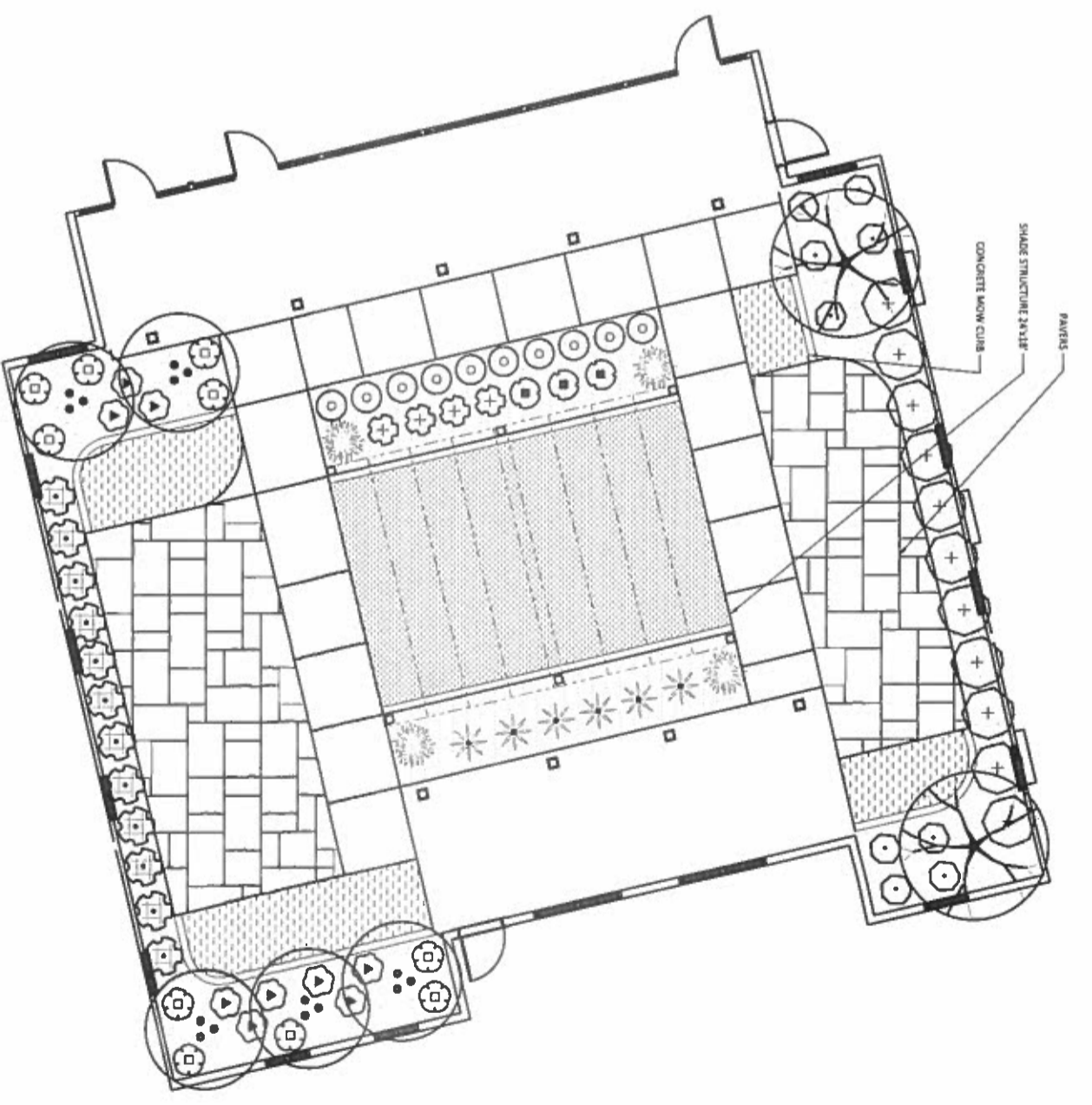
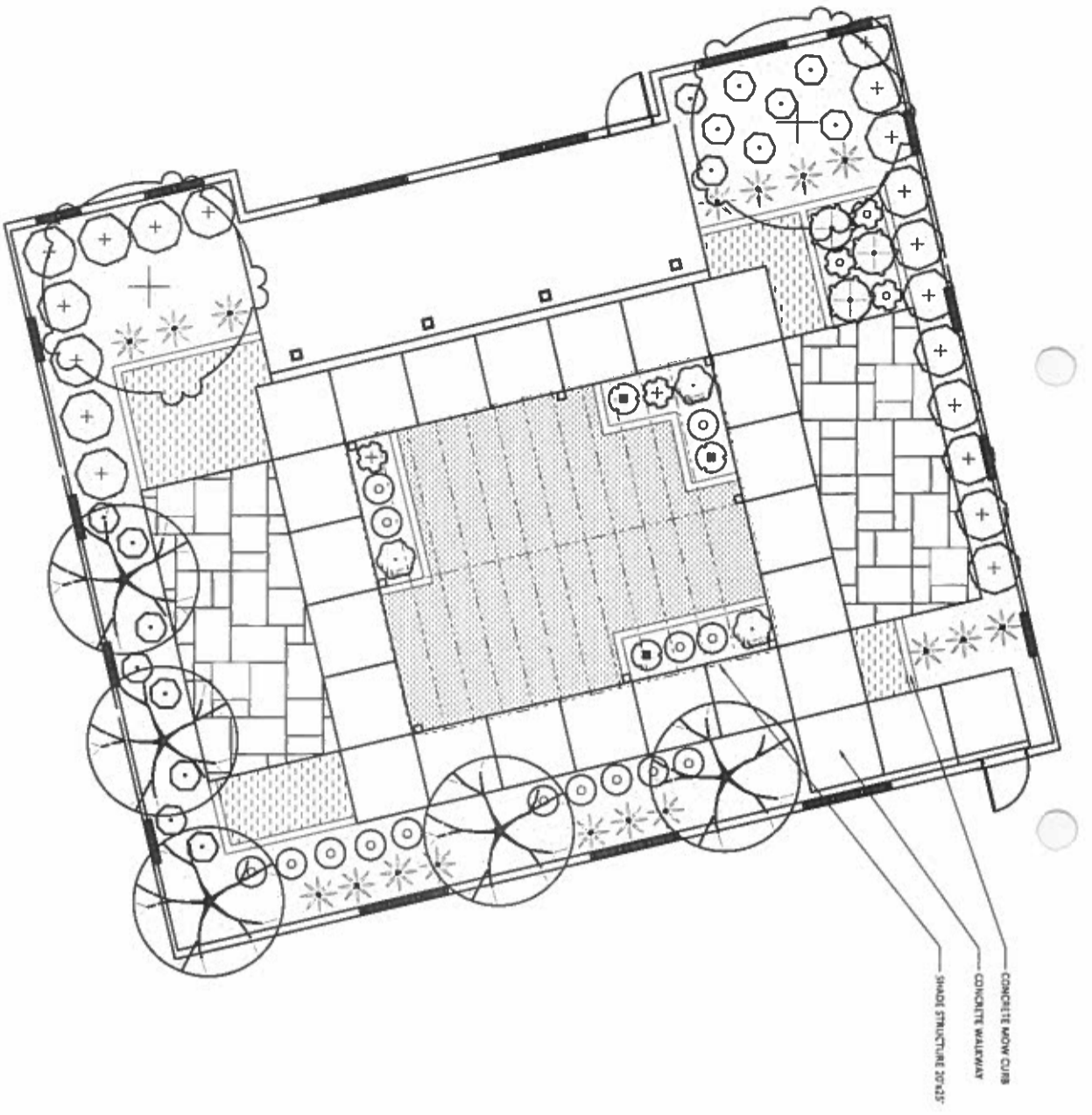
Drawn by: Jilka Dekolova
 Reviewed by: John Braly

Scale: 1" = 40' (24"x36")

NORTH

Sheet Title: Landscape Notes/Details

Sheet Number: L102



PLANT SCHEDULE L103

ORNAMENTAL TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER
	2	Cercis occidentalis / Western Redbud	2" BAB	Medium
	5	Populus tremuloides / Quaking Aspen	2" BAB	Medium
	7	Vibex agrus-castus / Chaste Tree	24" box	Medium
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER
	30	Rex vomitoria 'Nana' / Dwarf Holly	5 gal	Low+
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER
	6	Asclepias tuberosa / Yellow Monardella	1 gal	Medium
	8	Gaura lindheimeri / Gaura	1 gal	Medium
	3	Penstemon patulus / Peveler Penstemon	1 gal	Low
	3	Penstemon strictus / Rocky Mountain Penstemon	1 gal	Low+
	25	Salvia nemorosa / Perennial Salvia	1 gal	Medium

GROUNDCOVERS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER
	10	Aegopodium podagraria 'Variegatum' / Variegated Bishop's Weed	1 gal	Medium+
	25	Cerastium plumbaginifolius / Dwarf Plumbago	1 gal	Medium
	12	Mahonia repens / Creeping Mahonia	5 gal	Medium
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER
	22	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	5 gal	Medium
	9	Festuca ovina glauca / Blue Fescue	1 gal	Medium
VINES/SPALLER	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER
	4	Campsis radicans / Trumpet Vine	5 gal	Medium
	3	Lonicera japonica / Hall's Honeysuckle	1 gal	Medium+

HATCH SCHEDULE

SYMBOL	DESCRIPTION
	ACCENT CRUSHER FINES
	REGULAR PARK MULCH
	PAVERS
	ARTIFICIAL SHORT GRASS
	ARTIFICIAL ROUGH GRASS
	ACCENT BOULDER (-)

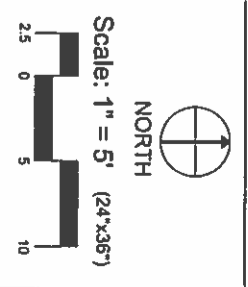
NBC-18



Date: 02-13-2015
 Revisions: 03-11-2015
 Drawn by: Jilka Dekolova
 Reviewed by: John Braly

