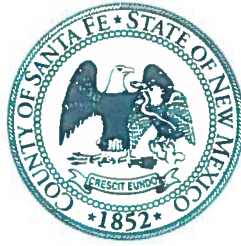


Henry P. Roybal  
Commissioner, District 1

Miguel M. Chavez  
Commissioner, District 2

Robert A. Anaya  
Commissioner, District 3



Kathy Holian  
Commissioner, District 4

Liz Stefanics  
Commissioner, District 5

Katherine Miller  
County Manager

**DATE:** March 17, 2016

**TO:** Santa Fe County Planning Commission

**FROM:** Jose E. Larrañaga, Development Review Team Leader *jeef*

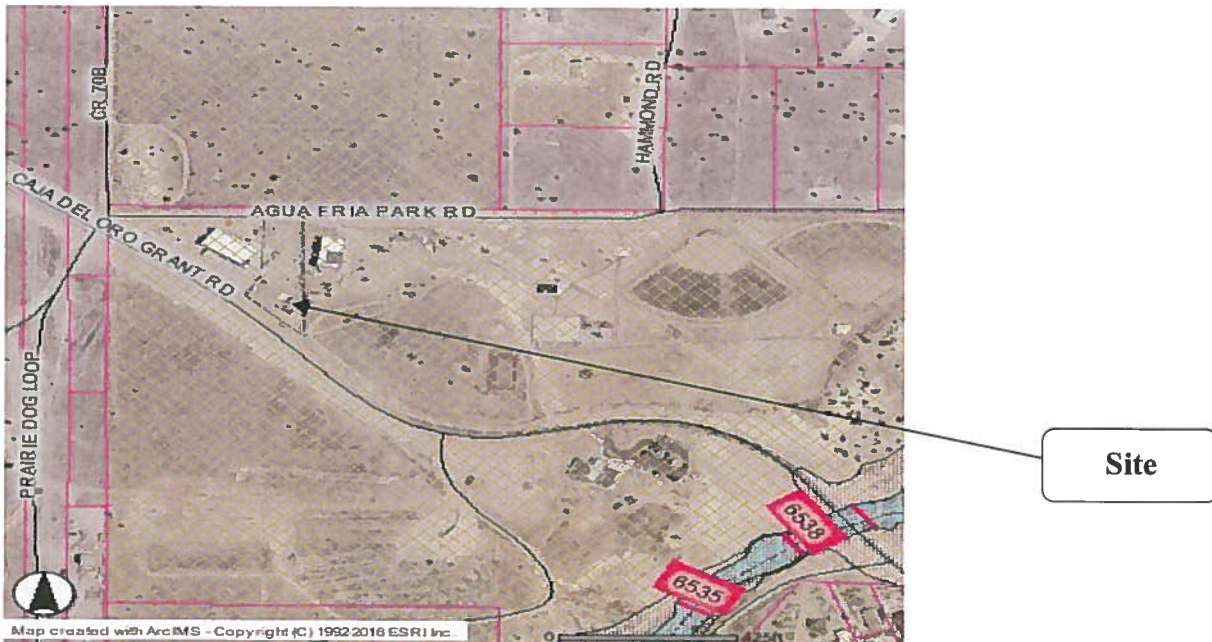
**VIA:** Penny Ellis-Green, Growth Management Director *PEG*  
Vicki Lucero, Building and Development Services Manager *VL*  
Wayne Dalton, Building and Development Services Supervisor *WD*

**FILE REF.:** CASE # CUP 16-5000 Agua Fria Fire Training Tower

**ISSUE:**

Santa Fe County, Applicant, requests approval of a Conditional Use Permit to allow the installation of a Modular Fire Fighter Training Tower, 30'6" in height, on 2.15 acres. The site is within the Village of Agua Fria Community District Overlay (VAFCD) and is zoned as Public/Institutional (VACD PI). Under the VAFCD Use Table a Public safety related Facility is allowed as a conditional use. The property is located at 58 Caja de Oro Grant Road, South of N.M. 599, within T17N, R9E, Section 31 (Commission District 2).

**Vicinity Map:**



NBA-1

## SUMMARY:

On February 25, 2016, the Application for a Conditional Use Permit (CUP) was presented to the Hearing Officer for consideration. The Hearing Officer supported the Application as memorialized in the findings of fact and conclusions of law written order. (Exhibit 11)

The Applicant requests approval of a CUP for the construction and use of a pre-designed/pre-engineered two-story modular Fire Training Tower. The structure consists of three stackable steel containers; with two of the containers stacked on top of the other. At the top of the two-story container is a railing and a climbing tower which is 30' 6" in height from finished grade. The foot print of the two containers placed side by side is 640 square feet. The containers are designed to replicate different scenarios such as, a maze, burn room using butane and wood, and a climbing tower, for firefighting training. The proposed containers allow for diverse training. The containers and railing will be earth tone colors to minimize the visual impact of the structure. Currently, there are two containers on the site which are being utilized to simulate a structure fire. The two existing containers will remain on the site. (Exhibits 1 & 2)

The site is within a 2.15 acre area, within a 70.13 acre New Mexico Land Office Patent parcel. The 2.15 acre site currently houses the Agua Fria Fire Station. The 70.13 acre patent is assigned to Santa Fe County and is recorded as Instrument # 280805 in the Santa Fe County Clerk's records dated April 29, 1971.

The site is within the Village of Agua Fria Community District Overlay (VAFCD), as defined by Ordinance 2015-11, Sustainable Land Development Code (SLDC), Chapter 9, Section 12. The established Zoning District within the Village of Agua Fria Community District, for this site, is Public/Institutional (PI). Chapter 9, Table 9-12-8 designates a public safety related facility as a conditional use within a PI Zoning District. Table 9-12-5: Dimensional Standards Village of Agua Fria Community District PI allows for a maximum height of 48'. (Exhibit 5)

Chapter 9, Section 9.12.4, VAFCD Public/Institutional (VAFCD PI), Purpose states:

The purpose of this district is to allow governmental, educational, and non-profit or institutional uses, including public or community parks and recreation facilities, and public, non-profit, and institutional residential uses, but excluding any such uses of an extensive heavy industrial character. (Exhibit 6)

Chapter 9 (VAFCD), Table 9-12-7, Use Table Labels, states, that a conditional use "is permitted within the zoning district only after review and approval of a Conditional Use Permit (CUP) in accordance with Chapter 14."

Chapter 14, Section 14.9.6.1, Conditional Use Permits, Purpose and Findings:

This section provides for certain uses that, because of unique characteristics or potential impacts on adjacent land uses, are not permitted in zoning districts as a matter of right but which may, under appropriate standards and factors set forth

NIBA-2

herein be approved. These uses shall be permitted through the issuance of a conditional use permit (CUP). (Exhibit 7)

The Applicant presented the Application to the Technical Advisory Committee (TAC) on January 21, 2016, at the regularly scheduled meeting, as required by Chapter 4, Section 4.4.4.3 Pre-application TAC Meeting and Table 4-1. (Exhibit 10)

The Applicant presented the Application to the Agua Fria Village Association on February 1, 2016, at the regular scheduled monthly meeting, as required by Chapter 4, Section 4.4.4.4, Pre-application Neighborhood Meeting. The Applicant submitted an Agenda of the meeting, a list of individuals in attendance, material that was presented by the Applicant, and a summary of discussion from those in attendance. This material is contained in the record. (Exhibit 9)

Notice requirements were met as per Chapter 4, Section 4.6.3., General Notice of Application Requiring a Public Hearing, of the SLDC. In advance of a hearing on the Application, the Applicant provided an affidavit of posting of notice of the hearing, confirming that public notice posting regarding the Application was made for fifteen days on the property, beginning on February 10, 2016. Additionally, notice of hearing was published in the legal notice section of the Santa Fe New Mexican on February 10, 2016, as evidenced by a copy of that legal notice contained in the record. Notice of the hearing was sent to owners of land within 500' of the subject property and a list of persons sent a mailing is contained in the record. (Exhibit 8)

This Application was submitted on January 22, 2016.

**This Application was reviewed for the following applicable design standards as per Chapter 7, Sustainable Design Standards of the SLDC:**

**ACCESS (Section 7.4) and ROAD DESIGN STANDARDS (Section 7.11)**

The County Public Works Division reviewed the Application for access and road design standards and states the following:

Caja Del Oro Grant Road (C.R.62) is a County maintained paved road with two eleven foot driving lanes, with three foot shoulders and bar ditches. The Applicant is proposing to utilize the existing driveway and is not proposing any changes to the existing entrance. A Traffic Impact Analysis is not required due to the low traffic volume created by the proposed project. Public works is in support of the project as submitted.

New Mexico Department of Transportation (NMDOT) reviewed the Application for access and road design standards and states the following, "...this development will not impact the State Transportation system. We therefore approve the study."

**FIRE PROTECTION (Section 7.5)**

The Santa Fe County Fire Department, Fire Prevention Division reviewed the Application and requires compliance with applicable Santa Fe County fire and life safety codes, Ordinances and Resolutions. The project shall comply with Article I, Section 103.3.2-New Construction and

Alterations of the 1997 Uniform Fire Code, inclusive to all sub-sections and current standards, practice and rulings of the Santa Fe County Fire Marshal.

All water to be utilized for extinguishing fires during the training exercise will be hauled in to the site by the same tankers utilized for the training.

**LANDSCAPING AND BUFFERING (Section 7.6)**

There is no existing vegetation on this site. Caja de Oro Grant Road serves as a local road therefore a landscape area ten feet in width shall be provided at the front of the property that abuts the public right of way. The Applicant may submit an alternative landscaping plan to the Administrator as per Section 7.6.8.6.

**FENCES/WALLS (Section 7.7)**

An existing opaque fence, six foot in height, encompasses approximately one acre of the site where the structure will be placed. The fence is constructed with a non-flammable metal with pipe used for uprights and cross section supports. The Applicant proposes that the containers and railing be an earth tone color to minimize the visual impact of the structure.

**LIGHTING (Section 7.8)**

The Applicant is proposing outdoor lighting at each entrance to the structure. The outdoor lighting will consist of fixtures mounted on the structure in such a manner that the cones of light will be directed down towards the ground. Cut sheets of proposed outdoor lights shall be submitted with the Development Permit application.

**SIGNS (Section 7.9)**

No signage is being proposed for this development.

**PARKING/LOADING (Section 7.10)**

The parking for the facility will be primarily for fire apparatus being utilized in the training operation. All other vehicles will park at the existing Agua Fria Fire Station adjacent to the proposed Facility. The perimeter ground surface around the training tower will be paved.

**UTILITIES (Section 7.12)**

Electricity will be connected to the structure and the electric line will be placed underground. A propane tank will be placed on the site to provide propane for the burns within the structure.

**WATER SUPPLY, WASTE WATER & WATER CONSERVATION (Section 7.13)**

All water to be utilized for extinguishing fires during the training exercise will be hauled on to the site by the same tankers utilized for the training. The structure's use does not require any onsite water.

The structure will not have facilities that would create liquid waste. The restroom facilities at the adjacent Agua Fria Fire Station will be utilized during any training operations.

**ENERGY EFFICIENCY (Section 7.14)**

N/A

**OPEN SPACE (Section 7.15)**

N/A

**PROTECTION OF HISTORIC AND ARCHAEOLOGICAL RESOURCES (Section 7.16)**

This project was reviewed by the State of New Mexico Historic Preservation Division (HPD) and states the following:

The Agua Fria Fire Station property was surveyed for cultural resources in 2013, as part of a survey for Romero Park. No archaeological sites were found on the Fire Station property. Based on this information, the proposed training tower will have no effect on historic properties and HPD has no concerns with the proposed development plan.

**TERRAIN MANAGEMENT (Section 7.17)**

The site is flat with a very slight natural drainage towards the North West corner of the fenced area. A 300 cf retention pond will be constructed on the North West corner of the fenced area, to capture any impervious runoff and water that is generated by the training facility. The Applicant shall submit drawings and calculations of the proposed retention pond with the Development Permit application.

**FLOOD PREVENTION AND FLOOD CONTROL (Section 7.18)**

The site is not within a FEMA Flood Hazard Area.

**SOLID WASTE (Section 7.20)**

No solid waste is expected to gather on this site with the exception of debris created from burns utilizing wood. The structure is equipped with a catchment screen to collect the ash and other debris. This waste will be removed and disposed of at an appropriate landfill.

**AIR QUALITY AND NOISE (Section 7.21)**

The burns are extinguished 15 minutes after ignition of the fire during the training sessions. A training session could last up to an hour with approximately 3 to 4 burns during the session. Due to the duration of the burn(s) very little smoke will be created, having a minimal impact on the air quality in the area.

The activity during the training session will not create added noise to the area.

**VILLAGE OF AGUA FRIA COMMUNITY DISTRICT OVERLAY (VAFCD) (Chapter 9, Section 9.12)**

No additional design standards from Chapter 9, Section 9.12 are applicable to this development.

**AGENCY REVIEW (Exhibit 3)**

<u>Agency</u>	<u>Review Comment</u>
NMDOT	Approval
NMED	No Comment
OSE	No Opinion
SHPO	Approval
County Public Works	Approval
County Fire Marshal	Approval
County Hydrologist	Approval
County Planning Department	Approval

**Building and Development Services staff reviewed this project for compliance with pertinent SLDC requirements and found that the facts presented support the request for the construction and use of a modular Fire Training Tower. The facts that support the Application's approval are: the facility will provide a community service to the County; the use is compatible with the current development; the use will not impact adjacent land uses; and the Application satisfies the submittal requirements set forth in the SLDC.**

**The review comments from State Agencies and County staff establish that this Application for the construction and use of a modular Fire Training Tower is in compliance with State requirements and SLDC design standards.**

**RECOMMENDATION:**

**Staff recommends approval of the Application, adoption of the Hearing Officer's findings of fact and conclusions of law, and the following conditions:**

1. A certified copy of the CUP shall be recorded in the office of the County Clerk in accordance with Chapter 14, Section 14.9.6.8.4.
2. The Applicant shall comply with landscape requirements in accordance with Chapter 7, Section 7.6.
3. The Applicant shall comply with lighting requirements in accordance with Chapter 7, Section 7.8.
4. The Applicant shall comply with terrain management requirements in accordance with Chapter 7, Section 7.17.5.2.
5. All site improvements (paving, retention pond, etc.) shall be completed prior to the facility being utilized.