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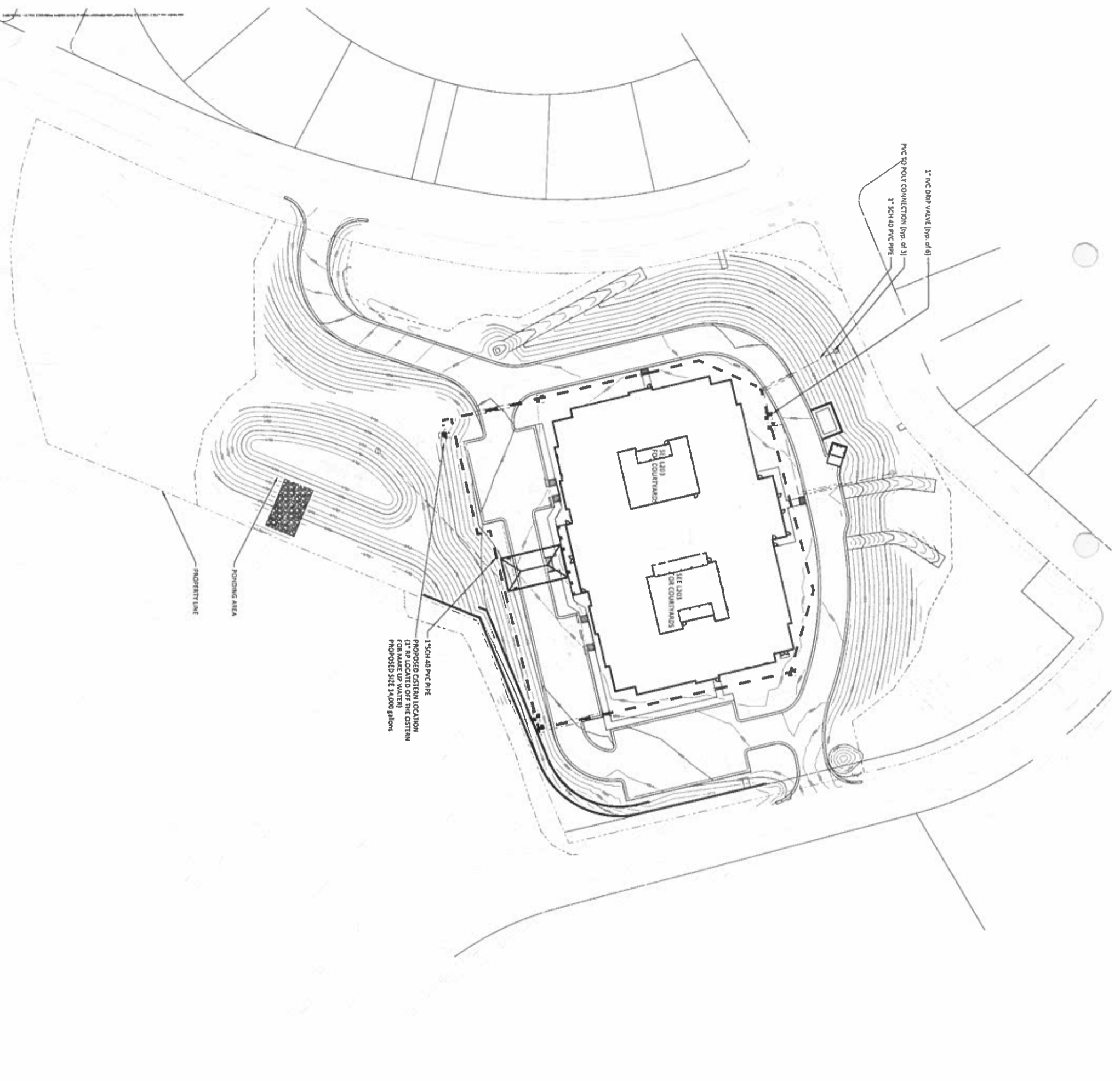
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 Santa Fe County



Sheet Title:
**Courtyards
 Landscapes**

Sheet Number:

L103



IRRIGATION SCHEDULE

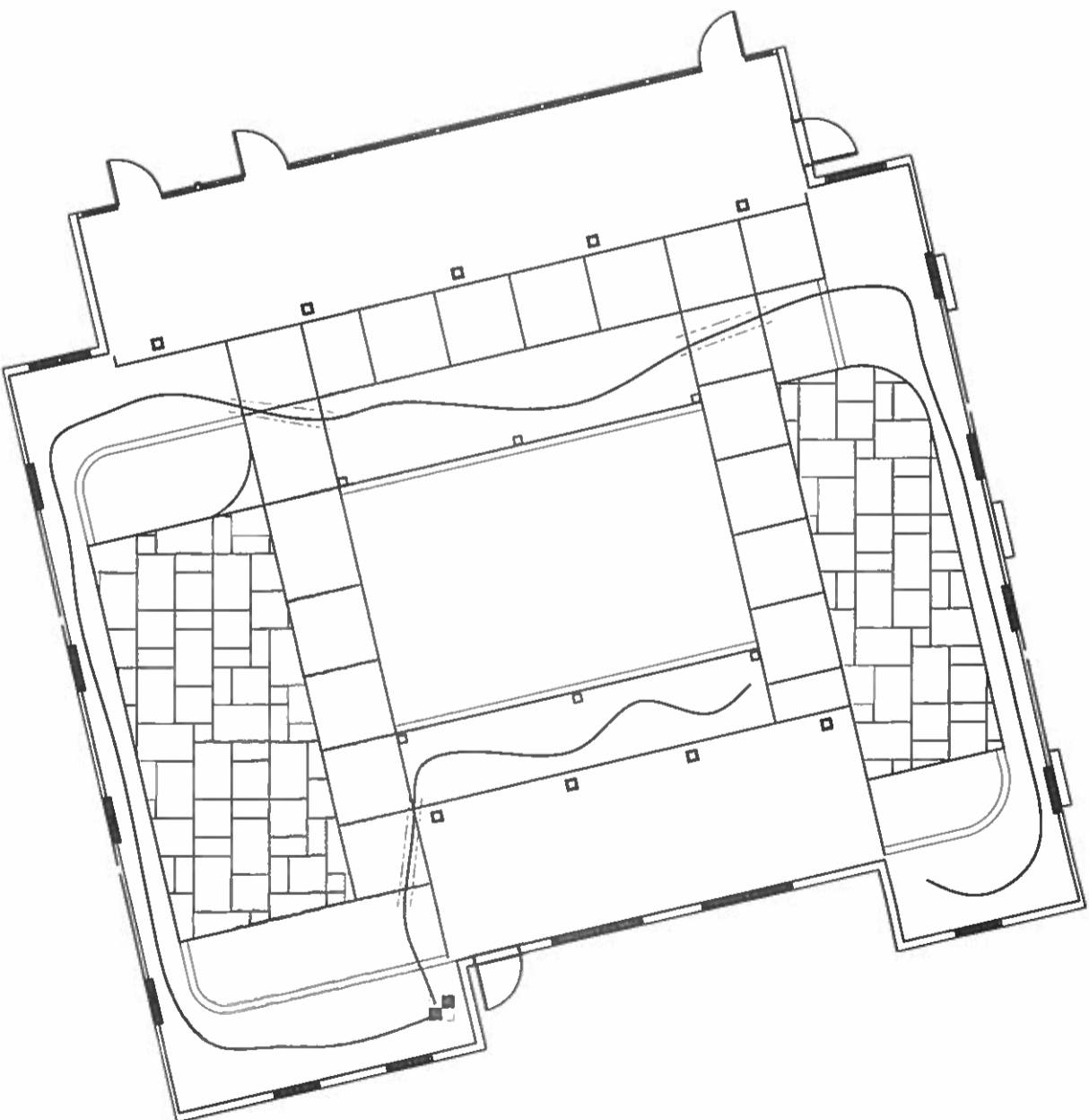
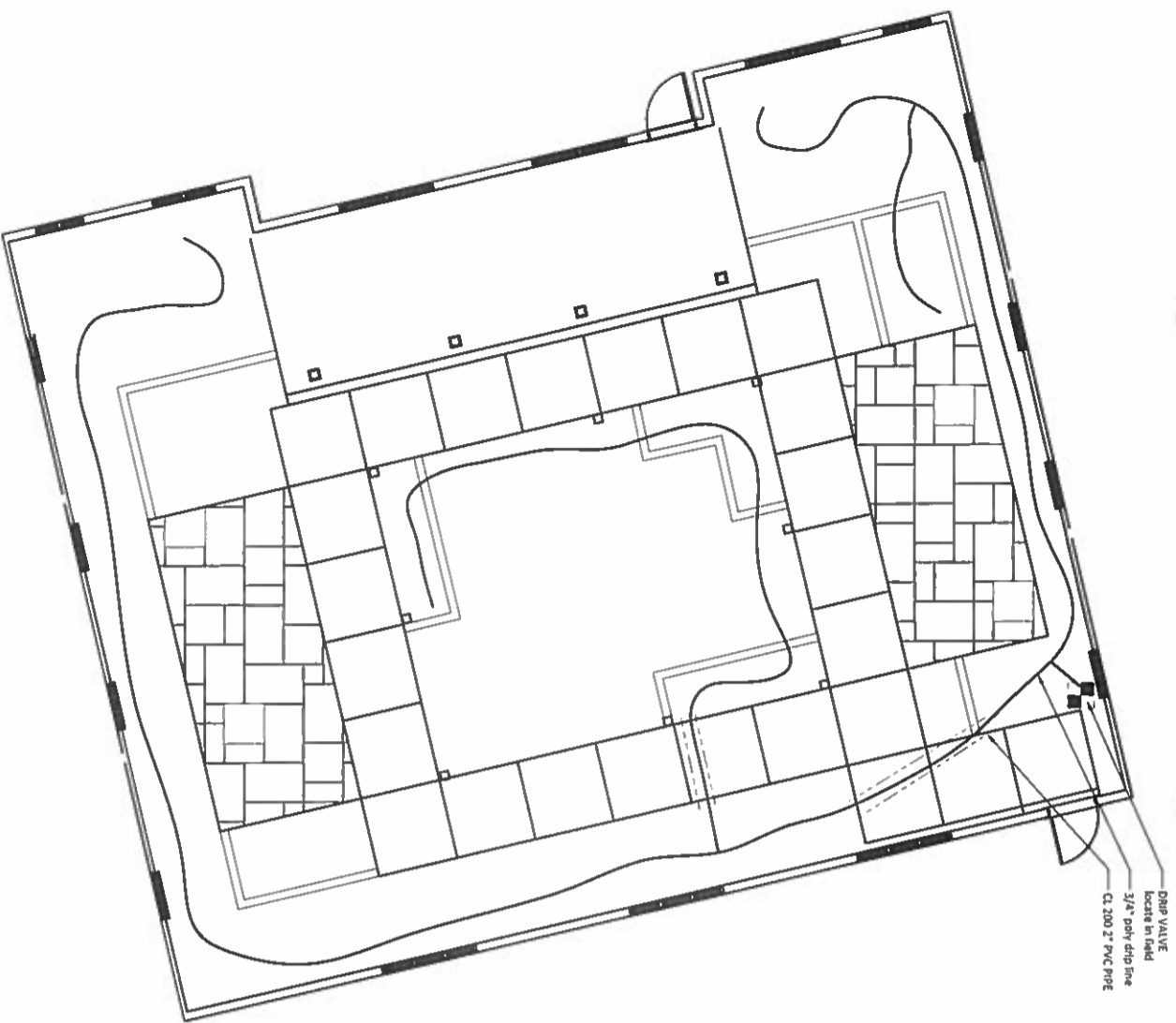
SYMBOL	DESCRIPTION	QTY
	Hunter ICV drip valve with 3/4" HY075 filter system and 25psi pressure regulated	6
	Folco 825VA 1" Reduced Pressure Backflow Preventer for county make up water	1
	IRRIGATION CONTROLLER locate in field	1
	Valve Cabinet	
	Valve Row	
	Valve Size	
	PVC to poly connection	3
	1" SCH40 PVC PIPE	see plan
	1" SCH40 PVC PIPE	see plan
	3" poly line	see plan
	2 - 3" CL200 PVC PIPE	see plan

1" SCH 40 PVC PIPE
 PROPOSED CISTERN LOCATION
 (1" PP LOCATED OFF THE CISTERN
 FOR MAKE UP WATER)
 PROPOSED SIZE 15,000 gallons

PONDING AREA
 PROPERTY LINE

NOC-19

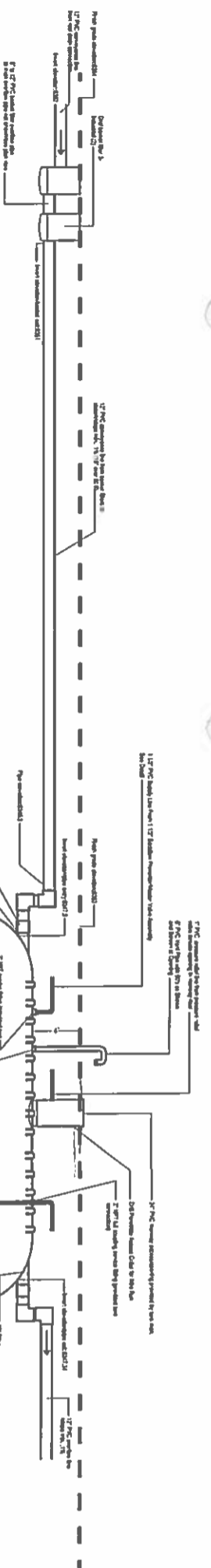
 growing better Up HeadsUp LANDSCAPE CONTRACTORS www.headsuplandscape.com P O Box 10597 Albuquerque, NM 87184 505.898.9615 505.898.2105 (fax) design@hulc.com	THE LEGACY AT SANTA FE ASSISTED LIVING FACILITY Aldea, Avenida Frijoles Santa Fe County	Date: 02-13-2015 Revisions: 03-11-2015 Drawn by: Jilka Deklova Reviewed by: John Braly	NORTH Scale: 1" = 40' (24"x36") Sheet Title: Irrigation Plan Water Harvesting Sheet Number: L201
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- IRRIGATION NOTES:**
1. ALL PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER.
 2. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 3. THE PIPE ROUTING ON THE PLAN, IF SHOWN, IS SCHEMATIC AND MAY REQUIRE FIELD ADJUSTMENTS TO AVOID INSTALLING PIPE WITHIN THE ROOT ZONE OF PLANTS.
 4. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CISTERN WITH BACK UP SANTA FE COUNTY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER, AND MASTER VALVE.
 5. USE SIX 2 GPH EMITTERS PER EACH TREE AND TWO 2 GPH EMITTERS PER EACH SHRUB/GROUNDCOVER.
 6. DRIP RUNS SHALL NOT EXCEED 400 LF. END EACH DRIP RUN WITH A FLUSH CAP.
 7. ALL IRRIGATION PIPES SHALL BE SLEEVED WITH CL200 PVC PIPE TWO SIZES LARGER THAN PIPE ENCLOSED.

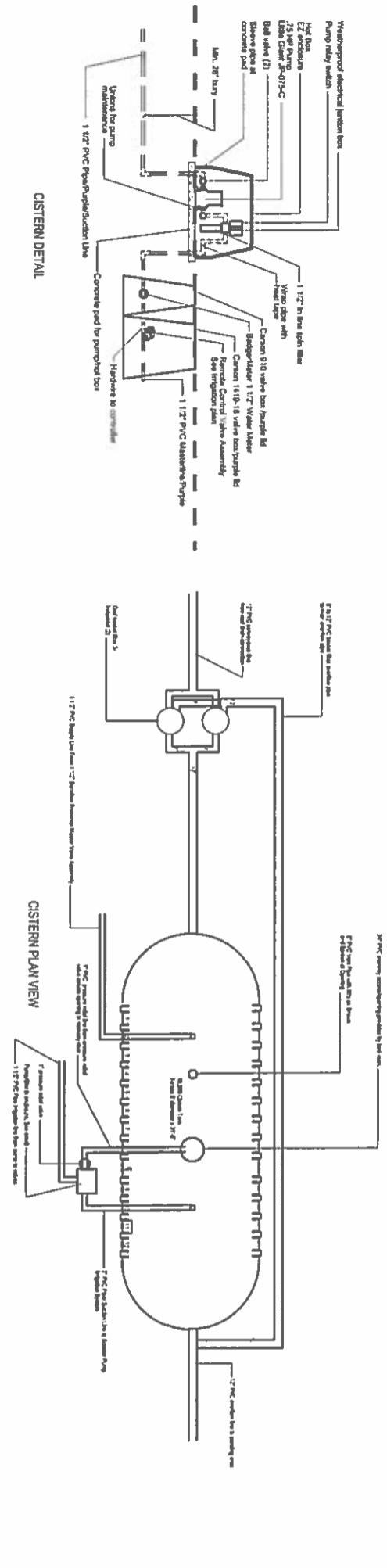
NBC-20

 NORTH	Scale: 1" = 5' (24"x36") 	<p>THE LEGACY AT SANTA FE ASSISTED LIVING FACILITY Aldea, Avenida Frijoles Santa Fe County</p>	<div style="text-align: right;">  </div> <p>Date: 02-13-2015 Revisions: 03-11-2015</p> <p>Drawn by: Jilka Dekolova Reviewed by: John Braly</p>
Sheet Title: Courtyards Irrigation		<div style="text-align: right;">  <p>PO Box 10597 Albuquerque, NM 87184 505.898.9815 505.898.2105 (fax) design@hulic.com www.headsuplandscape.com</p> </div>	
Sheet Number: L202			

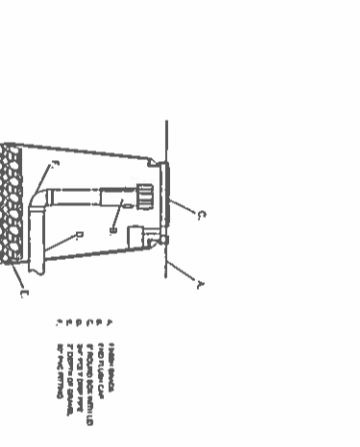
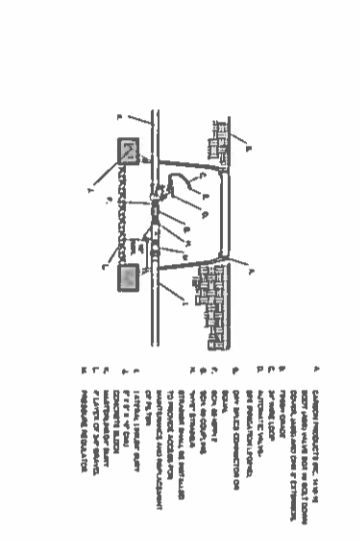
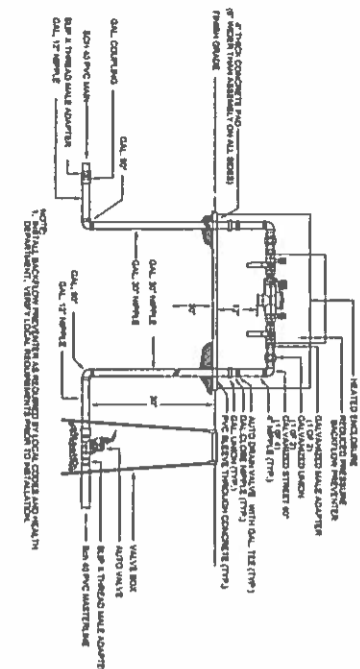


CISTERN ELEVATION

Notes:
 1. All piping shall be 1 1/2" Schedule 40 galvanized steel pipe unless otherwise noted.
 2. All valves shall be 1 1/2" ball valves unless otherwise noted.
 3. All fittings shall be 1 1/2" galvanized steel unless otherwise noted.
 4. All electrical wiring shall be in conduit and weatherproofed at all exterior penetrations.
 5. All electrical components shall be weatherproofed and rated for outdoor use.
 6. The cistern shall be constructed of 24-gauge galvanized steel with a minimum 1/4" thickness.
 7. The cistern shall be painted with a high-quality, rust-inhibiting paint.



CISTERN DETAIL



- IRRIGATION NOTES:**
1. ALL PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER.
 2. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 3. THE PIPE ROUTING ON THE PLAN, IF SHOWN, IS SCHEMATIC AND MAY REQUIRE FIELD ADJUSTMENTS TO AVOID INSTALLING PIPE WITHIN THE ROOT ZONE OF PLANTS.
 4. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CISTERN WITH SANTI FE COUNTY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER, AND MASTER VALVE.
 5. USE SIX 2 GPH EMITTERS PER EACH TREE AND TWO 2 GPH EMITTERS PER EACH SHRUB/GROUNDCOVER.
 6. DRIP RUNS SHALL NOT EXCEED 400 LF. END EACH DRIP RUN WITH A FLUSH CAP.
 7. ALL IRRIGATION PIPES SHALL BE SIEVED WITH D1200 PVC PIPE TWO SIZES LARGER THAN PIPE ENCLOSED.

1 RP BACKFLOW/MASTER VALVE DETAIL

2 DRIP VALVE WITH FILTER & PRESSURE REGULATOR

3 END FLUSH CAP

NBC-21

growing better **Up Heads** LANDSCAPE CONTRACTORS
 www.headsuplandscapes.com
 P.O. Box 10597 Albuquerque, NM 87184
 505.898.9815 505.898.2105 (fax)
 design@hvic.com

SEAL OF THE STATE OF NEW MEXICO
 JOHN GALLIS GOVERNOR
 1993

Date: 02-13-2015
 Revisions: 03-11-2015

THE LEGACY AT SANTA FE
 ASSISTED LIVING FACILITY
 Aldea, Avenida Frijoles
 Santa Fe County

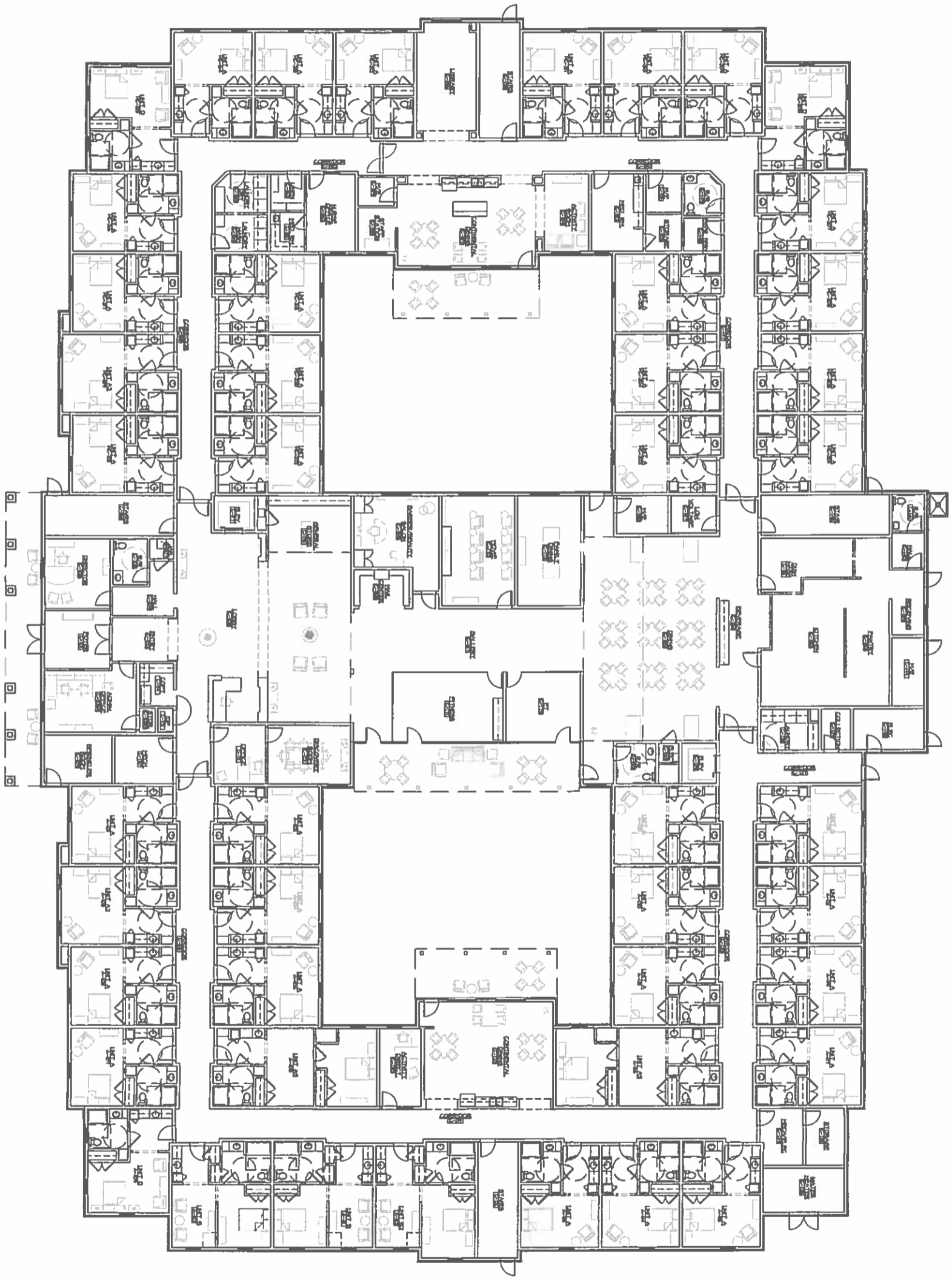
Drawn by: Jilka Deklova
 Reviewed by: John Braly