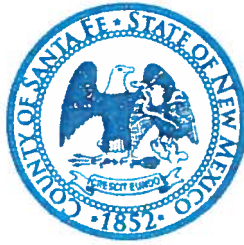
**EXHIBITS:**

1. Development Plan Report
2. Proposed Plans
3. Reviewing Agency Responses
4. Aerial Photo of Site
5. Chapter 9, Table 9-12-8 & Table 9-12-5
6. Chapter 9, Section 9.12.4
7. Chapter 14, Section 14.9.6.1
8. Notice
9. Community Meeting Material
10. TAC Summary
11. Hearing Officer Final Order

**Henry P. Roybal**  
Commissioner, District 1

**Miguel M. Chavez**  
Commissioner, District 2

**Robert A. Anaya**  
Commissioner, District 3



**Kathy Holian**  
Commissioner, District 4

**Liz Stefanics**  
Commissioner, District 5

**Katherine Miller**  
County Manager

**PUBLIC WORKS DIVISION  
MEMORANDUM**

**Date:** January 22, 2016

**To:** Jose Larranaga, Land Use Department

**From:** Ron Sandoval, Project Manager Public Works

**Re: Request Approval for the Installation of a Modular Fire Fighter Training Tower Located at the Agua Fria Fire Station, 2020 Caja del Oro Grant Road, Santa Fe, NM 87507.**

**BACKGROUND:**

In early May 2015 the Santa Fe County Fire Department requested bids for the purchase and installation of a pre-designed, pre-engineered, two-story modular Fire Training Tower for the Santa Fe County Fire Department from a qualified licensed CF-7 contractor. The modular containers were required to meet standards in accordance with ISO (International Organization for Standardization), NFPA 1402 guidelines, and other contract documents prepared by Santa Fe County.

On May 29, 2015 a bid was received from Fire Training Structures, LLC (FTS) 3233 E. Corona Ave., Phoenix Arizona 85040 and was awarded the project on June 30, 2015. The work consists of but not limited to delivery and installation of three (3) new stackable steel containers.

Because FTS is located in the state of Arizona the design team is unable to stamp construction drawings within the State of New Mexico. FTS hired a local contractor for pulling permits and to complete the assembling of the training tower.

Santa Fe County's work required hiring a local licensed Engineer to draw up footings plans and stamp for forwarding over to the Santa Fe County Land Use Division and the New Mexico State Construction Industries Division for permitting approval. In addition SFC is responsible for coordinating and hiring a local licensed contractor for the construction of the footings and site preparation for the training tower. This includes, but is not limited to soil work, concrete pads, propane and electrical connections.

**ACTION REQUESTED:**

Approve the installation of a Fire Training Tower located at the Agua Fria Fire Station, 2020 Caja de Oro Grant Rd., Santa Fe, New Mexico 87501.





**Agua Fria Fire Station  
Training Tower Structure  
2020 Caja del Oro Grant Ave.**

Additional information:

- The Fire Department has been providing training on this site for over ten years.
- Currently there is a training modular on site.
- The training tower is an upgrade to the existing training modular.
- The training tower is a modern training facility.
- The Fire Department is contacting the local community association to schedule a time to present the project to the community.
- The Fire Department will not use water from the current supply provided by a County owned well for the Agua Fria Station for training. Current trainings are conducted by bringing water on site in the fire trucks from fire hydrants throughout the County.
- A water budget is not needed for this project.
- A retention pond will be installed to contain onsite run-off.
- Clean out hatch in burn room for cleaning out burn materials in room.
- Debris (ash) accumulated from training on burns will be at a minimal with the material collected within structure and disposed of at the local landfill.
- Training activities will not always include burns.
- Training tower includes a clean burn room that utilizes propane fuel.
- A six ft. fence around the perimeter of the property will stay and will screen training tower at ground level.
- The training tower color will blend in with existing colors on the station and fence (light tan to brown).
- Landscaping is not scheduled to be installed. It is not feasible to plant in this area due to the type of training scheduled.
- The perimeter ground surface around the training tower within the fence line is scheduled to be paved draining into new retention pond.
- Exterior lighting is not scheduled to be installed.
- No signage is scheduled to be installed at project site.
- A septic permit and /or Liquid Waste Disposal Plan will not be required for this project.
- The scope of work includes six pads for building foundation
- One pad for staircase
- A five ft. sidewalk around the perimeter of the structure.
- Excavation of a trench for electricity hook ups.
- Excavation of a trench for propane connection.
- Propane tank is scheduled to be located outside of perimeter fence on the west side of property.

NFPA 1402 & 1403 / OSHA Regs

Rappelling Tower / OSHA

NEW insulated 8'x8.5' x 40' - 14ga. Steel Containers

Undercarriage 5x75" x .125 Channel with weather resistant coating

**Unit #1** –Lower FRONT

(class a fuel) Original flooring removed (NFPA) no combustibile components in burn room and

Non-slip diamond plate steel welded solid to perimeter of container/welded floor joists,

(permanent non-warping floor)

Diamond plate steel welded together to maintain a flat level floor

Fire blocks installed over the diamond plate steel for a level floor area/drainage weeps under block

Clean out hatch in burn room (clean out burn materials in room)

Walls ceiling will be constructed heavy gauge corrugated steel ( ?)

And high performance insulation to withstand repeated evolutions up to 1100 degrees (high temperature coating)

Sheets welded with solids weld to keep smoke form getting into void spaces between interior and exterior

Ventilation Hatch

Suspension chains along ceiling and walls for burn material/ burn crib to enable horizontal and vertical burning of pallets

4 zone interior Electronic Temp monitoring system/ reads ambient air temp and relays info to exterior mounted data logger (attached to laptop download graphed results of fire evolution)

Steel tube framed window with locking latch (wheel enclosure- pull from interior or push from exterior to open) 2 Fire doors will have the same wheeled enclosure system... doors and windows can be locked from interior for security

Doors and windows heavy duty hinges/springs will not warp after repeated use

4x8 wall breach simulator (2x4) studs with 16" centers/siding plywood or sheetrock can also be utilized Placed in framed opening between unit 1 and unit 2

OSHA compliant guardrail (8'x20') section of roof

(option) 8'x7' Vertical Pitched Roof/ceiling pull prop w/4'x8' chop out area

(option)Void space prop (fire behind wall)

(option) ¾ sprinkler system with 2 sprinkler heads and 1 control valve charged from standpipe connection

NBA-9

## **UNIT 2 Lower REAR**

OSHA compliant interior stairwell w/ handrails and bar gate with step up to Unit 3 (TOP)

2 Steel framed windows

Configurable MAZE System- 360 degree pivoting steel panels for quick layout and re-config of maze  
(option) 4-Door forcible entry door prop- 2 interior and 2-exterior w/ 2 vertical and horizontal cutting sections and 1 pry section

(option) 1 two level standpipe connection attached to exterior w/ Siamese connection and gate valve in burn room and roof top

## **UNIT 3 TOP**

Original flooring removed from (same as unit 1) NFPA

Enclose 8'x8'x20 burn room (LPG OPTION)

Ventilation Hatch operated by exterior mounted winch and cable system w/interlocking seal

Clean out hatch

Block lined / weep holes

4 zone temp monitoring

Fire Window

1 3'x6'8" door

(option) 8'x40' active roof top with OSHA compliant guardrail surround perimeter, floor bar grating surface-non-slip walking surface- fire hatch form interior steel stairs/rails

(option)Rappelling platform (TOP) 8'x10'x10' OSHA rated anchors, rings, steel railing enclosed ladder  
Exterior stairs

(option) Electrical 100 amp

4 flood lights Unit 3- 2 each side (TOP)

4 flood lights Midpoint 7.5' off ground- independent switches at each light

3 interior outlets

Illuminated interior in unit 2

NBA-10

**STORMWATER RUNOFF CALCULATIONS**

Peak Rates of Discharge for Small Watersheds- SCS Chapter 2 (revised 2/85)

Site:	<b>Agua Fria Fire Station Training Tower</b>				
Date:	<b>Jan. 25, 2015</b>				
<b>Pre Development</b>					
	Cn		Area (sqft)	Acres (acres)	Cn
Total Roof Area	98		0	0	0
Landscaped Area	69		0	0	0
Paved Surfaces	95		5952	0.137	17.844
Gravel Driveways	85		0	0	0
Sidewalk Areas	95		0	0	0
Deck Areas	90		0	0	0
Undeveloped Areas	80		25736	0.591	64.9735
<b>Total</b>			<b>31688</b>	<b>0.728</b>	<b>82.8175</b>
				<b>Weighted Cn =</b>	<b>82.82</b>
<b>Post Development</b>					
	Cn		Area (sqft)	Acres (acres)	Cn
Total Roof Area	98		640	0.0147	1.9793
Landscaped Area	69		0	0	0
Paved Surfaces	95		5952	0.137	17.844
Gravel Driveways	85		0	0	0
Sidewalk Areas	98		0	0	0
Deck Areas	90		0	0	0
Undeveloped Areas	80		25096	0.576	63.3577
<b>Total</b>			<b>31688</b>	<b>0.728</b>	<b>83.181</b>
				<b>Weighted Cn =</b>	<b>83.2</b>
Time of Conc. (hr.)	0.167	Fig 2.2			
Unit Discharge(cfs/ac-in)	2.3	Fig 2.4			
100 yr. Rainfall (in)	<b>3.22</b>				
			Pre. Devel.	Post Devel.	
Runoff Q (in)			1.61243	1.63876	
Peak Discharge (cfs)			2.69984	2.74394	
Volume Runoff (ac-ft)			0.09782	0.09942	
Volume Runoff (cf)			4261.05949	4330.65344	
Storage Volume Required (cf)		<b>69.593951</b>			
Storage Volume Provided (cf)		<b>300</b>			

NBA-11

NOAA's National Weather Service  
**Hydrometeorological Design Studies Center**  
 Precipitation Frequency Data Server (PFDS)

Home Site Map News Organization



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**NOAA ATLAS 14 POINT PRECIPITATION FREQUENCY ESTIMATES: NM**

**DATA DESCRIPTION**

Data type:  Units:  Time series type:

**SELECT LOCATION**

**1. Manually:**

a) Enter location (decimal degrees use "." for S and W) latitude  longitude    
 b) Select station ([click here for a list of stations used in frequency analysis for NM](#)):

**2. Use map:**

a) Select location (move crosshair or double click)  
 b) Click on station icon ( show stations on map)

**LOCATION INFORMATION:**  
 Name: Santa Fe, New Mexico, US\*  
 Latitude: 35.6613°  
 Longitude: -106.0318°  
 Elevation: 6572 ft\*

Map data ©2016 Google \* source: Google Maps

- Precipitation Frequency (PF)
  - PF Data Server
  - PF in GIS Format
  - PF Maps
  - Temporal Distr.
  - Time Series Data
  - PFDS Perform.
  - PF Documents
- Probable Maximum Precipitation (PMP)
  - PMP Documents
- Miscellaneous
  - Publications
  - AEP Storm Analysis
  - Record Precipitation

- Contact Us
  - Inquiries
  - List-server



**POINT PRECIPITATION FREQUENCY (PF) ESTIMATES**  
 WITH 90% CONFIDENCE INTERVALS AND SUPPLEMENTARY INFORMATION  
 NOAA Atlas 14, Volume 1, Version 5

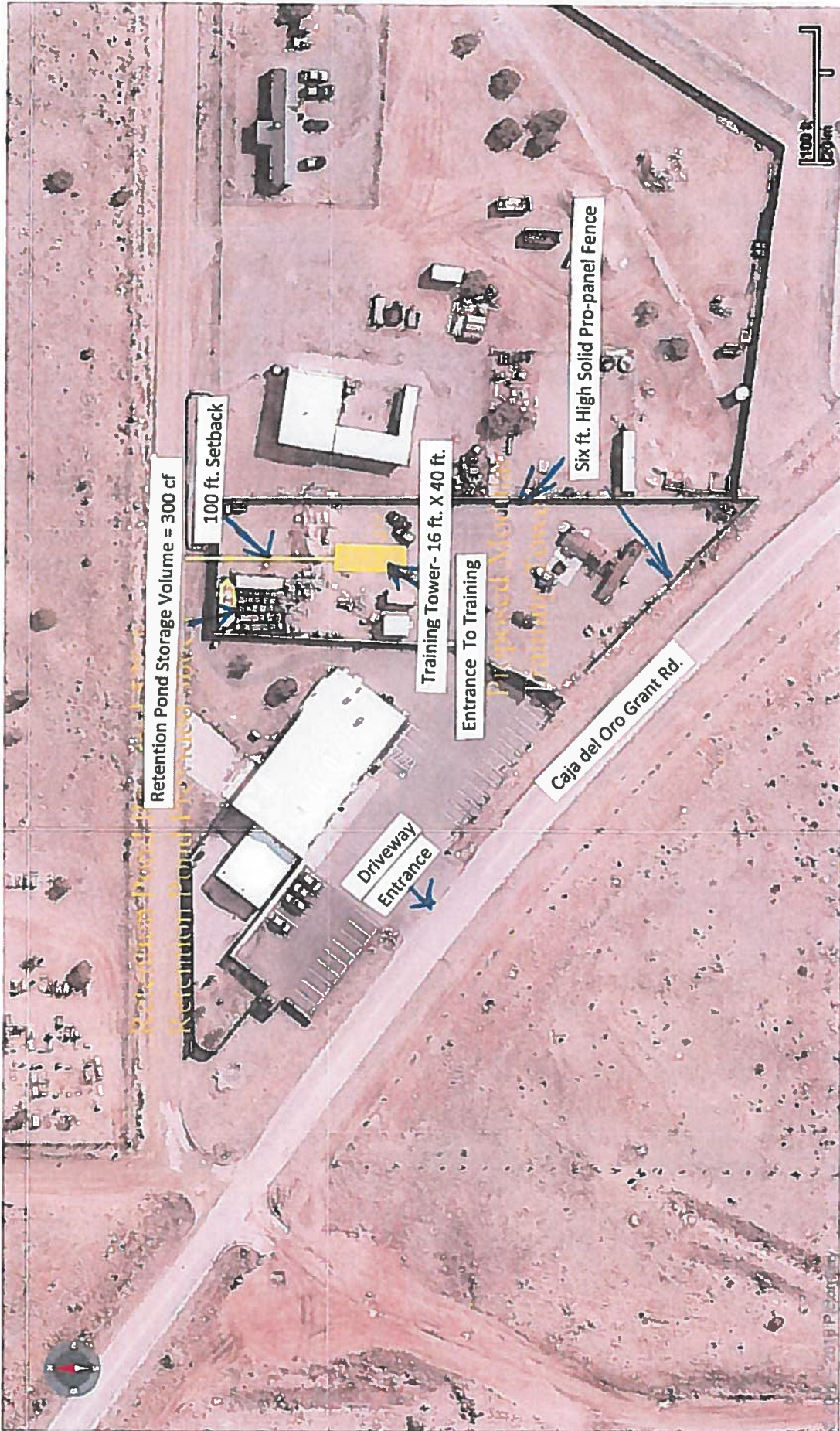
PF tabular PF graphical Supplementary information

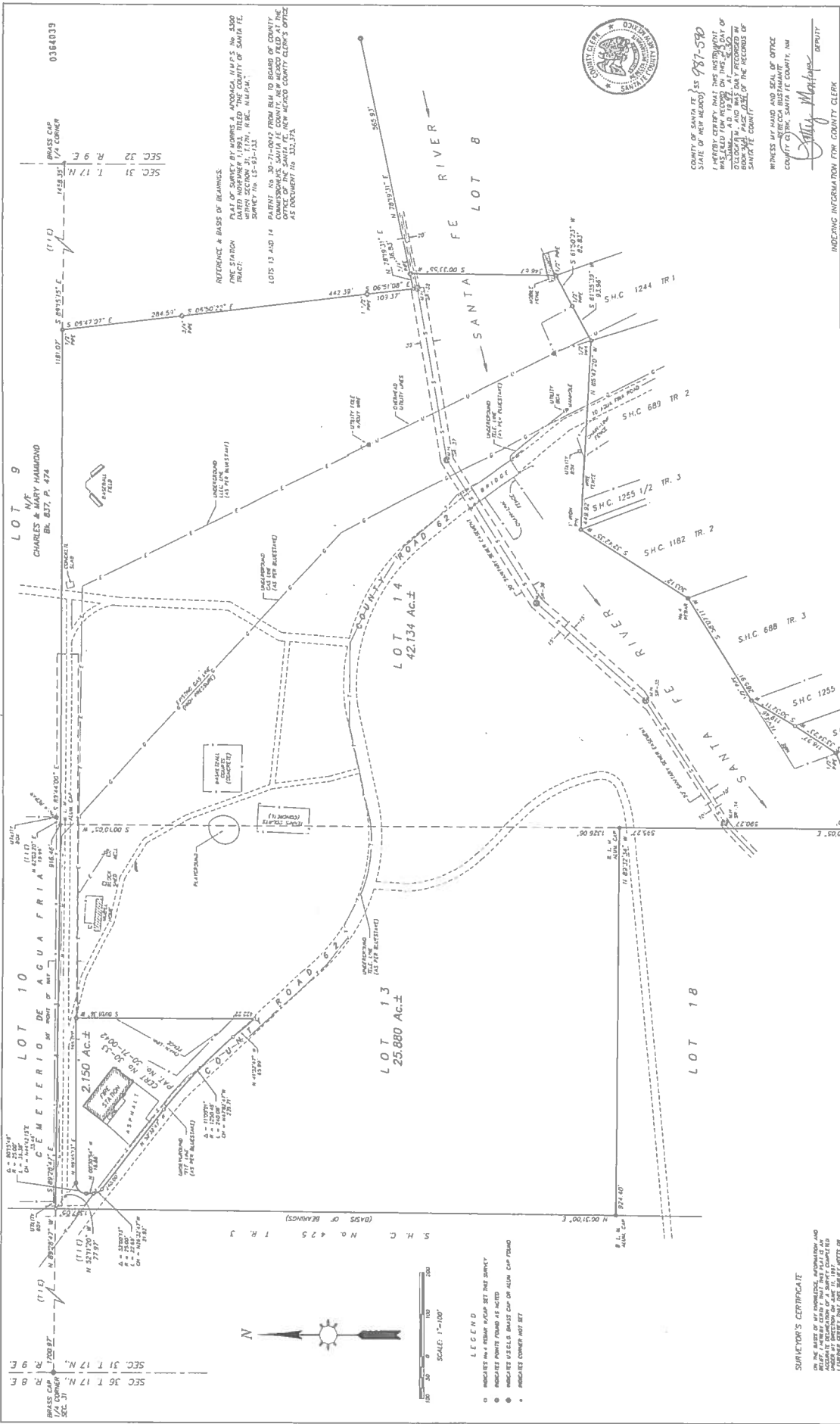
**PDS-based precipitation frequency estimates with 90% confidence intervals (in inches)<sup>1</sup>**

Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.198 (0.171-0.228)	0.256 (0.222-0.297)	0.342 (0.295-0.395)	0.407 (0.351-0.470)	0.497 (0.426-0.572)	0.566 (0.483-0.652)	0.640 (0.543-0.736)	0.714 (0.603-0.822)	0.818 (0.682-0.942)	0.899 (0.744-1.04)
10-min	0.301 (0.261-0.347)	0.390 (0.338-0.452)	0.520 (0.450-0.602)	0.619 (0.535-0.715)	0.756 (0.649-0.871)	0.861 (0.736-0.992)	0.974 (0.826-1.12)	1.09 (0.917-1.25)	1.24 (1.04-1.43)	1.37 (1.13-1.58)
15-min	0.373 (0.323-0.430)	0.484 (0.419-0.560)	0.645 (0.557-0.745)	0.767 (0.663-0.887)	0.937 (0.804-1.08)	1.07 (0.912-1.23)	1.21 (1.02-1.39)	1.35 (1.14-1.55)	1.54 (1.29-1.78)	1.70 (1.40-1.96)
30-min	0.503 (0.436-0.580)	0.651 (0.564-0.754)	0.869 (0.751-1.00)	1.03 (0.893-1.19)	1.26 (1.08-1.45)	1.44 (1.23-1.68)	1.63 (1.38-1.87)	1.82 (1.53-2.09)	2.08 (1.73-2.39)	2.28 (1.89-2.64)
60-min	0.622 (0.539-0.717)	0.806 (0.698-0.934)	1.08 (0.929-1.24)	1.28 (1.11-1.48)	1.56 (1.34-1.80)	1.78 (1.52-2.05)	2.01 (1.71-2.31)	2.25 (1.90-2.59)	2.57 (2.15-2.96)	2.83 (2.34-3.26)
2-hr	0.744 (0.637-0.880)	0.949 (0.812-1.13)	1.25 (1.07-1.46)	1.49 (1.27-1.76)	1.82 (1.54-2.15)	2.08 (1.75-2.45)	2.36 (1.97-2.77)	2.65 (2.20-3.11)	3.05 (2.50-3.59)	3.38 (2.74-3.97)
3-hr	0.794 (0.690-0.936)	1.01 (0.872-1.19)	1.31 (1.13-1.54)	1.55 (1.34-1.82)	1.89 (1.62-2.21)	2.16 (1.83-2.53)	2.44 (2.06-2.85)	2.74 (2.29-3.20)	3.16 (2.61-3.68)	3.49 (2.86-4.07)
6-hr	0.914 (0.800-1.06)	1.15 (1.01-1.33)	1.47 (1.28-1.70)	1.72 (1.49-1.98)	2.06 (1.78-2.38)	2.34 (2.00-2.70)	2.62 (2.23-3.02)	2.91 (2.47-3.36)	3.31 (2.77-3.82)	3.64 (3.02-4.20)
12-hr	1.05 (0.929-1.21)	1.32 (1.17-1.51)	1.66 (1.47-1.90)	1.93 (1.70-2.21)	2.30 (2.01-2.63)	2.58 (2.25-2.95)	2.88 (2.49-3.29)	3.18 (2.73-3.63)	3.59 (3.05-4.09)	3.91 (3.30-4.46)
24-hr	1.22 (1.12-1.33)	1.52 (1.40-1.66)	1.89 (1.74-2.07)	2.19 (2.01-2.39)	2.59 (2.37-2.83)	2.90 (2.64-3.16)	3.22 (2.92-3.51)	3.55 (3.20-3.86)	3.98 (3.57-4.34)	4.32 (3.85-4.70)
2-day	1.37 (1.28-1.50)	1.71 (1.57-1.87)	2.13 (1.95-2.32)	2.46 (2.25-2.67)	2.90 (2.66-3.15)	3.24 (2.96-3.53)	3.59 (3.27-3.91)	3.95 (3.57-4.30)	4.42 (3.97-4.81)	4.79 (4.28-5.22)

NBA-12

# CONNECTEXPLORER





BRASS CAP  
SEC. 31  
R. 17 N.  
E. 9 E.

SEC. 31  
R. 17 N.  
E. 9 E.

SEC. 32  
R. 17 N.  
E. 9 E.

SEC. 33  
R. 17 N.  
E. 9 E.

SEC. 34  
R. 17 N.  
E. 9 E.

SEC. 35  
R. 17 N.  
E. 9 E.

SEC. 36  
R. 17 N.  
E. 9 E.

0364039

REFERENCE & BASIS OF BEARINGS  
PLAT OF SURVEY BY JAMES A. ANDRACA, I.M.P.S. No. 3300  
WHICH SHOWS THE BOUNDARIES OF SANTA FE  
COUNTY, NEW MEXICO, AS DIVIDED INTO  
SECTIONS 31, 32, 33, 34, 35 AND 36, IN  
RANGE 17 NORTH, AND EASONS 9, 10, 11, 12,  
13, 14, 15, 16, 17, 18, 19, 20 EAST, IN  
SECTION 36, T. 17N., R. 9E., N.M.P.M.,  
AS DOCUMENT No. 312,373.



COUNTY OF SANTA FE, SS 087-580  
STATE OF NEW MEXICO

I HEREBY CERTIFY THAT THE INSTRUMENT  
HEREIN IS A TRUE AND CORRECT COPY OF  
THE ORIGINAL AS FILED IN THE PUBLIC  
BOOKS OF THE COUNTY OF SANTA FE,  
NEW MEXICO.

WITNESSED MY HAND AND SEAL OF OFFICE  
AT SANTA FE, NEW MEXICO, THIS  
14th DAY OF FEBRUARY, 1958.

*Salvador M. Lopez*  
COUNTY CLERK, SANTA FE COUNTY, N.M.

INDICING INFORMATION FOR COUNTY CLERK  
BOUNDARY SURVEY FOR  
SANTA FE COUNTY  
LOTS 13 & 14 OF  
SECTION 31, T. 17N., R. 9E., N.M.P.M.,  
SANTA FE COUNTY, NEW MEXICO

**PUBLIC NOTICE**  
THE SANTA FE COUNTY AND USE COMMISSION HAS NOT REVIEWED THE  
PLAT AND HAS NOT BEEN ADVISED OF THE CREATION OF A SUBDIVISION  
OR DEVELOPMENT OF LAND. THIS PLAT IS NOT BEING FILED FOR THE PURPOSE OF CREATING A SUBDIVISION  
OR DEVELOPMENT OF LAND. THIS PLAT IS BEING FILED FOR THE PURPOSE OF  
RECORDING THE BOUNDARIES OF THE LAND AS SHOWN ON THE PLAT AND FOR THE  
PURPOSE OF RECORDING THE BOUNDARIES OF THE LAND AS SHOWN ON THE  
PLAT. THE COUNTY ENGINEER HAS REVIEWED THE PLAT AND HAS  
ISSUED HIS APPROVAL THEREOF. THE COUNTY ENGINEER'S APPROVAL  
DOES NOT CONSTITUTE AN ENDORSEMENT OR GUARANTEE OF THE  
ACCURACY OF THE PLAT. THE COUNTY ENGINEER'S APPROVAL IS  
SUBJECT TO THE APPROVAL OF THE COUNTY COMMISSION.