NORTH

Scale: 1" = 40' (24"x36")

Sheet Title:
Irrigation Notes/Details
 Water Harvesting

Sheet Number:
L203



PERFORM EARTHQUAKE ANALYSIS
 CONSULTING ENGINEERS, L.L.C.
 10000 RIVINGTON DRIVE, SUITE 100
 DALLAS, TEXAS 75243
 (972) 412-8800

BOVA-KHAWAN HUSTON
 ARCHITECTS
 1100 AVENUE K
 SUITE 100
 AUSTIN, TEXAS 78704
 (512) 476-1000

THREE SQUARE
 DESIGN GROUP, P.L.L.C.
 2000 W. 10TH STREET, SUITE 100
 AUSTIN, TEXAS 78704
 (737) 836-8800

PACKAGE
 IN CHARGE
 ARCHITECT
 DATE: 01/15/15
 PROJECT: 3814139

DVD ENGINEERING
 2000 W. 10TH STREET, SUITE 100
 AUSTIN, TEXAS 78704
 (512) 261-2800

STUDIOS
 2000 W. 10TH STREET, SUITE 100
 AUSTIN, TEXAS 78704
 (512) 261-2800

NOTE
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THREE SQUARE DESIGN GROUP, P.L.L.C.
 2000 W. 10TH STREET, SUITE 100
 AUSTIN, TEXAS 78704
 (737) 836-8800

LEGACY AT SANTA FE
 ASSISTED LIVING AND MEMORY CARE
 34 AVENIDA FRUQUES
 SANTA FE, NEW MEXICO 87507

SHEET:
 CONCEPTUAL FIRST
 FLOOR PLAN

REVISIONS:
 NO. DESCRIPTION

DATE: 01/15/15
 PROJECT: 3814139

DATE: 01/15/15
 PROJECT: 3814139

DATE: 01/15/15
 PROJECT: 3814139

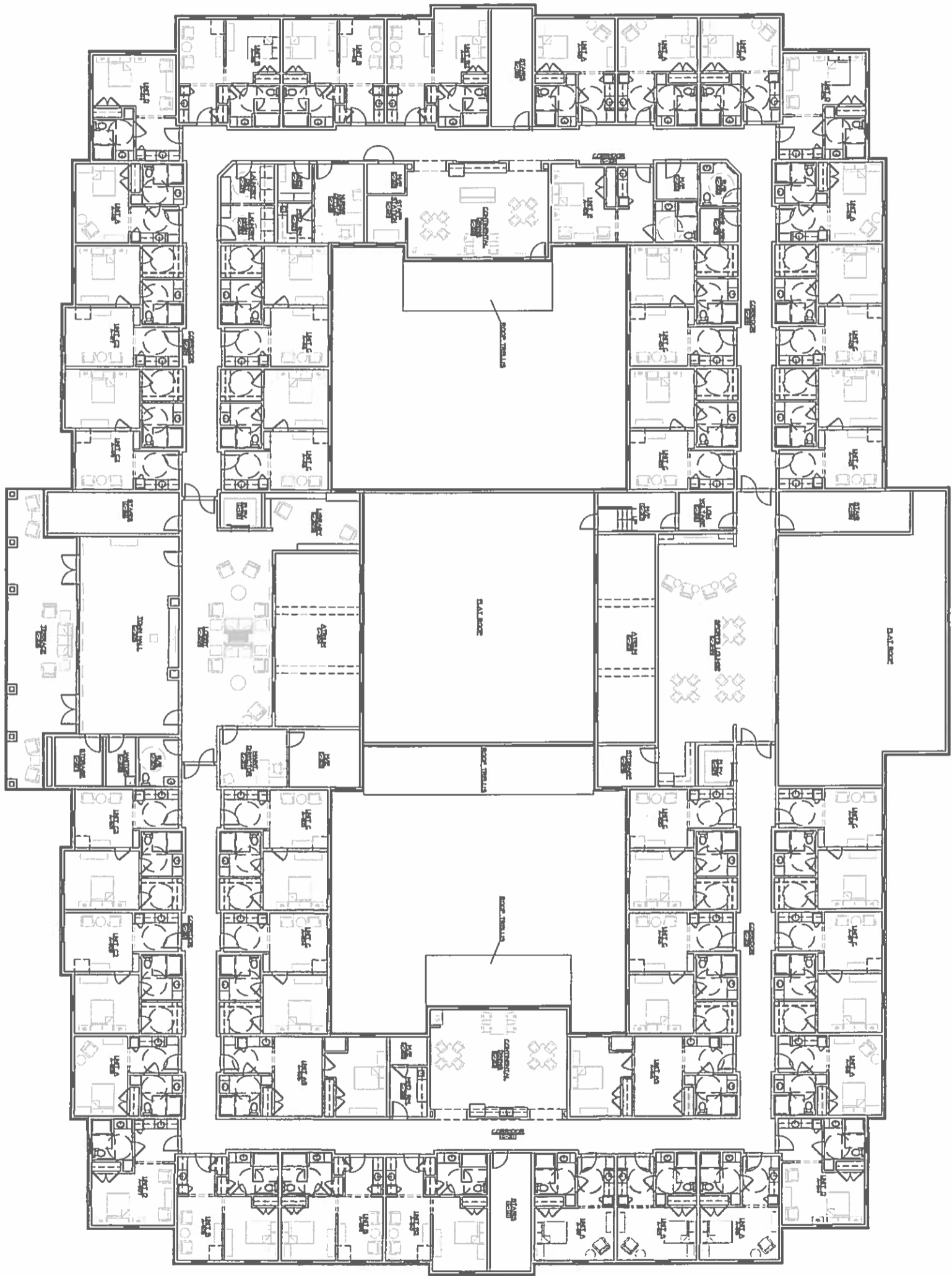
DATE: 01/15/15
 PROJECT: 3814139

NBC-23

FIRST FLOOR PLAN 1

3/27" = 1'-0"

A102



NBC-24

SECOND FLOOR PLAN 1

3/27 = 1-07

PROJECT: LEGACY AT SANTA FE
 34 AVENIDA FRUQUES
 SANTA FE, NEW MEXICO 87507

THREE SQUARE DESIGN GROUP, PLLC
 1000 AVENUE OF THE SUNS, SUITE 100
 ALBUQUERQUE, NEW MEXICO 87102
 (505) 263-1111

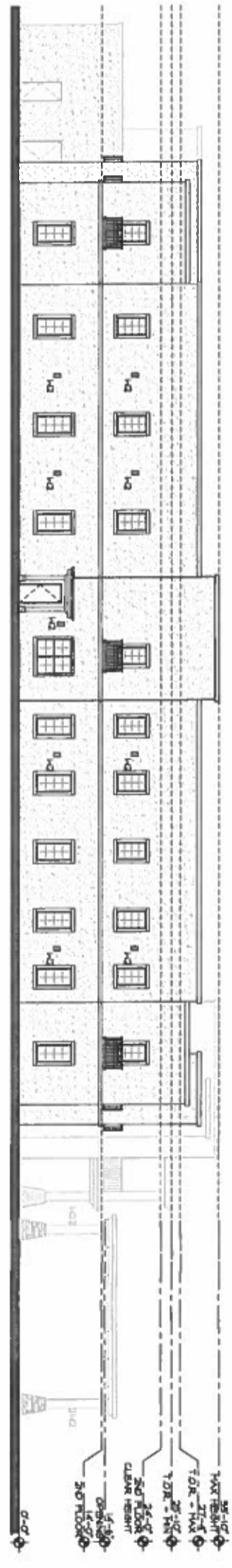
DATE: 01/15/15
 PROJECT: 3814139
 SHEET: A103

NOTE
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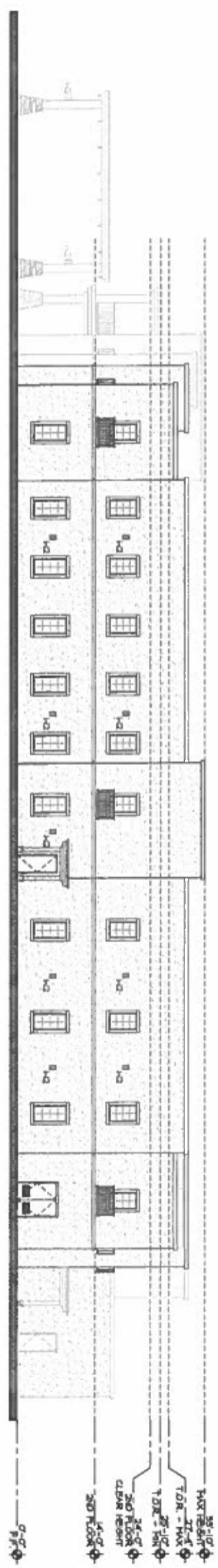
LEGACY AT SANTA FE
 ASSISTED LIVING AND MEMORY CARE
 34 AVENIDA FRUQUES
 SANTA FE, NEW MEXICO 87507

SHEET:
 CONCEPTUAL SECOND FLOOR PLAN
 REVISIONS:

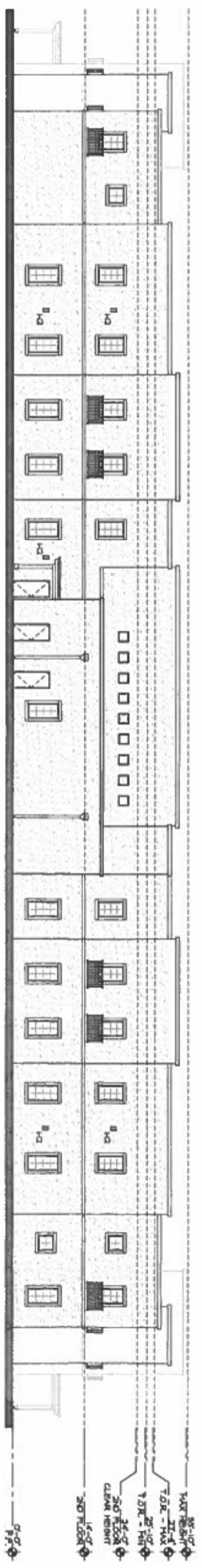
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 SHEET: A103