- LEGEND**
- MARKETS IN A REDDISH BROWN SET THE SURVEY
  - MARKETS POINT FOUND AS NOTED
  - MARKETS US ELS BRASS CAP OR ALUM CAP FOUND
  - MARKETS CORNER NOT SET

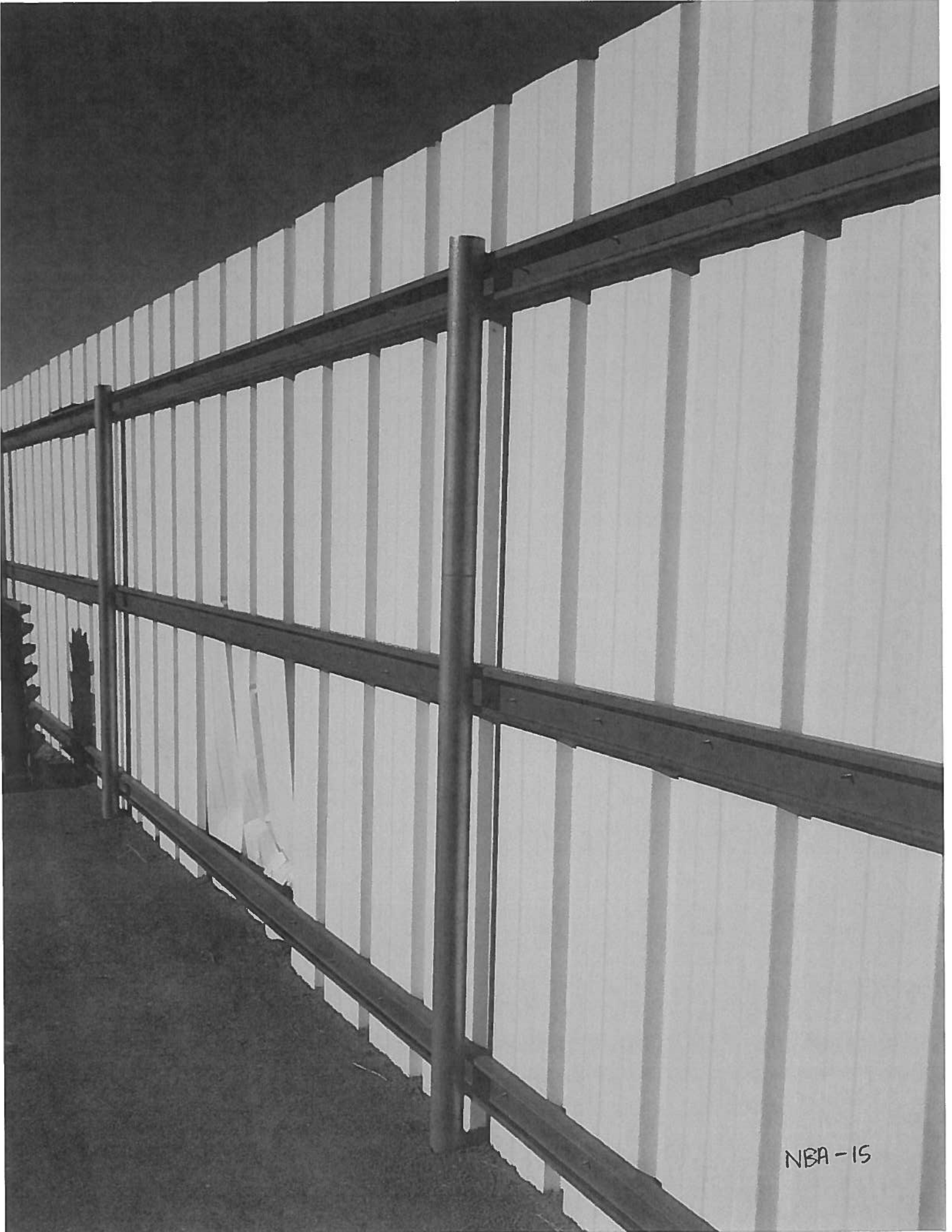
**SURVEYOR'S CERTIFICATE**

ON THE BASIS OF MY KNOWLEDGE, INFORMATION, AND  
ACCURATE RECORDS, I HEREBY CERTIFY THAT THE  
PLAT IS A TRUE AND CORRECT COPY OF THE ORIGINAL  
AS FILED IN THE PUBLIC BOOKS OF THE COUNTY OF  
SANTA FE, NEW MEXICO, AND THAT THE PLAT IS  
IN ACCORDANCE WITH THE REQUIREMENTS OF THE  
STATUTES OF THE STATE OF NEW MEXICO.

*James J. Anderson*  
JAMES J. ANDERSON  
REGISTERED SURVEYOR  
SANTA FE, NEW MEXICO



NBA-114

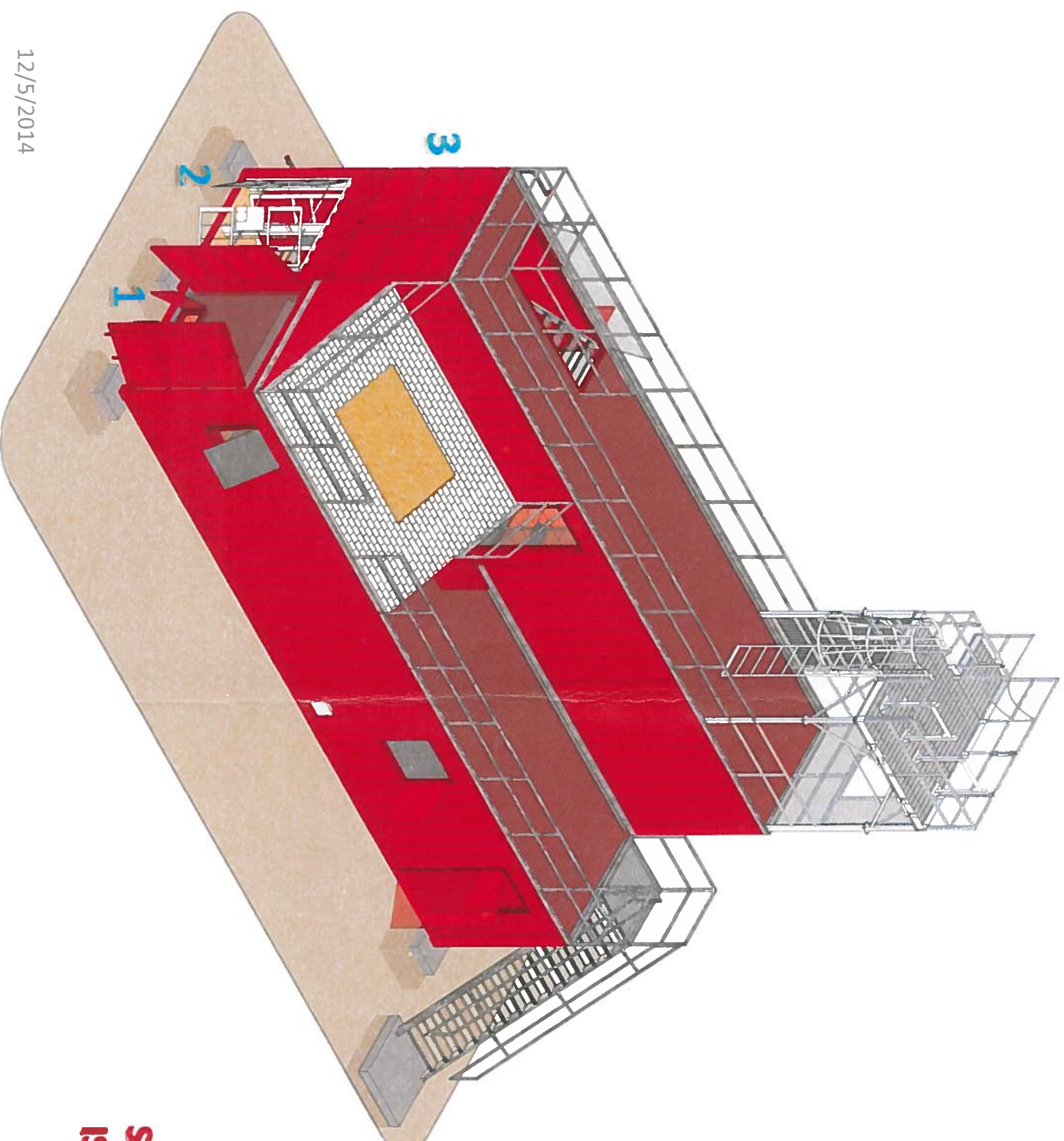


NBA-15





- 3 – 40' CONTAINERS
- 2 – BURN ROOMS
- TEMPERATURE MONITORING SYSTEM
- RECONFIGURABLE SCBA MAZE
- SHORING PROP
- WALL BREACH PROP
- INTERIOR STAIRS
- EXTERIOR STAIRS
- ACTIVE ROOF
- OSHA COMPLIANT GUARDRAIL SYSTEM
- RAPPELLING TOWER
- STANDPIPE SYSTEM
- SPRINKLER SYSTEM
- PITCHED ROOF PROP
- FORCED ENTRY DOOR
- PERSONNEL DOORS
- DENVER WINDOW



**SABLE SYSTEM  
ISOMETRIC VIEW**

12/5/2014

1

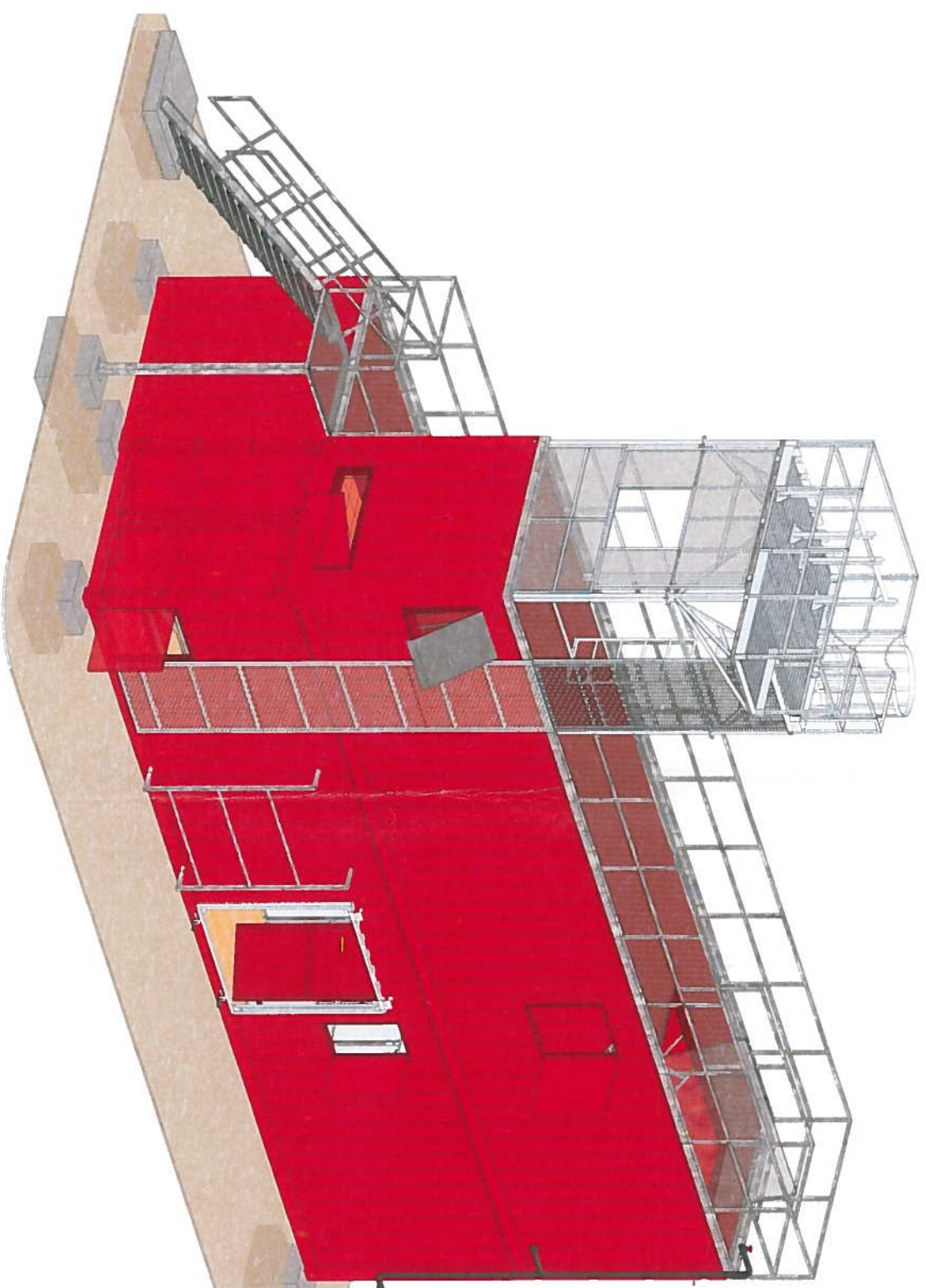


NBA-16



- 3 – 40' CONTAINERS
- 2 – BURN ROOMS
- TEMPERATURE MONITORING SYSTEM
- RECONFIGURABLE SCBA MAZE
- SHORING PROP
- WALL BREACH PROP
- INTERIOR STAIRS
- EXTERIOR STAIRS
- ACTIVE ROOF
- OSHA COMPLIANT GUARDRAIL SYSTEM
- RAPELLING TOWER
- STANDPIPE SYSTEM
- SPRINKLER SYSTEM
- PITCHED ROOF PROP
- FORCED ENTRY DOOR
- PERSONNEL DOORS
- DENVER WINDOW