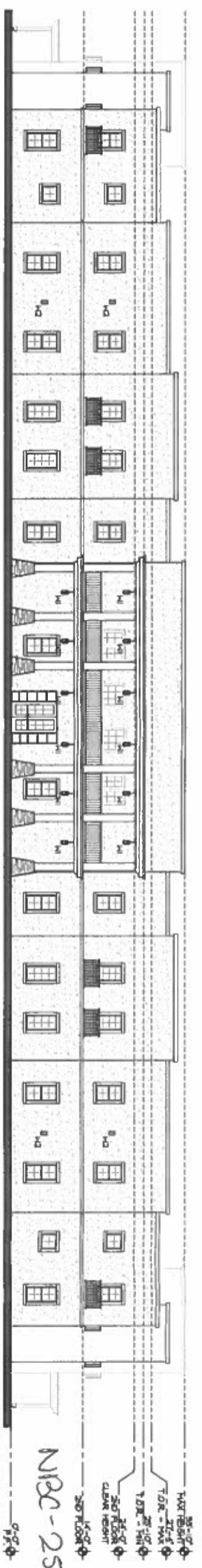
WEST BUILDING ELEVATION 4
3/12" = 1'-0"



EAST BUILDING ELEVATION 3
3/12" = 1'-0"



NORTH BUILDING ELEVATION 2
3/12" = 1'-0"



SOUTH BUILDING ELEVATION 1
3/12" = 1'-0"

NBC-25
 1st Floor
 2nd Floor
 3rd Floor
 4th Floor
 5th Floor
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 100th Floor

ALDEA ASSISTED LIVING FACILITY
Existing Conditions Basin Data Table

BASIN ID	Area (SQ. FT)	Area Percentages				Q(2) (cfs)	Q(2) (inches)	WTE (CF)	V(21440) (cfs)	Q(100) (cfs)	WTE (inches)	V(100) (CF)	
		A	B	C	D								
EXB1	295363	6.78	0.0%	17.0%	0.0%	0.03	0.2	0.01	300	2.06	13.9	0.77	18800
TOTAL	295363	6.78	-	-	-	0.2	0.2	300	300	13.9	0.77	18800	

SITE LOCATION

THE ALDEA ASSISTED LIVING FACILITY SITE IS LOCATED AT THE SOUTHWEST CORNER OF AVENIDA PROGRES AND CAMINO BOHANNAN IN THE ALDEA SANTA FE DEVELOPMENT. THE CROSS SECTION OF THE SITE IS SHOWN IN THE ATTACHED CROSS SECTION DRAWING. THE PROJECT IS PLANNED TO BE CONSTRUCTED IN PHASE. THE DRAINAGE ANALYSIS INCLUDES AN ANALYSIS OF THE EXISTING CONDITIONS AND WILL BUILD OUT OF THE PROJECT.

THE ADJACENT HORIZONTAL ROAD (AVENUE) WAS USED TO CALCULATE MAJOR FLOW RATES AND TO ROUTE DRAINAGE BASINS THROUGH THE PROPOSED DETENTION POND. THE DESIGN STORM USED IN THIS ANALYSIS IS THE 100 YEAR 24 HOUR FLOUT. THIS DRAINAGE MANAGEMENT PLAN HAS BEEN PREPARED IN SUPPORT OF FINAL DEVELOPMENT PLAN AND BUILDING PERMIT APPROVAL.

EXISTING CONDITIONS

THE SITE IS RELATIVELY FLAT WITH SLOPES BETWEEN 1% AND 2%. THE MAJORITY OF THE DEVELOPED PORTION OF THE SITE RANGE BETWEEN 6% TO 15% WITH SEVERAL SMALL AREAS WITH SLOPES IN EXCESS OF 15%. THE AREAS WITH SLOPES IN EXCESS OF 15% ARE LOCATED IN THE SMALL DRAINAGES AND ARE PROPOSED TO BE REDEVELOPED AND CONVEYED TO THE DRAINAGE MANAGEMENT PLAN.

THE SITE IS CONSIDERED A SHALLOW DRAINAGE BASIN FOR THE ANALYSIS. BASIN EX1 IS THE SHALLOWEST OF THE SITE AND A SHALLOW DRAINAGE BASIN. THE ANALYSIS IS BASED ON THE ASSUMPTION THAT THE PEAK FLOW RATE FROM THE SITE IS A FLOW RATE AND LAND REDEVELOPMENT. THE PEAK FLOW RATE FROM THE SITE IN THE UNDEVELOPED CONDITION WILL BE USED AS A BASIS FOR DESIGNING THE EXISTING WATER MANAGEMENT SYSTEM.

PROPOSED CONDITIONS DRAINAGE ANALYSIS

THE SITE HAS BEEN DIVIDED INTO THREE SEPARATE ON-SITE DRAINAGE BASINS. BASIN 1 INCLUDES THE MAJORITY OF THE DEVELOPED PORTION OF THE SITE WHICH WILL BE ROUTED TO THE PROPOSED DETENTION POND. A CONTROLLED OUTLET WILL REDUCE FLOW TO LESS THAN HISTORIC PAVES POND 1 HAS A TOTAL DETENTION VOLUME OF 147 ACFT. THE BOTTOM OF POND ELEVATION IS 6100.0 AND THE OVERFLOW ELEVATION IS 6100.0. PEAK DISCHARGE FROM THIS POND IS 6.8 CFS AND THE MAXIMUM WATER SURFACE ELEVATION IS 6100.0.

ON-SITE BASIN EX1 IS LOCATED ALONG AVENIDA ALDEA AND DRAINS TO A CULVERT SERVING THE PROPOSED DRIVEWAY TO THE SITE. THIS DRAINAGE BASIN IS LOCATED UNDEVELOPED BY THE DRIVEWAY AND WILL FEEL DISCHARGE FROM THE SITE.

ON-SITE BASIN EX2 IS LOCATED IN THE SOUTHWESTERN PORTION OF THE SITE. THIS DRAINAGE BASIN IS LOCATED UNDEVELOPED BY THE DRIVEWAY AND WILL FEEL DISCHARGE FROM THE SITE.

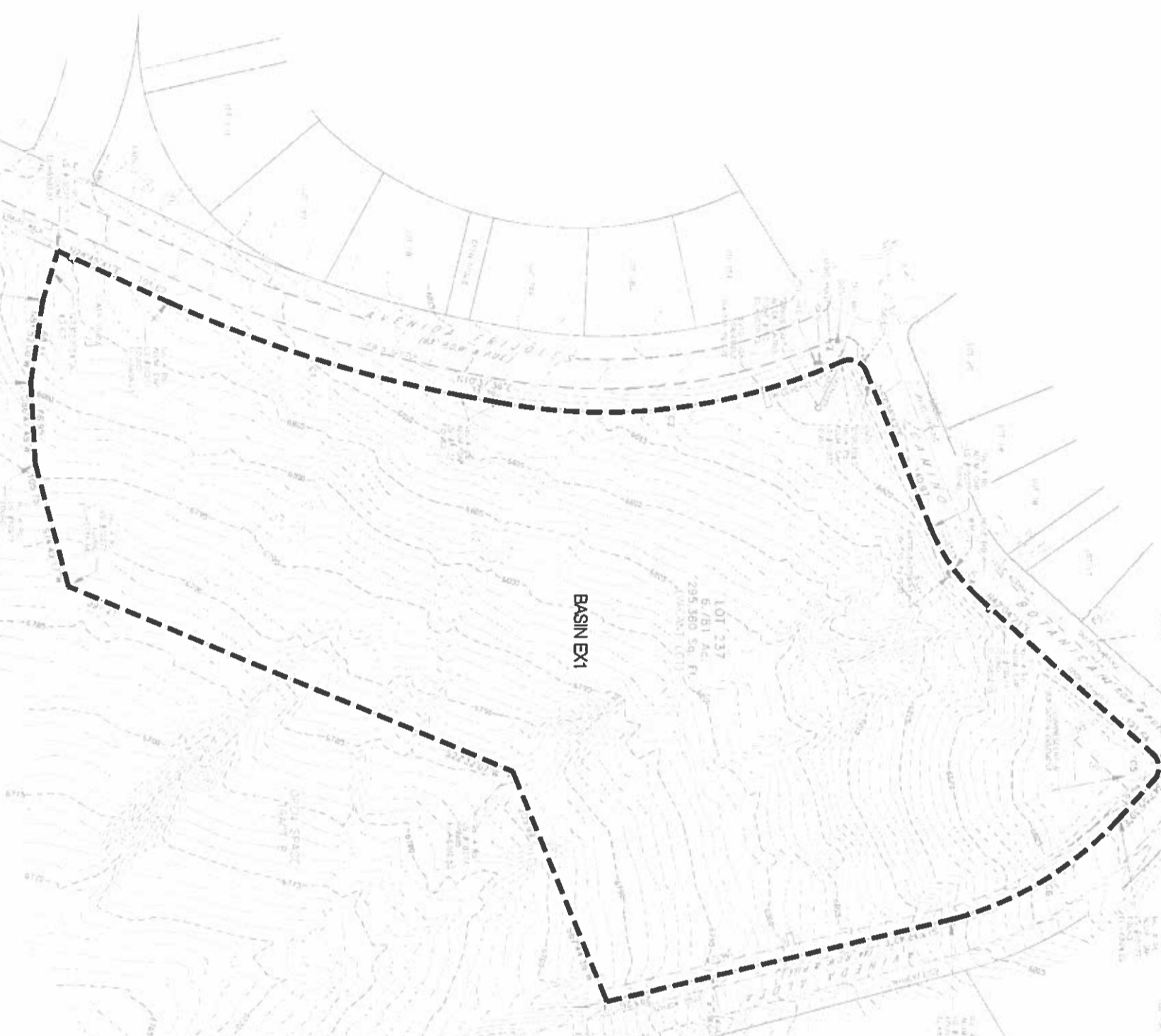
SEE THE PROPOSED CONDITIONS DRAINAGE MANAGEMENT PLAN FOR DRAINAGE BASINS (AND REVISIONS) POND STORAGE/DISCHARGE TABLE AND FLOW RATE TABLES.

IN THE EXISTING CONDITIONS THE TOTAL PEAK FLOW FROM THE SITE IS 11.9 CFS. IN THE DEVELOPED CONDITIONS THE PEAK DISCHARGE FROM THE SITE, INCLUDING THE ON-SITE BASINS THAT FEEL DISCHARGE, IS 13.9 CFS. WITH THE DEVELOPMENT OF THIS PROJECT THE PEAK DISCHARGE FROM THE SITE WILL BE REDUCED BY A TOTAL OF 10.0 CFS.