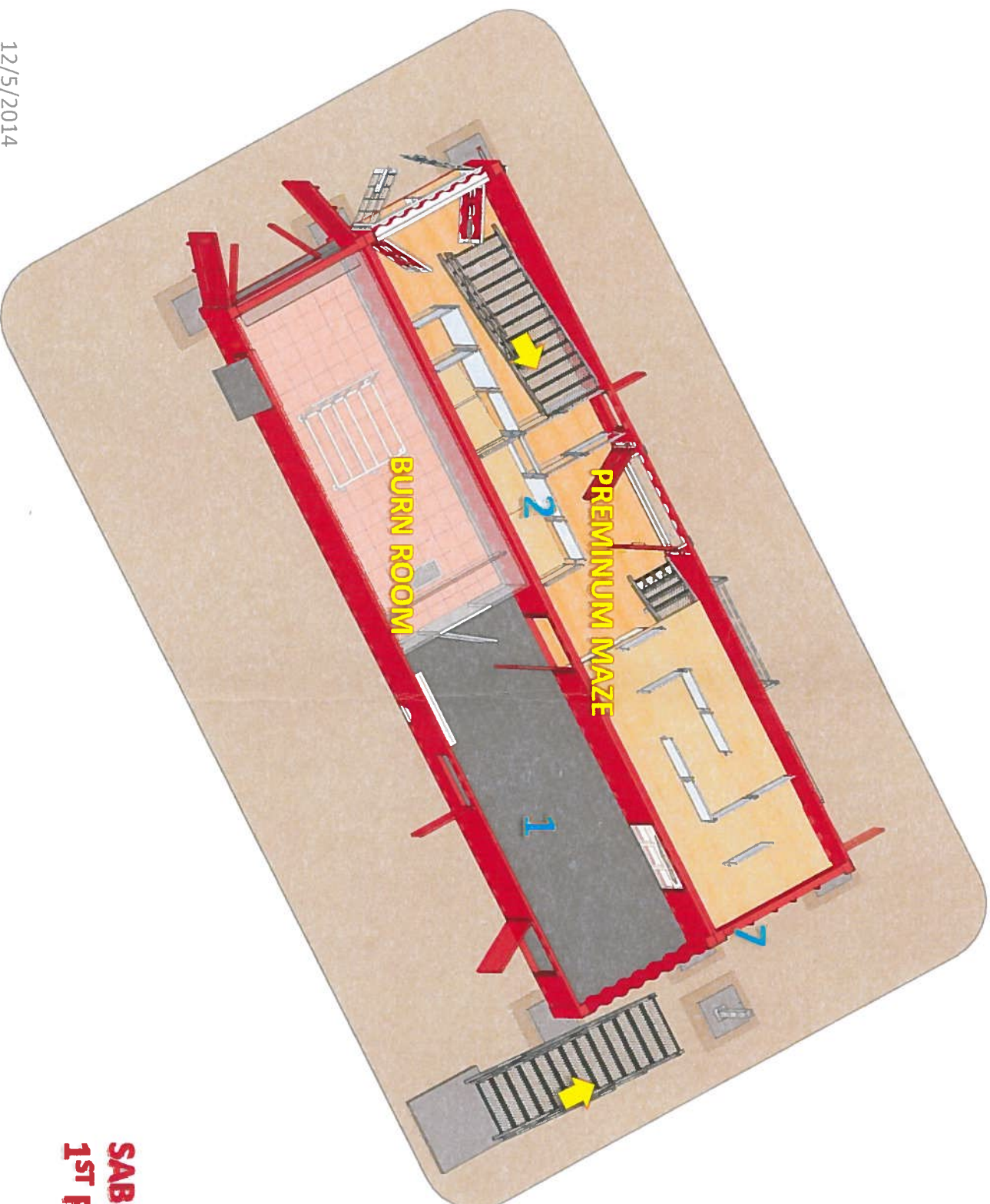
**SABLE SYSTEM  
REAR VIEW**



12/5/2014



- 3 – 40' CONTAINERS
- 2 – BURN ROOMS
- TEMPERATURE MONITORING SYSTEM
- RECONFIGURABLE SCBA MAZE
- SHORING PROP
- WALL BREACH PROP
- INTERIOR STAIRS
- EXTERIOR STAIRS
- ACTIVE ROOF
- OSHA COMPLIANT GUARDRAIL SYSTEM
- RAPELLING TOWER
- STANDPIPE SYSTEM
- SPRINKLER SYSTEM
- PITCHED ROOF PROP
- FORCED ENTRY DOOR
- PERSONNEL DOORS
- DENVER WINDOW

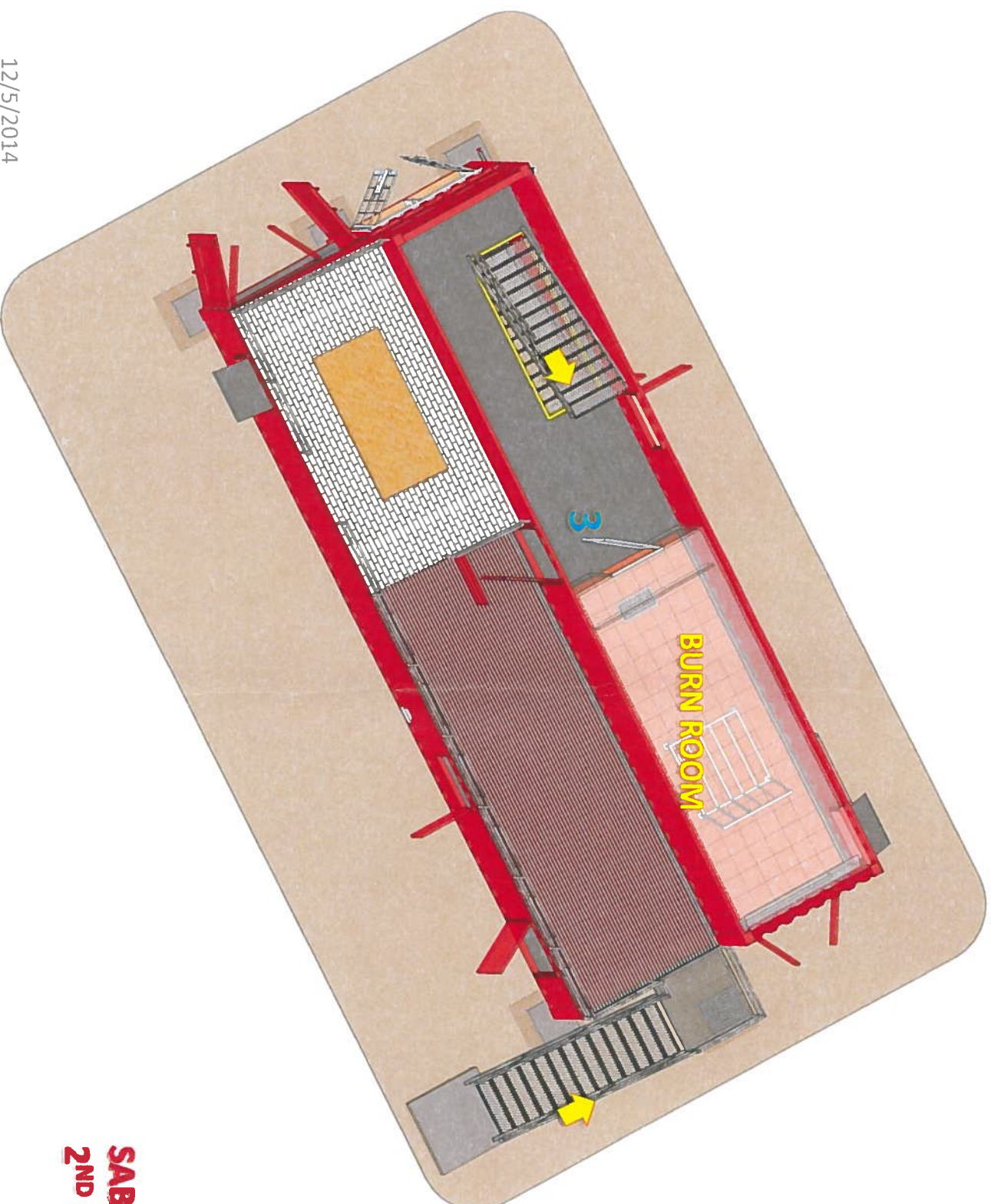


**SABLE SYSTEM  
1ST FLOOR PLAN**

12/5/2014



- 3 – 40' CONTAINERS
- 2 – BURN ROOMS
- TEMPERATURE MONITORING SYSTEM
- RECONFIGURABLE SCBA MAZE
- SHORING PROP
- WALL BREACH PROP
- INTERIOR STAIRS
- EXTERIOR STAIRS
- ACTIVE ROOF
- OSHA COMPLIANT GUARDRAIL SYSTEM
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- STANDPIPE SYSTEM
- SPRINKLER SYSTEM
- PITCHED ROOF PROP
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- PERSONNEL DOORS
- DENVER WINDOW



## **SABLE SYSTEM 2ND FLOOR PLAN**

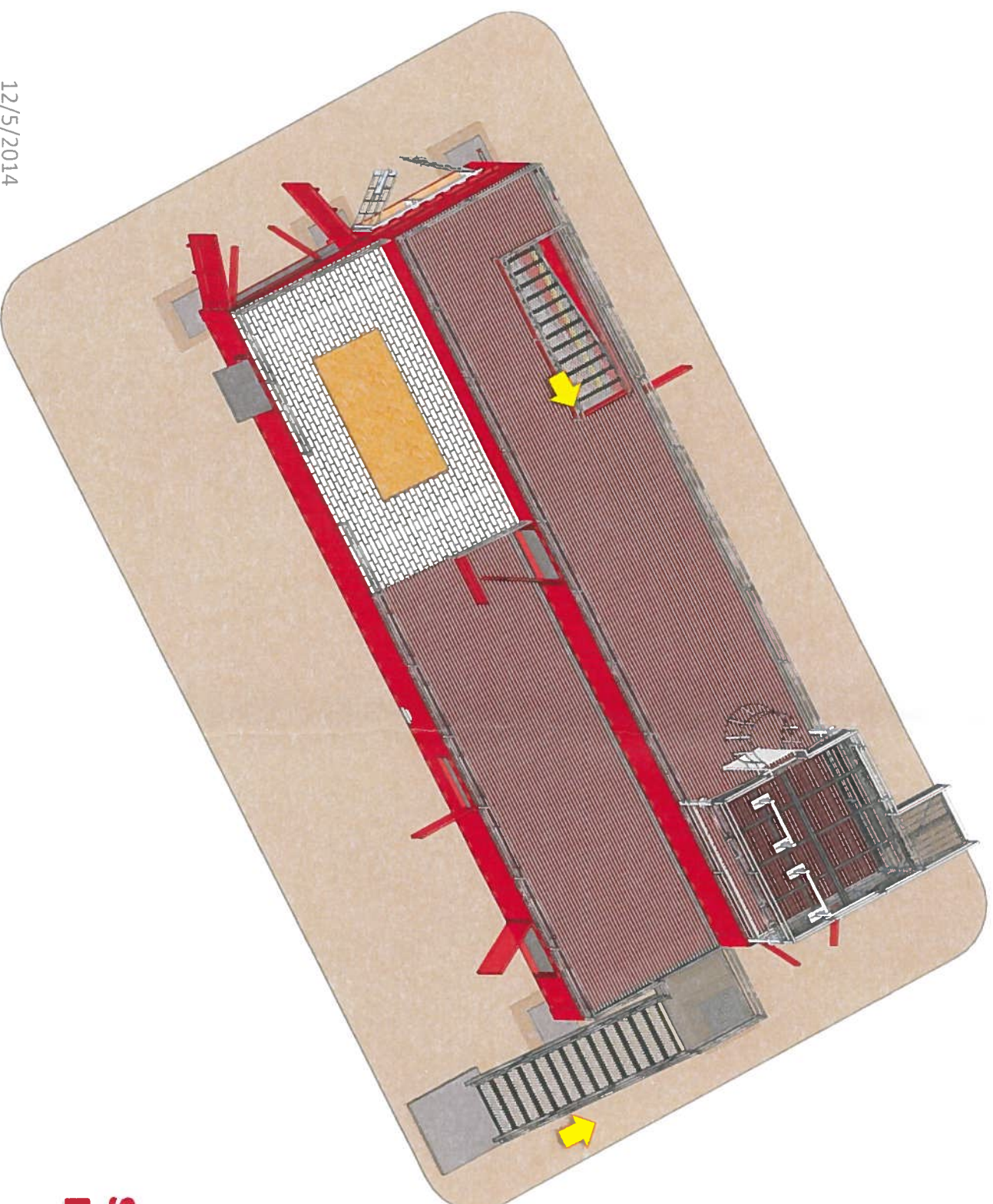
12/5/2014

4

NBA-19



- 3 – 40' CONTAINERS
- 2 – BURN ROOMS
- TEMPERATURE MONITORING SYSTEM
- RECONFIGURABLE SCBA MAZE
- SHORING PROP
- WALL BREACH PROP
- INTERIOR STAIRS
- EXTERIOR STAIRS
- ACTIVE ROOF
- OSHA COMPLIANT GUARDRAIL SYSTEM
- RAPPELLING TOWER
- STANDPIPE SYSTEM
- SPRINKLER SYSTEM
- PITCHED ROOF PROP
- FORCED ENTRY DOOR
- PERSONNEL DOORS
- DENVER WINDOW



## **SABLE SYSTEM ROOF PLAN**

12/5/2014

5

# STRUCTURAL FOUNDATION PLANS SANTA FE COUNTY AGUA FRIA FIRE & RESCUE STATION NO. 1 FIRE TRAINING FACILITY 58 COUNTY ROAD 62, SANTA FE, NM 87507