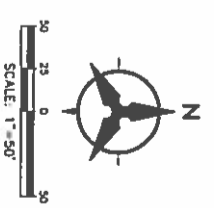
CONCLUSIONS

WITH THE DEVELOPMENT THE PEAK DISCHARGE FROM THE SITE WILL BE LESS THAN THE 100 YEAR 24-HOUR PEAK FLOW RATE ESTIMATED IN THE UNDEVELOPED CONDITION. THIS DRAINAGE MANAGEMENT PLAN DEMONSTRATES THAT THE EXISTING DRAINAGE SYSTEM WITH THE PROPOSED POND WILL MAINTAIN PEAK FLOW FROM THE 100 YEAR 24-HOUR STORM FLOW IN ACCORDANCE WITH SANTA FE COUNTY REQUIREMENTS.

BASIN EX1



LEGEND



Bohannan
Huston
www.bhinc.com
800.877.5332

THE LEGACY AT SANTA FE
ASSISTED LIVING FACILITY

EXISTING CONDITIONS
DRAINAGE MANAGEMENT PLAN

NBC-24

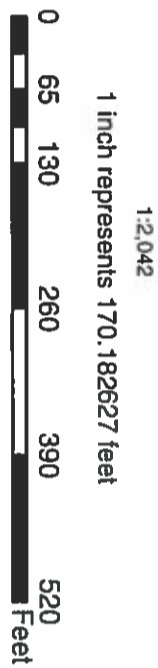
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		DESIGNED BY	DATE		
		CHECKED BY	DATE		
		DATE	DATE		
DESIGNED BY	GSB	DATE	3/2015		
DRAWN BY	BO	DATE	3/2015		
CHECKED BY	GSB	DATE	3/2015		



Legend

-  PARCELS
-  ROADS





2008 Imagery
2 FOOT CONTOURS

This information is for reference only.
Santa Fe County assumes no liability for
errors associated with the use of these data.
User are solely responsible for
confirming data accuracy.

NAC-54

April 8, 2015



SECTION 6 - FEES AND LEVIES**6.1 Standard Fees**

Any person desiring to subdivide land in the County shall pay the current administrative fees set by the County. A fee schedule, which may be periodically amended, is available from the Code Administrator.

6.2 Additional Fees for Unusual Circumstances

Where additional review by the County is required above and beyond normal review requirements due to complex, unforeseen, or unique circumstances relating to the proposed plan or plat, such as complex hydrological considerations, then the County may charge an additional review fee to defray the cost of such review. Review fees shall be only for professional services rendered to the County in the case that the County does not have qualified personnel to assist in reviewing such reports, plans and plats. When an additional fee is deemed necessary, the fee shall be arrived at between the County and the subdivider.

SECTION 7 - DEVELOPMENT PLAN REQUIREMENTS**7.1 Preliminary Development Plans****7.1.1 Pre-application conference**

- a. Prior to the application for approval of a preliminary development plan for any phase or for an entire project, the subdivider may confer with the Code Administrator regarding the plan submittal and requirements of the Code according to Section 5.1 of this Article.
- b. At this time a determination will be made as to the appropriate scale and format for plans and plats and as to the appropriateness of applicable submittal requirements.

7.1.2 Information to be submitted

- a. Evidence of legal lot of record;
- b. Contour intervals of two feet or such other appropriate scale as determined by the Code Administrator;
- c. Arrangements, location and size of buildings, where applicable;
- d. Off-street parking and loading or dumping facilities, where applicable;
- e. Internal vehicular and pedestrian circulation, and ingress and egress;
- f. A drainage, grading, and erosion control plan including existing and proposed contours for roads and utilities; a preliminary/conceptual grading plan around buildings, when applicable;
- g. A landscaping plan providing a schedule specifying conceptual methods, to include type, size, and location of vegetative and non-vegetative landscape material, and a preliminary description of the irrigation system to be used;
- h. Walls, fences and earth berms; their approximate locations and identifying types of fences and walls, if applicable;
- i. Size, location, orientation, lighting and type of signage, where applicable;
- j. Conceptual plan for outdoor lighting, including type, size, location of fixtures, if applicable;
- k. Easements, rights-of-way and street design;
- l. Access to telephone, gas, and electric utility service;
- m. Utility plan for water and sanitary sewer;
- n. Residential densities/gross acres;



- o. Intensity of non-residential development, including lot coverages, gross floor area ratios or gross square feet of building area;
- p. A vicinity map showing the boundaries of the project, owners of record within one hundred feet of the tract including public rights-of-way and existing conditions and development, including adjacent streets and utilities, for at least two hundred feet from the project boundaries;
- q. If appropriate, the phases and approximate dates of development of the phases;
- r. The plan shall be drawn at a scale of one hundred feet (100') to the inch or such other appropriate scale as determined by the Code Administrator;
- s. Proposed community facilities and/or sites and recreational areas, if any, and proposed ownership of such;
- t. A schedule of on-site and off-site public improvements with the time of construction related to the phasing schedule;
- u. Information as required by state agencies;
- v. The preliminary subdivision plat may be submitted concurrently with the preliminary development plan, but is not required. Submittal of a schematic or sketch subdivision plat showing proposed lot layout, approximate dimensions and lot areas together with topography and natural features; and
- w. A written traffic report prepared by a licensed traffic engineer or other qualified expert as determined by the Code Administrator.
- x. Schools Impact Report. A written report which projects the effects the proposed project will have on public schools, and which includes: the proposed number, size, and price of residential units within the project; a description of the project's target market; and where applicable, any special educational needs of the project's school-aged residents. The report will also identify the schools that service the area of the proposed project and their boundaries, the transportation available to those schools, and a list of any pending or approved residential developments within those schools' boundaries. Copies of the schools impacts notice shall be submitted to the school district in which the project is located and to the Code Administrator.
- y. Water Supply Plan - Water System. As required by Article VII, Section 6 of the Code and Table 5.1, of Section 9.3 of this Article V.
- z. Solid Waste Disposal Plan. As required by Article VII, Section 7 of the Code.
- aa. Liquid Waste (Disposal) Plan. As required by Article VII, Section 2 of the Code.
- bb. Timing and Phasing of Development. Projections for 5 to 10 years.
- cc. Copies of deed restrictions and protective covenants must be submitted.

7.1.3 Review



- a. A preliminary development plan may be only a phase or portion of the area covered by an approved master plan, so long as the preliminary development plan substantially conforms to the approved master plan.
- b. A preliminary development plan shall be submitted prior to or concurrent with submission of a preliminary plat.
- c. The application for preliminary development plan approval shall be presented to the County Development Review Committee for review with a staff report. The staff report shall include a description of the proposed project, an evaluation of pertinent planning issues, and a statement on the compliance of the project with the County General Plan and Code. The report may include recommended conditions of approval. The report shall include all comments from appropriate State or Federal agencies, the County Fire Marshal, the County Hydrologist, and other appropriate County personnel. Particular attention shall be given in the staff report to public

agency comments which relate to potential limitations of lot size, intensity, or character of development.

7.1.4 Criteria for development plan phase approval

- a. Conformance to the approved master plan;
- b. The plan must meet the criteria of Section 5.2.4 of this Article V.

7.2 Final Development Plan

7.2.1 Submittals

A final development plan conforming to the approved preliminary plan and approved preliminary plat, if required, and containing the same required information shall be submitted. In addition, the final development plan shall show, when applicable, and with appropriate dimensions, the locations and size of buildings, heated floor area of buildings, and minimum building setbacks from lot lines or adjoining streets. Documents to be submitted at this time are: proof of ownership including necessary title documents, articles of incorporation and by-laws of owners' association; required disclosure statements; final engineering plans and time schedule for grading, drainage, and all improvements including roads, water system, sewers, solid waste, utilities; engineering estimates for bonding requirements; development agreements; and final subdivision plats, if required.

7.2.2 Review

The final development plan shall be submitted to the County Development Review Committee accompanied by a staff report. The County Development Review Committee shall review the plan and make a determination as to its compliance with the County General Plan and Code. The County Development Review Committee may recommend changes or additions to the plan as conditions of its approval. The final development plan as approved by the County Development Review Committee shall be filed with the County Clerk. The approved final development plan becomes the basis of development permits and for acceptance of public dedications. Any changes in the plan must be approved by the County Development Review Committee.

History. 1980 Comp. 1980-6. Section 7 of Article V was amended by County Ordinance 1987-1 adding language relating to master plans.

SECTION 8 - SUBDIVISION DESIGN STANDARDS

These standards shall be binding upon the subdivider unless modifications are justified by sound engineering principles. Such modifications from these standards may be approved by the Board after a review by the County Development Review Committee upon presentation of documented justification by a licensed professional engineer.

8.1 General Policy on Roads

8.1.1 General

The arrangement, character, extent, width, grade and location of all roads shall be considered in relation to convenience and safety, and to the proposed uses of land to be served by such roads. Prior to grading or roadway cuts, all applicable permits shall be granted by the Code Administrator.

NBCC-57

agency comments which relate to potential limitations of lot size, intensity, or character of development.

7.1.4 Criteria for development plan phase approval

- a. Conformance to the approved master plan.
- b. The plan must meet the criteria of Section 5.2.4 of this Article V.



7.2 Final Development Plan

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History. 1980 Comp. 1980-6. Section 7 of Article V was amended by County Ordinance 1987-1 adding language relating to master plans.

SECTION 8 - SUBDIVISION DESIGN STANDARDS

These standards shall be binding upon the subdivider unless modifications are justified by sound engineering principles. Such modifications from these standards may be approved by the Board after a review by the County Development Review Committee upon presentation of documented justification by a licensed professional engineer.

8.1 General Policy on Roads

8.1.1 General

The arrangement, character, extent, width, grade and location of all roads shall be considered in relation to convenience and safety, and to the proposed uses of land to be served by such roads. Prior to grading or roadway cuts, all applicable permits shall be granted by the Code Administrator.



NBC-58

TABLE 3.3 REQUIRED RESPONSES TO LEAKAGE DETECTED FROM THE LEACH PAD AND PROCESSING CHEMICAL STORAGE PONDS	
Leakage Category	Response
Zero leakage to 200 gal/day-acre	Notify the County & NM Environment Department, increase pumping and monitoring
Leakage from 200 gal/day-acre to 400 gal/day-acre	Change operating practices to reduce leakage, stop applying all cyanide to heap
Leakage in excess of 400 gal/day-acre	Repair leaks under schedule to be established by the County

History: Section 5 was amended by County Ordinances 1991-2 and 1993-3.

SECTION 6 - LARGE SCALE RESIDENTIAL USES



6.1 Location

Large scale residential uses include multi-family residential uses, institutional-residential uses and resort uses and are allowed anywhere in the County provided the requirements of the Code are met.

6.2 Uses

- 6.2.1 Multi-family residential uses include the following having five (5) or more dwelling units:
 - 6.2.1a apartments
 - 6.2.1b residential condominiums
 - 6.2.1c residential cooperatives
 - 6.2.1d mobile home parks which are not subdivisions
- 6.2.2 Institutional-residential uses include the following having five (5) or more units intended to be used for overnight occupancy:
 - 6.2.2a hospitals
 - 6.2.2b universities
 - 6.2.2c boarding schools
 - 6.2.2d facilities owned or used by any governmental entity
 - 6.2.2e nursing and rest homes
 - 6.2.2f retirement homes
 - 6.2.2g facilities owned or used by religious organizations
- 6.2.3 Resort uses include any of the following having five (5) or more units intended to be used for overnight occupancy:
 - 6.2.3a summer camps
 - 6.2.3b resort cabins

NBC-59



Leakage Category	Response
Zero leakage to 200 gal/day-acre	Notify the County & NM Environment Department, increase pumping and monitoring
Leakage from 200 gal/day-acre to 400 gal/day-acre	Change operating practices to reduce leakage: stop applying all cyanide to heap
Leakage in excess of 400 gal/day-acre	Repair leaks under schedule to be established by the County

History: Section 5 was amended by County Ordinances 1991-2 and 1993-3.