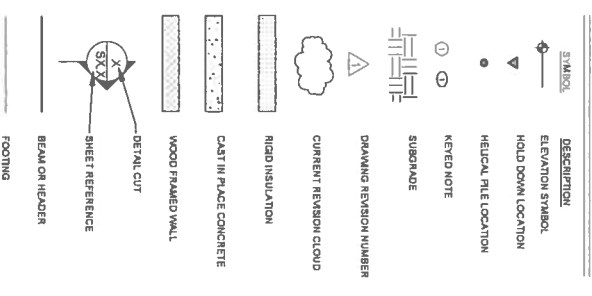
## ABBREVIATIONS

/	Per	EQS	Edge of Slab
@	Anchor Bolt	EQ SP	Equally Spaced
AB	Additional	EQUIP	Equipment
ADDL	Additional	ES	Each Side
ADJ	Adjustment	EXP	Expansion
ALT	Alternative	EXT	Exterior
APA	American Plywood Association		
APPROX	Approximate		
ARCH	Architect or Architectural		
B/, B.O.	Bottom of	FAB	Fabricate
B/B	Bottom of Building	FIB	Finished Floor
BLDG	Building	FLR	Floor
BLKG	Blocking	FTM	Foundation
BM	Beam	FO	Face Of
BN	Boundary Nail	FP	Full Penetration
BOT or B	Bottom	FRMG	Framing
BOF	Bottom of Footing	FS	Far Side
BOL	Bottom of Steel	FTG	Footings
BPG	Basement	FV	Field Verify
BSMT	Basement	GA	Gage or Gauge
BTWN	Between	GALV	Galvanized
CC	Center to Center	GL	Gulam
CG	Center of Gravity	GN	Grade
CI	Control Joint	GN BM	Grade Beam
CIP	Complete Joint Penetration		
CL	Centerline	HAS	Headed Anchor Stud
CLG	Ceiling	HD	Hot Dipped Galvanized
CLR	Clear	HOG	Hot Dipped Galvanized
CMU	Concrete Masonry Unit	HO	Hook
CONC	Concrete	HO DBZ	Hook Detail
CONN	Connection	HT	Height
CONST	Construction	HVAC	Heating, Ventilating and A/C
CONT	Continue or Continuous	ID	Inside Diameter
CONTR	Contractor	I.F.	Inside Face
CONDO	Concrete	IN	Inch
CS	Centered	INT	Invert
CTR(J)	Centered Joint	INT	Invert
d	Penny	IT	Invert
DBL	Double	JT	Joint
DIG	Degree	JT	Joint
DIA or Ø	Diameter	K	Kip per Square Inch
DIM	Dimension	KSI	Kips per Square Inch
DL	Dead Load	L or LG	Length
DN	Down	LB (S)	Length (Pounds)
DP	Drilled Pier	LLH	Live Load
DT	Drilled Pier	LLV	Live Load
DTL (S)	Drilled Pier (Details)	LOC (S)	Location(s) or locate
DW(S)	Drilled Pier (Details)	LV	Live Load
EA	Existing	LS	Live Load
EA	Each	LT	Light
EC	Epoxy Coated	LT WT	Light Weight
EE	Each End	LVL	Level or Lam Veneer Lumber
EF	Each Face	LWC	Light Weight Concrete
EL	Elevation	MAS	Masonry
EMBED	Embedded	MATL	Material
EN	Engineer	MAX	Maximum
ENGR	Engineer-of-Record	MBS	Metal Building Supplier
ENR	Engineer-of-Record	MCI	Masonry Control Joint
EQS	Edge of Slab	MECH	Mechanical

MEP	Mechanical/Electrical/Plumbing	SYM	Symmetrical
MILL(S)	Millimeter(s)	T&B	Top & Bottom
MIN	Minimum	T	Top
MISC	Miscellaneous	TH	Top of Thickness
MISC	Miscellaneous	TH-MOD	Thinned Top
MIS	Misaligned	T.O.	Total Lead
MO	Masonry Opening	TOC	Top of Concrete
MTL	Metal	TOF	Top of Footing
N	North	TOH	Top of Masonry
NS	Non-Shrink or Near Side	TOS	Top of Steel
NIC or #	Not in Contact	TOW	Top of Wall
NOM	Nominal	TRANS	Transverse
NOM	Nominal	TYP	Typical
NTS	Not to Scale	UAE	On Center
NWC	Normal Weight Concrete	OCEN	On Center
		OD	Outside Diameter
		O.F.	Outside Face
		OPNG	Opening
		OPP	Opposite
		P&F	Powder Actuated Fastener
		PC	Pier
		PEN	Penetration
		PERP	Perpendicular
		PL	Plate
		PLF	Pounds Per Linear Foot
		PLFAB	Pounds Per Linear Foot
		PRELIM	Preliminary
		PSF	Pounds Per Square Foot
		PSI	Pounds Per Square Inch
		PT	Pressure Treated
		QTY	Quantity
		RAO or R	Radius
		RC or REF	Reinforced Concrete
		REIN	Reinforcing (diameter)
		RET	Return
		REQD	Required
		REQD(S)	Requirement(s)
		RO	Rough Opening
		S	Section
		SCHED	Schedule
		SEC	Section
		SIM	Similar
		SIH	Short Leg Horizontal
		SLV	Short Leg Vertical
		SOG	Sho on edge
		SP @	Space At
		SP (S)	Space(s)
		SPECS	Specifications
		SPT	Support
		SS	Stainless Steel
		STD	Standard
		STIFF	Stiffener
		STR	Structural
		STR	Structural
		SW	Shearwall

## LEGEND

## PLAN SET INDEX



**AGUA FRIA FIRE & RESCUE STATION NO. 1,  
FIRE TRAINING FACILITY**  
58 COUNTY ROAD 62, SANTA FE, NM 87507

NO.	DATE	COMMENTS
1	11/13/2024	ISSUED FOR PERMITS
2	11/13/2024	ISSUED FOR PERMITS
3	11/13/2024	ISSUED FOR PERMITS

**LUCHINI & TRUJILLO**  
STRUCTURAL ENGINEERS, INC.

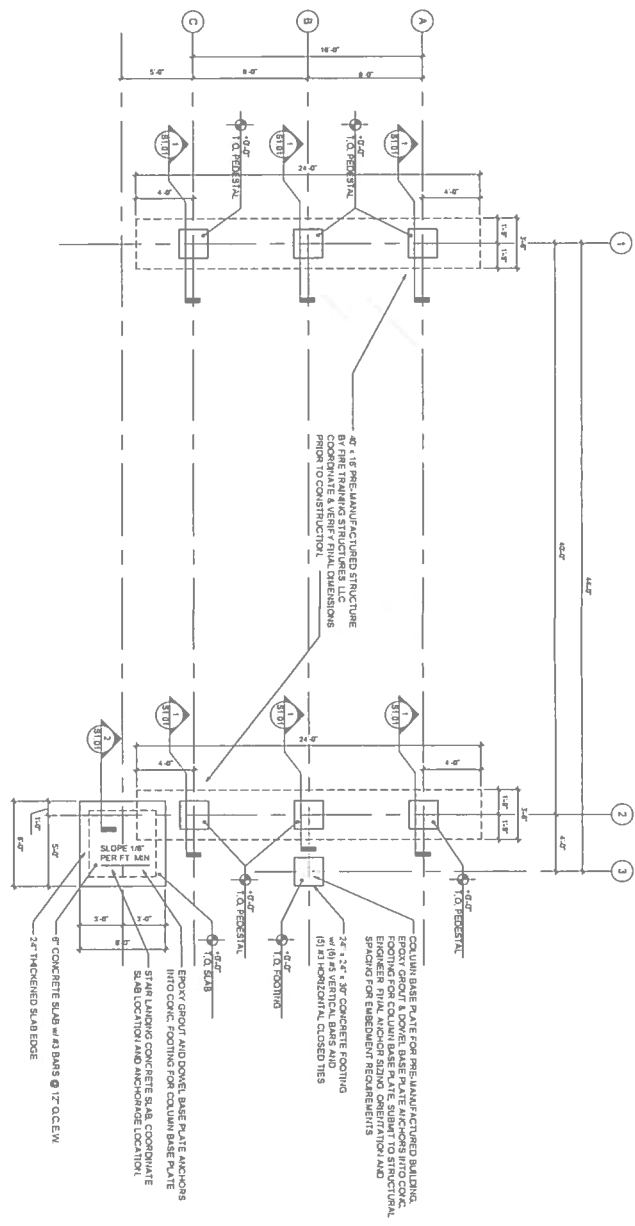
819 FIFTH STREET SUITE N • SANTA FE, NM 87505  
601 S SHOSHONE RD, NE • ALBUQUERQUE, NM 87110  
(505) 424-3232 • INFO@LTSNG.COM • LTSNG.COM

**DRIVERS: SMU**  
Encl. Tables PE  
New Mexico License  
115E-C284 1/24  
LTCM CO

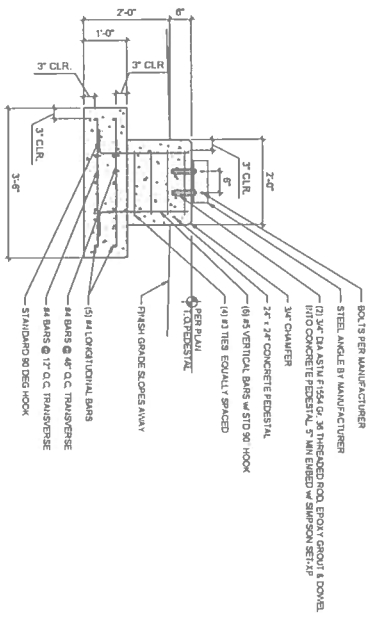
**SHEET TITLE**  
Abbreviations,  
Legend and  
Plan Set Index  
S-001

NBA-21

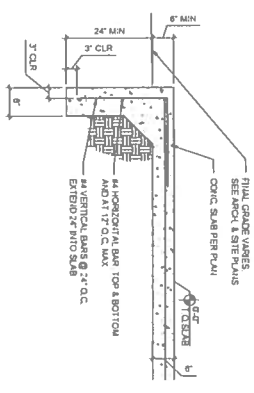
GENERAL NOTES  
 CONTRACTOR SHALL COORDINATE FINAL DIMENSIONS w/ TRAINING STRUCTURE MANUFACTURER PRIOR TO CONSTRUCTION. ENGINEER SHALL MONITOR SAND OBSERVATION AND SUBMITTED TO ENGINEER FOR APPROVAL.



1B FOUNDATION PLAN  
 1/8\"/>



1 SECTION AT PEDESTAL  
 3/4\"/>



2 TURNED DOWN MONOLITHIC CONC. SLAB EDGE  
 3/4\"/>

**LUCHINI TRUJILLO**  
 STRUCTURAL ENGINEERS, INC.  
 1919 FIFTH STREET SUITE N - SANTA FE, NM 87505  
 6613 SHOSHONE RD. NE - ALBUQUERQUE, NM 87110  
 (505) 424-3232 - INFO@LTSENG.COM - LTSENG.COM



ENGINEER'S SEAL  
 Eric D. Trujillo, PE  
 License No. 11559  
 1/2009, CD

AGUA FRIA FIRE & RESCUE STATION NO. 1,  
 FIRE TRAINING FACILITY  
 58 COUNTY ROAD 22, SANTA FE, NM 87507

NO.	DATE	COMMENTS
1	11-15-2014	ISSUED FOR PERMITS
2	02-26-2015	ISSUED FOR CONSTRUCTION

FOUNDATION  
 Plan and Details  
 SHEET  
 S1.01

NBA-22

# STRUCTURAL OUTLINE SPECIFICATIONS FOR FIRE TRAINING FACILITY, SANTA FE, NEW MEXICO

**I. DESIGN CRITERIA & GENERAL NOTES**

**A. Design Codes and Manuals**

1. 2009 International Building Code (IBC)
2. ASCE 7-05 Minimum Design Loads for Buildings and Other Structures
3. American Society for Testing and Materials (ASTM)

**B. DESIGN LOADS**

1. Minimum Uniformly Distributed Live Loads
  - a) Roof Live ..... 50 PSF (per manufacturer)
  - b) Roof Design Snow Load
    - (1) Ground Snow Load  $S_g$  ..... 30 PSF
    - (2) Flat Roof Snow Load  $S_f$  ..... 22.7 PSF
    - (3) Exposure Factor  $C_e$  ..... 0.9
    - (4) Snow Thermal Factor  $C_t$  ..... 1.2
    - (5) Snow Importance Factor  $I_s$  ..... 1.0
  - c) Roof Live ..... 50 PSF (per manufacturer)
2. Minimum Uniformly Distributed Design Dead Loads
  - a) Floor ..... (per manufacturer)
  - b) Roof ..... (per manufacturer)
  - c) Suspended Floor ..... 15 PSF (per manufacturer)
3. Wind Loading - ASCE 7-05
  - a) Occupancy Category II
  - b) Basic Wind Velocity (V) - 3 SECOND GUST - 90 MPH
  - c) Category B - Importance Factor = 1.0, Exposure "C"
4. Earthquake Design Data - ASCE 7-05
  - a) IBC Seis. Classification "C"
  - b) Occupancy Category II
  - c) Seismic Importance Factor = 1.0
  - d) Maxiped Special Reinforcing Steel Accretions
    - (1)  $S_a = 0.447 S_1 = 0.143$
  - e) Special Response Coefficients
    - (1)  $S_D = 0.257 S_0 T = 0.138$
  - f) Seismic Design Category "C"
  - g) Basic Seismic/Force-Resisting System "per manufacturer"
  - h) Analysis Procedure Used = Equivalent Lateral Force Procedure

**C. GENERAL NOTES**

1. Any conflict between structural drawings and manufacturer drawings and/or specifications shall be brought to the attention of the structural engineer prior to proceeding with the work affected.
2. OPENINGS
  - a) Openings, doors, etc. to be placed through any structural members shall be approved by the structural engineer. Stairs shall be provided for openings prior to placing of concrete. Cutting of hardened concrete shall not be permitted except by special structural approval which will be on an individual basis.
  2. The contractor shall provide all measures necessary to protect the structure during construction. Such measures shall include, but not be limited to bracing and shoring systems due to hydraulic jacks, wind or seismic stress, and any other measures necessary to maintain the structural integrity of the structure. The contractor shall not include inspection of the above items.
  4. Care of additional field and other work requested by requests by the contractor for an option of due to errors or omissions in construction shall be the responsibility of the contractor. Options are for contractor's convenience; he shall be responsible for all changes necessary if he chooses an option and he shall coordinate all details.
- D. Foundation Notes
  1. Foundation design is based on building design reactions dated October 2015 provided by Praxair Training Structures, LLC, 3233 E. Corona Avenue Phoenix, AZ 85042, (602) 750-1456.
  - a) Care of additional field and other work requested by requests by the contractor for an option of due to errors or omissions in construction shall be the responsibility of the contractor.