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6.2.1c residential cooperatives

6.2.1d mobile home parks which are not subdivisions

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6.2.2b universities

6.2.2c boarding schools

→ 6.2.2d facilities owned or used by any governmental entity

6.2.2e nursing and rest homes

6.2.2f retirement homes

6.2.2g facilities owned or used by religious organizations

6.2.3 Resort uses include any of the following having five (5) or more units intended to be used for overnight occupancy:

6.2.3a summer camps

6.2.3b resort cabins



e. Parks and Recreation

For multi-family residential uses and institutional-residential uses having 25 or more dwelling units, open space shall be provided for parks and recreation on a ratio of ten (10) acres per 1,000 residents; provided, however, that no such open space shall contain less than 1 acre per use. These open spaces shall be suitable for a park development.

6.3.2 Performance Standard

No use may be allowed which will significantly interfere with the existing use of the property in adjacent areas.

6.3.3 Buffer Zones

Structures involving large scale residential uses shall be set back fifty (50) feet from the property line. In the setback area, existing vegetation shall be preserved and natural topographic features or planting shall be used. The setback area may be used to meet the off-street parking requirement of Subsection 5 of this Section, except that no parking shall be provided within five (5) feet of the property line. Buffering and landscaping requirements are set forth in Section 4.4.4f of this Article III. Lighting standards are found in Section 4.4.4h of this Article III.

History: 1980 Comp. 1980-6. Section 6.3.3 was amended by County Ordinance 1988-9, cross-referencing Buffering, Landscaping and Lighting Standards of Article III, Section 4.



6.3.4 Maximum Height

Structures shall be limited to a maximum height of 36 feet from the highest point of the surface of the ground at the perimeter of the structure.

6.3.5 Parking

The parking requirements of Article III, Section 9 shall be met.

6.4 Submittals and Review

6.4.1 Submittals

Applicants who propose large scale residential developments which will be developed in phases or stages shall meet the submittal requirements of Article V, Section 4.4 for master plans and staged development plans in lieu of requirements of Section 6.4.1 (a) through (d) below. For other proposed development which involves a large scale residential use provided for in this Article III, Section 6, the applicant shall fill out a development permit application on a form provided by the Code Administrator, and the application shall be accompanied by:

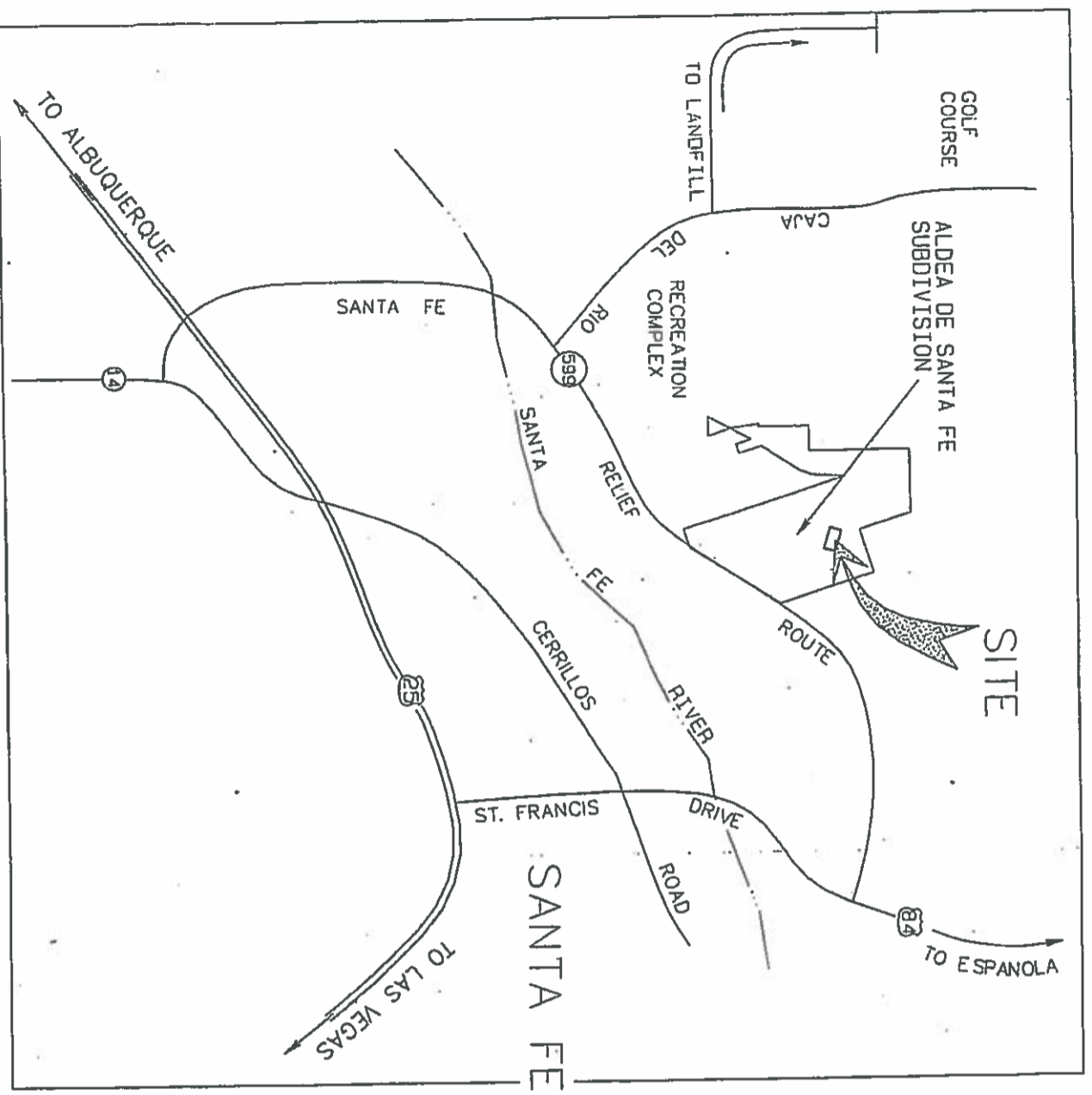
Compilers Note. For single use or single phase developments, 6.4.1a through d, as set forth below, apply.

- a. Vicinity map. A vicinity map drawn at a scale of not more than 2,000 feet to one inch showing contours at twenty (20) foot intervals showing the relationship of the site to



NPBC-61

ALDEA
de Santa Fe
NEW MEXICO
SANTA FE
AMENDED MASTER PLAN



VICINITY MAP
NOT TO SCALE

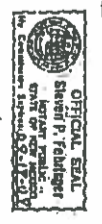
INDEX:

- MP-0 COVER
- MP-1 AMENDED MASTER PLAN
- MP-2 PARTIAL MASTER PLAN
- L-1 PARTIAL LANDSCAPE PLAN
- GD-1 PARTIAL GRADING / DRAINAGE PLAN
- MP-3 CONCEPTUAL MASTER UTILITY PLAN

PURPOSE STATEMENT: THE PURPOSE OF THIS MASTER PLAN AMENDMENT IS TO ALLOW UP TO 115,000 SQ. FT. OF COMMERCIAL DEVELOPMENT TO ADD THIRTY-SIX UNITS TO THE LIST OF ALLOWED USES, AND FOR APPROVAL TO DEVELOP THE PROPOSED 14004 IN THREE PHASES.

MASTER PLAN AMENDMENT FOR ALDEA DE SANTA FE
7-10N & 10E, Section 21, Santa Fe County, New Mexico

Aldeia LLC by Aldeia LLC, Authorized Agent
Debra R. Smith
 The foregoing was submitted and adopted by the Board of Directors of Aldeia LLC on this 18th day of April, 2018.
 Approved by: *Debra R. Smith*
 Secretary



Approved by the Board of County Commissioners at their meeting of February 23, 2005.
Mary R. Long
 County Clerk

Approved by: *Yvonne Starnes*
 County Development Director
 Approved by: *Debra R. Smith*
 County Clerk



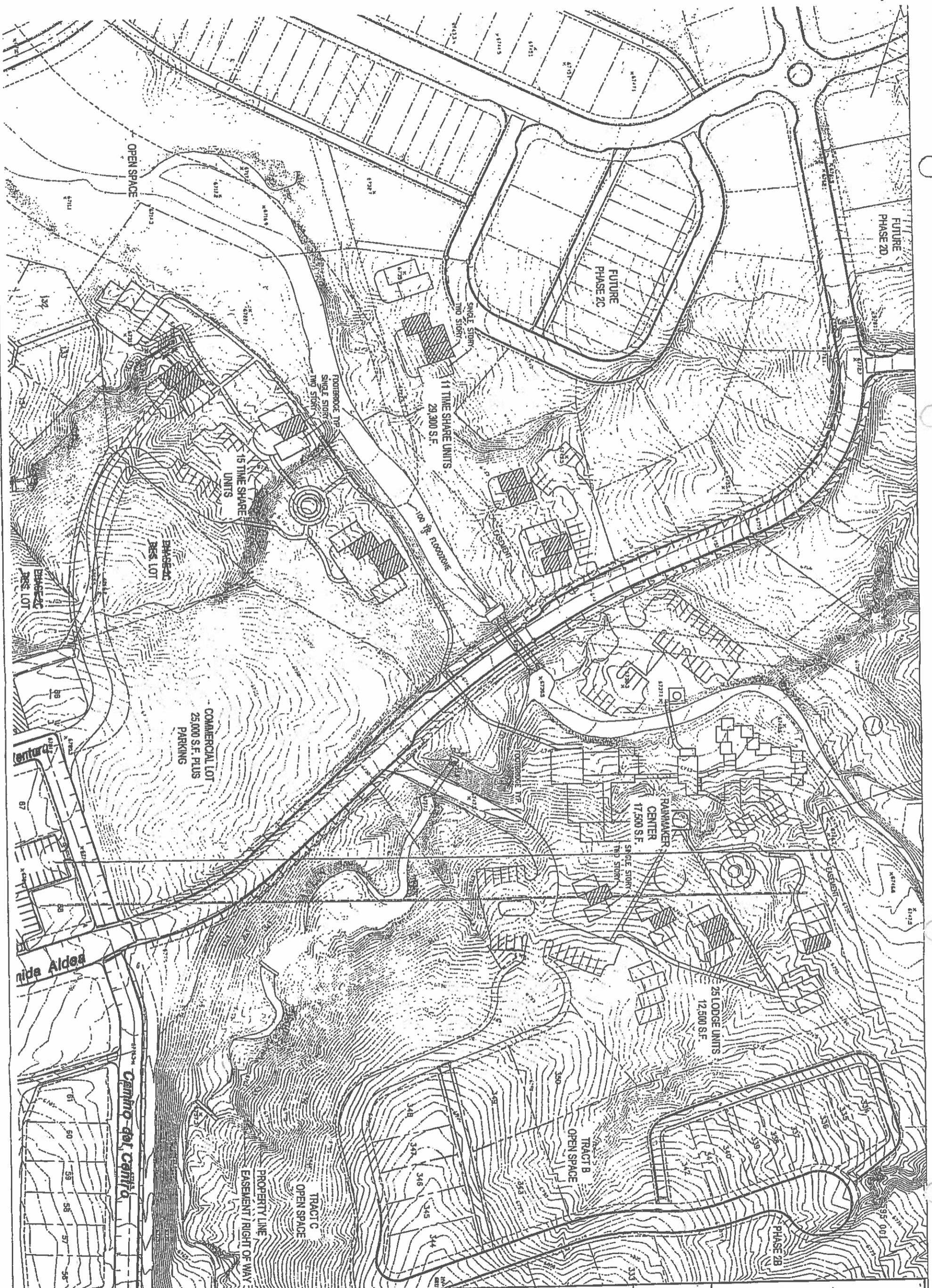
1/31/04
 STATE OF NEW MEXICO
 COUNTY OF SANTA FE
 ENGINEER
 I, *[Signature]*, a duly licensed Professional Engineer in the State of New Mexico, do hereby certify that the above is a true and correct copy of the original as shown to me by the engineer in charge of the project.