**2. Geotechnical engineering study and recommendations for the project has been performed by Geo-Tek Inc., project number 170513, dated June 14, 2007.**

**a) Important additional information concerning specific soil conditions is contained in this report and shall be reviewed prior to the start of construction.**

1. Periodic inspection is defined as the practice of intermittent observation of work requiring inspection by an approved inspector who is present in the area where the work has been or is being performed at the completion of work.
2. Special inspection is required for the following:
  - a) Concrete construction
    - (1) Reinforcing steel
    - (2) Formwork and shoring
    - (3) Mix design
    - (4) At the time fresh concrete is sampled
    - (5) Inspection for maintenance of specified curing techniques
    - (6) Inspection for maintenance of specified curing techniques
  - b) Special case
    - (1) Expansion or adhesive anchor
    - (2) Embedment

The geotechnical engineering study contains specific requirements concerning clearing and grubbing, site, subsoil and bearing surface preparation, structural requirements, construction requirements, and drainage and sloping requirements not necessarily shown on these drawings. Refer any conflicts between these drawings and the report to the architect for action prior to beginning any work.

The contractor shall engage and bear the cost of a geotechnical engineer to provide continuous on-site observation by experienced personnel during construction of completed earthwork. The contractor shall notify the geotechnical engineer at least two working days in advance of any field operations of completed earthwork or of any resumption of operations after suspension. To the extent recommendations for observation and testing provided within the geotechnical recommendations, and at the following suggested minimum rates:

- (1) At least one moisture-density (proctor) test, at least one field test, and at least one nuclear density test shall be performed per each subgrade and backfill layer and per each layer of compacted fill thickness in each area worked per day of similar sections.
- (2) A minimum of one field density and moisture test should be performed per 2000 square feet of finished fill or permanent subgrade per 100 linear feet of foundation excavation bottom prior to placement of reinforcing steel and concrete (or at least one test per area worked per day if similar sections).
- (3) A minimum of one field density and moisture test should be performed per 50 linear feet of foundation excavation bottom prior to placement of reinforcing steel and concrete (or at least one test per area worked per day if similar sections).
- (4) A minimum of one field density and moisture test should be performed per 100 linear feet of retaining wall backfill and/or utility trench backfill per each 1 foot of compacted fill thickness (or at least one test per each 1 foot of compacted fill thickness in each area worked per day if similar sections).

**E. QUALITY ASSURANCE PLAN AND STATEMENT OF SPECIAL INSPECTION**

- A. The contractor shall engage independent inspection to implement special inspection. Special inspection shall conform to the IBC 2009 section 110 and chapter 17.
- B. After each inspection and test, promptly submit copy of laboratory report to owner; architect/engineer; and to contractor. Report shall include:
  1. Date, time, Project title and number, Name of Inspector, Date and time of testing or inspection, Identification of project specifications section, Location of project, Type of inspection or test, Date of tests, Results of tests, Circumstances when contract documents
- C. Required Inspections
  1. Self - as outlined in Outline Specifications Section titled "Foundation Notes"
  2. Concrete - as outlined in the Outline Specifications Section titled "Structural Concrete"
- D. Inspection of embedded bolts and plates supporting structures
  - a) Reinforcing steel placement
  - b) Field bending of reinforcing steel
  - c) Reinforcing couplers
  - d) Anchored rebar or threaded rod into hardened concrete

**D. Special inspection is to be provided in addition to inspections conducted by the building department and shall not be construed to relieve the owner or the authorized agent from requesting the period and called inspections required by Section 1704 of the International Building Code.**

**1. Periodic inspection is defined as the practice of intermittent observation of work requiring inspection by an approved inspector who is present in the area where the work has been or is being performed at the completion of work.**

1. Periodic inspection is required for the following:
  - a) Concrete construction
    - (1) Reinforcing steel
    - (2) Formwork and shoring
    - (3) Mix design
    - (4) At the time fresh concrete is sampled
    - (5) Inspection for maintenance of specified curing techniques
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- (4) A minimum of one field density and moisture test should be performed per 100 linear feet of retaining wall backfill and/or utility trench backfill per each 1 foot of compacted fill thickness (or at least one test per each 1 foot of compacted fill thickness in each area worked per day if similar sections).

**IV. STRUCTURAL CONCRETE**

- A. All concrete shall be delivered 30' or exposed concrete unless otherwise noted.
- B. Bats for drain, weath, at 28 days
  1. Unless otherwise indicated, concrete shall be ready-mixed concrete with standard stone aggregate (141 PCF).
  2. Air retention shall conform to the requirements of ACI 318.5G Table 4.2.1.
  3. Shrinkage shall not exceed 0.2% per ASTM C 497, 28 days.
  4. Shrinkage-compensating concrete shall conform to the recommendations of ACI 223.
  5. Structural design is based upon ACI 318.5G and construction shall conform to ACI 301 and ACI 302 latest editions.
  - a)  $F_c = 4000$  psi (normal weight, 60 specimens)
  - b)  $F_c = 4000$  psi (normal weight)
  - c)  $F_c = 4000$  psi (normal weight)
  - d)  $F_c = 4000$  psi (normal weight)
- C. EMBEDDED CONDUIT
  1. Embedded conduits and/or pipes shall not be installed in slabs or columns unless approved by the structural engineer, prior to construction.
  2. Conduits and/or pipes shall be protected against cutting, Aluminum conduits and/or pipes shall not be embedded in concrete.
- D. HOT WEATHER CONCRETING
  1. All hot weather concrete work shall be in accordance with ACI 301. Maximum concrete temperatures below 90°F at time of placement. Cold mixing water or chopped ice may be used to control temperature, provided water equivalent of ice is calculated to total amount of mixing water.
  2. Fogging forms, steel reinforcement, and subgrade shall be kept free of concrete. Keep subgrade uniformly moist without standing water, soft spots, or dry areas.
- E. COLD WEATHER CONCRETING
  1. All cold weather concrete work shall meet the requirements of ACI Committee 308. Limit action for cold weather concreting if the 3 consecutive days the average daily temperature does not drop below 40°F and stays below 50°F for more than one day of any 24 hour period.
  2. Do not use frozen materials containing ice or snow.
  3. Do not place concrete on frozen subgrade or on subgrade containing frozen materials.
  4. The use of calcium chloride, salt, or other materials containing sulfates agents or changing admixtures is not permitted, contractor shall utilize a high early strength mix design.

**D. CONCRETE PLACEMENT & TESTING**

**1. Unless otherwise indicated, five test cylinders shall be made every fifty cubic yards of concrete or fraction thereof on each day's pour. One cylinder shall be tested at 7 days and three at 28 days. The remaining cylinders shall be held in reserve as a spare. The making and testing of cylinders shall be conducted by an approved testing laboratory. Concrete shall cure the cost of curing.**

- a) Before test sampling and placing concrete, water may be added at Project and subject to limitations of ACI 301.
- b) Do not add water to concrete after setting high-temperature water-reducing admixtures to mixture.

Concrete placed concrete with mechanical vibrating equipment according to ACI 301.

Do not use vibrators to transport concrete inside form, insert and withdraw vertical vibrator spaced locations in rigid, prevent placed lower layers of concrete than have begun to lose plasticity. At each location, limit duration of vibration to time necessary to consolidate concrete and complete embedment of reinforcement and other embedded items without causing mixture consolidation to segregate.

4. Materials ALL reinforcement in position on date during concrete placement.

1. Charmed bars ..... ASTM A615 / Grade 60
2. Walled Wire Fabric ..... ASTM A185
3. Rebar of reinforcing shall conform with CRSI latest edition.
4. All reinforcing shall be held securely in position with standard accessories during placing of concrete.
5. Slab and beam bolsters and blocks shall have vinyl-coated jammed-up legs where subgrade/grade of slab is exposed.
6. All field bending of reinforcing shall be done cold. Heating of bars will not be permitted.

**LUCHINI & TRUJILLO**  
STRUCTURAL ENGINEERS, INC.  
1919 FIFTH STREET SUITE N - SANTA FE, NM 87505  
605 W. BURBANK BLVD. SUITE 200 - ALBUQUERQUE, NM 87102  
(505) 424-3232 - INFO@LTSENG.COM - LTSENG.COM

**DONG-FENG SEAL**  
LICENSE NO. 21638  
100% CD

NO	DATE	COMMENTS

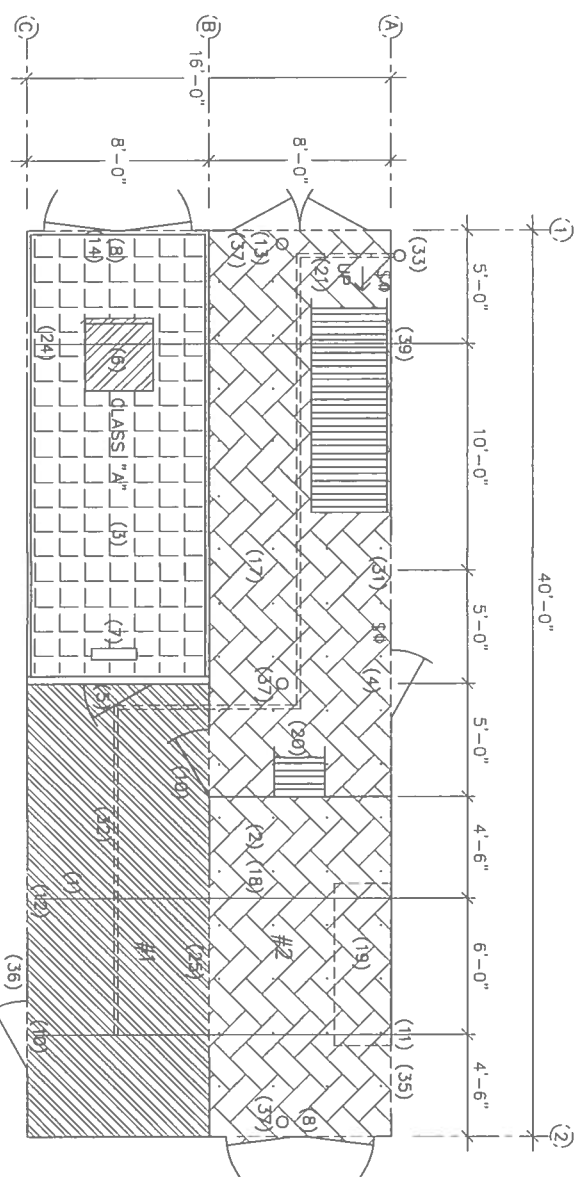
**AGUA FRIA FIRE & RESCUE STATION NO. 1,  
FIRE TRAINING FACILITY**

56 COUNTY ROAD 62, SANTA FE, NM 87507

SHEET TITLE	Outline Specifications
SHEET	S-002



- PLAN NOTES**
1. 4FT CONTAINER WITH STEEL FLOOR.
  2. 4FT CONTAINER WITH WOOD FLOOR.
  3. 20FT ROUND TABLE BURN ROOM WITH REMOVABLE WORKING SYSTEM WITH 2 PIPES LOCATED BURN ROOM.
  4. 2 PIPES LOCATED OUTSIDE THE BURN ROOM.
  5. STANDARD PERSONAL DOOR.
  6. REGULATED DOOR AND WALL AT BURN ROOM.
  7. (1) MULTIPLE SUBPANSSELS AT CEILING/WALL, 400 LB LOAD FLOOR AND FALLT SEED BURN ONE.
  8. FLOOR DRAIN.
  9. CLIMB DOOR.
  10. (1) 2" DIA. VERTICAL PIPING, (1) 2" DIA. HORIZONTAL PIPING AND (1) 4" DIA. HORIZONTAL PIPING TO EXTENSION SYSTEM, TYPICAL WORKING PRESSURE 150 PSI.
  11. 3FT X 3FT FINE SCREEN WITH HOSE MATCH.
  12. 3FT X 3FT FINE SCREEN.
  13. 4 ROOM FORCED ENTRY AND CUTTING ROOM SYSTEM.
  14. CLEAN OUT HATCH.
  15. BALCONY WINDOW AT RAMPWALKING TOWER.
  16. RAMPWALKING WALL.
  17. PROVIDE RECONSTRUCTIBLE SEAL W/ALZ SYSTEM WITH RAUP AND ONE DIMENSIONAL PROPEL.
  18. 40-HOUR PLATFORM WITH RECONSTRUCTIBLE PROPEL PROPEL BLADES.
  19. REMOVABLE WINDOW SCREEN PROPEL.
  20. REMOVABLE STAIRS AT 40-HOUR PLATFORM.
  21. HIDDEN STAIRS AND HIDDEN SYSTEM.
  22. GALVANIZED EXTENSION STAIR SYSTEM.
  23. STAIR SCREEN WITH GALVANIZED MATCH COVER.
  24. WIND OPERATED VENTILATION HATCH.
  25. 4FT X 8FT WALL BRICKH PIPING.
  26. 2" DIA. VERTICAL CONCRETE SPACE TAKE AT CONTAINER ROOMS WITH (1) MATCH COVER AT RAMPWALKING TOWER PLATFORM AND (1) AT 27 FT X 4FT CEILING WALL PIPING.
  27. 4FT X 8FT CEILING WALL PIPING.
  28. 4FT X 8FT WALL BRICKH PIPING.
  29. 4FT X 8FT WALL BRICKH PIPING.
  30. 4FT X 8FT WALL BRICKH PIPING.
  31. 4FT X 8FT WALL BRICKH PIPING.
  32. 4FT X 8FT WALL BRICKH PIPING.
  33. 4FT X 8FT WALL BRICKH PIPING.
  34. 4FT X 8FT WALL BRICKH PIPING.
  35. 4FT X 8FT WALL BRICKH PIPING.
  36. 4FT X 8FT WALL BRICKH PIPING.
  37. 4FT X 8FT WALL BRICKH PIPING.
  38. 4FT X 8FT WALL BRICKH PIPING.
  39. 4FT X 8FT WALL BRICKH PIPING.
  40. 4FT X 8FT WALL BRICKH PIPING.