LORN TRYK ARCHITECTS
 206 McKenzie, Suite F2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: mail@ltryk.com

ALDEA
de Santa Fe
SANTA FE NEW MEXICO
REVISED MASTER PLAN

Date	Apr 18, 05
Drawn By	0218
Checked By	
Approved By	
Scale	Cover
Sheet No.	MP-0





Date: Apr 18, 05
 Drawn by: J. J.
 Checked by: J. J.
 Scale: 1:50
 Sheet No. 1
MP-2
NBC-64
 PARTIAL MASTER PLAN

ALDEA
 de Santa Fe
 SANTA FE NEW MEXICO
REVISED MASTER PLAN

LORN TRYK ARCHITECTS
 206 McKenzie, Suite F2
 Santa Fe, New Mexico 87501
 Telephone: 505-982-5340 Fax: 505-982-5393
 E-Mail: mail@tryk.com

CC-13

WARRANTY DEED

1823644

Irwin D. Cromwell, as Trustee under the Irwin D. Cromwell Revocable Living Trust Agreement dated May 28, 1991, as to an undivided 50% interest and Florence C. Cromwell, as Trustee under the Florence C. Cromwell Revocable Living Trust Agreement dated May 28, 1991, as to an undivided 50% interest, for consideration paid, grant (s) to Aldea, LLC, a New Mexico limited liability company, whose address is

P.O. Box 1983
Santa Fe, Nm 87504-1983

the following described real estate in Santa Fe County, New Mexico:

Lots 1, 2, 3, 4 and 5, as shown on that certain plat entitled "Lot Split prepared for Irwin & Florence Cromwell within Sections 20 & 29, T.17N., R.9E., Santa Fe County, New Mexico", prepared by Richard E. Smith, NMPLS #5837 dated August 1991, filed as Document No. 756,865 and recorded in Plat Book 230, Page 027, in the records of Santa Fe County, New Mexico.

Less and except lands conveyed to New Mexico State Highway & Transportation, recorded in Book 1222, Pages 528 and 530, in the records of Santa Fe County, New Mexico.

SUBJECT TO:

- 1) Reservations, restrictions, easements and covenants of record.
- 2) Taxes and assessments for the year 2000 and subsequent years, not yet due and payable.
- 3) All matters set forth on the above described recorded Plat of Survey.

with warranty covenants.

WITNESS our hands and seals this 22nd day of October, 2000.

Irwin D. Cromwell Revocable Living Trust Agreement dated May 28, 1991

Florence C. Cromwell Revocable Living Trust Agreement dated May 28, 1991

Irwin D. Cromwell
by Irwin D. Cromwell, Trustee

Florence C. Cromwell
by Florence C. Cromwell, Trustee



COUNTY OF SANTA FE 1135077
STATE OF NEW MEXICO SS
I hereby certify that this instrument was filed for record on the 22nd day of Oct 2000 at 2:27 o'clock and was duly recorded in Book 1823 page 644-645 of the records of Santa Fe County
Witness my Hand and Seal of Office
Rebecca Bustamante
County Clerk, Santa Fe County, N.M.
Maryje Disher
Deputy



NBC-65

ACKNOWLEDGEMENT FOR NATURAL PERSONS

1823645

STATE OF NEW MEXICO

ss.

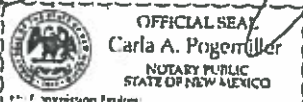
COUNTY OF SANTA FE

This instrument was acknowledged before me on the 23 day of October, 2000, by Irwin D. Cromwell, as Trustee under the Irwin D. Cromwell Revocable Living Trust Agreement dated May 28, 1991, on behalf of said trust.

Carla A. Pogemiller
Notary Public

My Commission expires: 4/4/03

(Seal)



ACKNOWLEDGEMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO

ss.

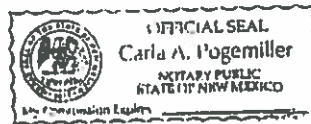
COUNTY OF SANTA FE

This instrument was acknowledged before me on the 23 day of October, 2000, by Florence C. Cromwell, as Trustee under the Florence C. Cromwell Revocable Living Trust Agreement dated May 28, 1991, on behalf of said trust.

Carla A. Pogemiller
Notary Public

My Commission expires: 6/4/03

(Seal)



2

NBC-666

March 11, 2015

RE: The Legacy at Santa Fe
Lot 237

To Whom It May Concern:

This letter shall serve as authorization for JenkinsGavin Design & Development, Inc. to act on behalf of PinPoint Equities, LLC with respect to the referenced property and land use applications to be submitted to Santa Fe County.

Thank you.

Sincerely,



Charles Turner
for PinPoint Equities, LLC

ACKNOWLEDGEMENT

STATE OF TEXAS)
(ss.
COUNTY OF HARRIS (

On this 11 day of March, 2015, the foregoing instrument was acknowledged before me
by CHARLES TURNER.



Notary Public

My commission expires: SEPT. 25, 2015



NBC-68

CERTIFICATION OF POSTING

I herby certify that the public notice posting regarding Land Development

Case # PDP/FDP¹⁵⁻5090 was posted for 21 days on the property beginning

The 30th day of April, 2015. **

[Handwritten Signature]
Signature

*Photo of posting must be provided with certification

****PLEASE NOTE:** Public notice is to be posted on the most visible part of the property. Improper legal notice will result in re-posting for an additional 21 days. It is the Applicant's responsibility to ensure that the notice is on the property for the full 21 days.

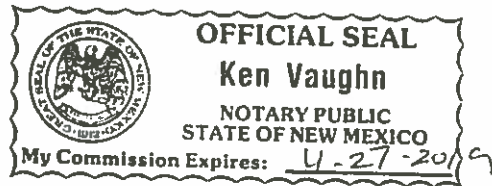
STATE OF NEW MEXICO }
 }
COUNTY OF SANTA FE }

The foregoing instrument was acknowledged before me this 15th day of May, 2015, By Hillary Welles.

[Handwritten Signature]
Notary Public

My Commission Expires:

April 27, 2019



NBC-69



NBC-70

SANTA FE NEW MEXICAN

Founded 1849

JENKINS GAVIN DESIGN.
130 GRANT AVE STE 101
SANTA FE, NM 87501

ACCOUNT: 4904
AD NUMBER: 0000119598
LEGAL NO 98334 P.O. #:
1 TIME(S) 73.50
AFFIDAVIT 20.00
TAX 6.84
TOTAL 90.34

AFFIDAVIT OF PUBLICATION

STATE OF NEW MEXICO
COUNTY OF SANTA FE

I, W. Barnard, being first duly sworn declare and say that I am Legal Advertising Representative of THE SANTA FE NEW MEXICAN, a daily newspaper published in the English language, and having a general circulation in the Counties of Santa Fe, Rio Arriba, San Miguel, and Los Alamos, State of New Mexico and being a newspaper duly qualified to publish legal notices and advertisements under the provisions of Chapter 167 on Session Laws of 1937; that the Legal No 98334 a copy of which is hereto attached was published in said newspaper 1 day(s) between 04/30/2015 and 04/30/2015 and that the notice was published in the newspaper proper and not in any supplement; the first date of publication being on the 30th day of April, 2015 and that the undersigned has personal knowledge of the matter and things set forth in this affidavit.

ISI

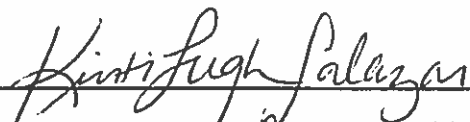


LEGAL ADVERTISEMENT REPRESENTATIVE

Subscribed and sworn to before me on this 30th day of April, 2015

Notary

Commission Expires:


August 11, 2018



NBC-71

SantaFeNewMexican.com

202 East Marcy Street, Santa Fe, NM 87501-2021 - 505-983-3303 - fax: 505-984-1785 - P.O. Box 2048, Santa Fe, NM 87504-2048

THE SANTA FE
NEW MEXICAN
Founded 1849

LEGAL # 98334

CDRC CASE #
PDP/FDP 15-5090 The
Legacy at Santa Fe

**NOTICE OF PUBLIC
HEARING**

Notice is hereby given that a public hearing will be held to consider a request by PinPoint Equities, LLC, for Preliminary and Final Development Plan approval for an Assisted Living Facility on 6.78 + acres within Phase I-A of Aldea de Santa Fe. The 66,476 square foot facility will contain 84 beds and will be constructed 33' 10" in height. The property is located at 34 Avenida Frijoles, North of 599, within Sections 20, Township 17 North, Range 9 East, (Commission District 2).

A public hearing will be held in the County Commission Chambers of the Santa Fe County Courthouse, corner of Grant and Palace Avenues, Santa Fe, New Mexico on the 21st day of May 2015, at 4 p.m. on a petition to the County Development Review Committee.

Please forward all comments and questions to the County Land Use Administration Office at 986-6225.

All interested parties will be heard at the Public Hearing prior to the Commission taking action.

All comments, questions and objections to the proposal may be submitted to the County Land Use Administrator in writing to P.O. Box 276, Santa Fe, New Mexico 87504-0276; or presented in person at the hearing.

Published in The Santa Fe New Mexican on April 30, 2015

NBC-72

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City, State, ZIP+4		

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City, State, ZIP+4		

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CDRC Case #PDP/FDP 15-5090

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 34 LOS TAPIAS LN
 SANTA FE, NM 87508
 CDRC Case #PDP/FDP 15-5090

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 ASSOC
 PO BOX 93488
 ALBUQUERQUE, NM 87199
 CDRC Case #PDP/FDP 15-5090

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Sent To: ECCLESTON, GEORGE W & KAY C
 47 AVENIDA FRIJoles
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 CDRC Case #PDP/FDP 15-5090

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 SANTA FE, NM 87507
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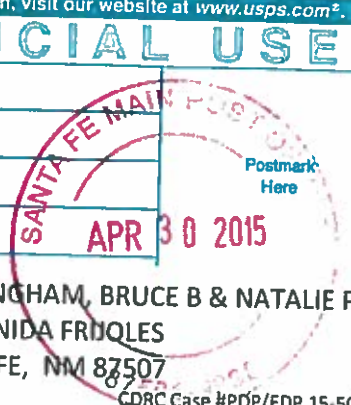
Total Postage THEIS, DENNIS G & JANA M
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