1ST FLOOR PLAN

NEED DIMENSIONS AND THE PROPERTY OF FIRE TRAINING STRUCTURES L.L.C. (FTR) DIMENSIONS SHALL NOT BE UTILIZED OR REPRODUCED WITHOUT THE APPROVAL IN WRITING BY FTR.

REVISIONS

PROJECT  
**SANTA FE COUNTY, NM**  
**FIRE TRAINING TOWER**

3233 E. CORONA AVENUE  
 PHOENIX, AZ 85040  
 T: (602) 268-6156  
 WWW.MOBILEFIREUNITS.COM

PROJECT  
**SANTA FE**  
**FIRE**

DATE: 12-08-2018

PLAN

SCALE: NTS

SHEET: FAB-1

PROJECT  
**SANTA FE**  
**FIRE**

DATE: 12-08-2018

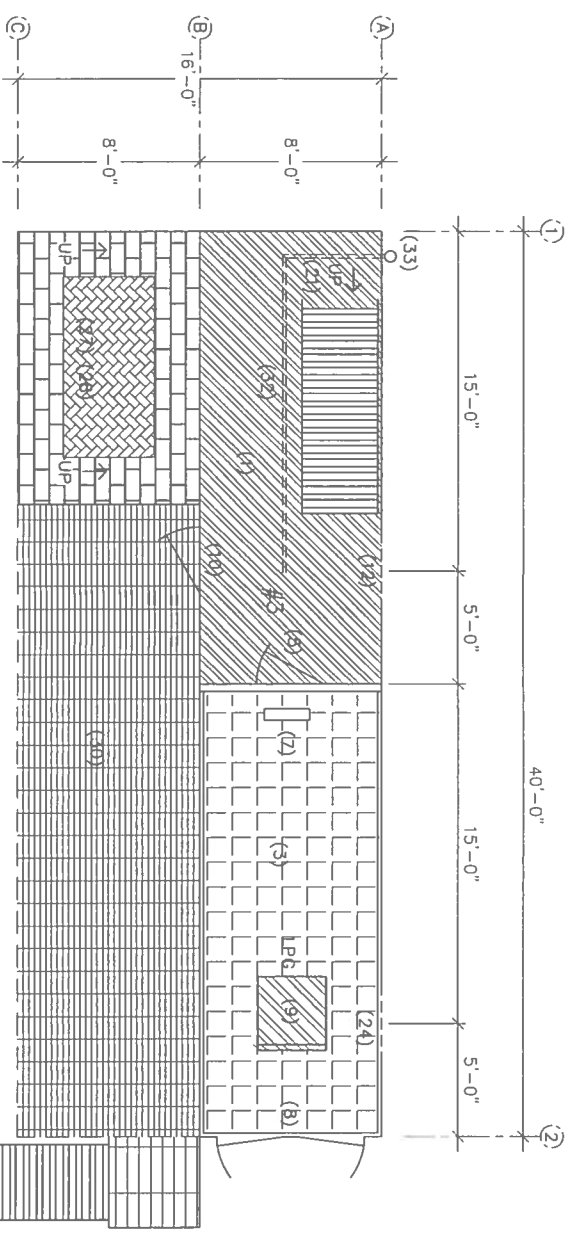
PLAN

SCALE: NTS

SHEET: FAB-1

NBA-24

- PLAN NOTES:
1. LIFT CONTAINER WITH STEEL FLOOR.
  2. LIFT CONTAINER WITH WOOD FLOOR.
  3. 3FT UPGRADE BURN ROOM WITH REMOVABLE HINGED SHOCK PANELS AND 4" RIGID INSULATING BOARD WITH 2" FIBER GLASS INSULATION BURN ROOM.
  4. STAIRWELL ROOFWELL DOOR.
  5. INSULATED ROOM AND WALL AT BURN ROOM.
  6. (2) MATERIAL SUSPENSION CHAINS AT STAIR BURN CASE.
  7. FLOOR DETAIL.
  8. (2) LIFT FLOOR PANELS (1) CONCRETE MOUNTED FLOOR-ON-FLOOR AND (1) 600 POUND FLOOR-ON-WALL MOUNTED FLOOR. CONCRETE MOUNTED FLOOR SYSTEM TO INCLUDE VENTILATION SYSTEM, AND MECHANICAL VENTILATION SYSTEM.
  9. 3FT X 3FT FIRE DOOR WITH HOSE WADCH.
  10. 3FT X 3FT FIRE DOOR WITH HOSE WADCH.
  11. LOCATION OF LIFT WALK FOR DISTURBER INTERCONNECTION TO ON-SITE UPS SUPPLY.
  12. 3FT X 3FT FIRE WINDOW.
  13. FLOOR FINISH EXIST AND CUTTING DOOR SYSTEM.
  14. CLEAN OUT HATCH.
  15. BALCONY WINDOW AT RAFTERS/LOG TRUSS.
  16. RAFTERS/LOG TRUSS.
  17. RAFTERS/LOG TRUSS AT 2ND FLOOR SYSTEM WITH RAFTERS AND WEE STRUTS/BRACING PANELS ABOVE (INCLUDE HATCH).
  18. 40-4000T PLATFORM WITH RECOMBINABLE PANELS ABOVE (INCLUDE HATCH).
  19. REMOVABLE HINGED SHOCK PANEL.
  20. REMOVABLE STAIRS AT 40-4000T PLATFORM.
  21. 40-4000T STAIRS AND HANGERS SYSTEM.
  22. 40-4000T EXTERIOR STAIR SYSTEM.
  23. STAIR OPENING WITH CALUMBERD HATCH COVER.
  24. WHICH OPERATED VENTILATION HATCH.
  25. 4FT X 8FT WALL BREAK ROOM.
  26. 34" DIA. VERTICAL CONCRETE SHAFT THAT FROM RAFTERS/LOG TRUSS PLATFORM TO BOX ROOM AT THE RAFTERS/LOG TRUSS PLATFORM AND (1) AT THE BOX ROOM.
  27. 4FT X 8FT CEILING WALL ROOM.
  28. 3FT LONG X 3FT WIDE X 4FT TALL FINISH EXPANDED METAL SURFACING SEE ACCESS ABOVE.
  29. 4FT ROOF PANEL WITH 4FT X 8FT CUTTING AREA.
  30. CALUMBERD BAY CEILING, QUADRANT, AND TOP-DOCK.
  31. 30" DIA. WALL WINDOW.
  32. 2" POLYURETHANE SHEETS WITH TWO SPRINKLER HEADS AT EACH BURN ROOM.
  33. STAIRWELL WITH GUARD RAIL CONNECTION AT CONTAINER THROUGH LEVEL AND ROOF LEVEL WITH CHANGING.
  34. 40-4000T STAIRS/PLATFORM TRUSS AND CABLE UNDER WITH INSULATING DOME RAFTERS/LOG TRUSS WITH RAFTERS/LOG TRUSS AND RAFTERS/LOG TRUSS.
  35. 30" DIA. WALL WINDOW.
  36. LOCATION OF EXTERIOR MOUNTED LIGHT WHICH THE CONTROL PANEL, AND RAFTERS/LOG TRUSS.
  37. 40-4000T PLATFORM TO CONCRETE BY (1) 600 POUND FLOOR-ON-WALL MOUNTED FLOOR.
  38. EXTERIOR PLATFORM TO CONCRETE BY (4) 6000 LB. MOUNTING UNITS.
  39. EXTERIOR MOUNTED ELECTRICAL LOAD CENTER WITH 40-4000T PLATFORM TO CONCRETE BY (4) 6000 LB. MOUNTING UNITS.
  40. CONCRETE FINISHES BY OTHER.



2ND FLOOR PLAN

THESE DOCUMENTS ARE THE PROPERTY OF FIRE TRAINING STRUCTURES L.L.C. (F73). DOCUMENTS SHALL NOT BE UTILIZED OR REPRODUCED WITHOUT THE APPROVAL IN WRITING BY F73.

PROPOSED

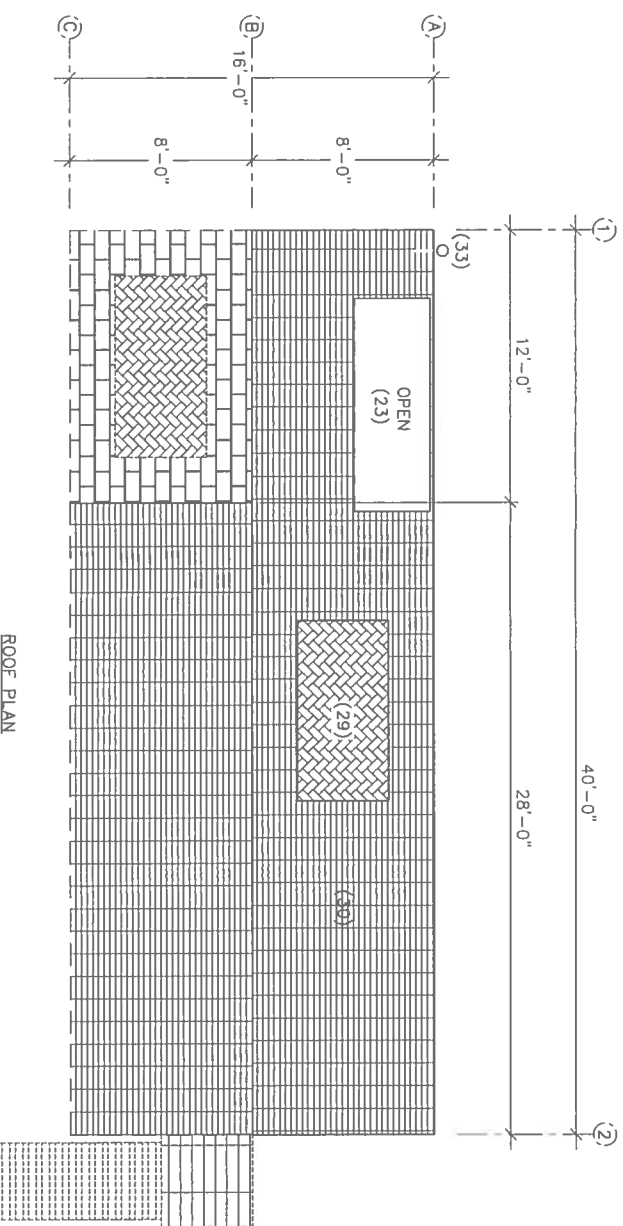
FIRE TRAINING STRUCTURES L.L.C.  
 3233 E. CORONA AVENUE  
 PHOENIX, AZ 85040  
 T: (602) 268-6156  
 WWW.MOBILEFIREUNITS.COM

PROJECT  
 SANTA FE COUNTY, NM  
 FIRE TRAINING TOWER

DATE: SANTA FE  
 DRAWN: PTB  
 CHECKED: PTB  
 DATE: 12-08-2013  
 SCALE: 1/8" = 1'-0"  
 SHEET: FAB-2  
 PLAN

NBA-25

- PLAN NOTES:
1. 40FT CONTIGUOUS WITH STEEL FLOOR.
  2. 40FT CONTIGUOUS WITH ROOF FLOOR.
  3. 2" RIGID UROLAN BURN ROOM WITH BURMAWEE UNDERLAYING SYSTEM WITH 2 PLYERS LOCATED BURN ROOM. PLYERS LOCATED 30" FROM THE 4" STAIRWELL PERSONAL DOOR.
  4. STAIRWELL PERSONAL DOOR.
  5. INSULATED DOOR AND WALL AT BURN ROOM.
  6. (2) METALLIC SUSPENSION CHAINS AT CEILING/WALLS, BRICK LINED FLOOR AND PALLET STOPS BURN ROOM.
  7. TUBER BENCH.
  8. (2) USE HOLLOW ROOF. (1) CEILING MOUNTED TO BE HUNG FROM EXISTING CEILING. (1) CEILING TO BE HUNG FROM NEW CEILING. CEILING TO BE HUNG FROM EXISTING CEILING SYSTEM AND MECHANICAL VENTILATION SYSTEM.
  9. 3" X 3" X 3" RIGID UROLAN BURN ROOM WITH BURMAWEE UNDERLAYING SYSTEM WITH 2 PLYERS LOCATED BURN ROOM. PLYERS LOCATED 30" FROM THE 4" STAIRWELL PERSONAL DOOR.
  10. 3" X 3" X 3" RIGID UROLAN BURN ROOM WITH BURMAWEE UNDERLAYING SYSTEM WITH 2 PLYERS LOCATED BURN ROOM. PLYERS LOCATED 30" FROM THE 4" STAIRWELL PERSONAL DOOR.
  11. LOCATION OF 1/2" VALVE FOR OUTSIDE INTERCONNECTION TO ON-SITE LINE SUPPLY.
  12. 3" X 3" X 3" RIGID UROLAN BURN ROOM WITH BURMAWEE UNDERLAYING SYSTEM WITH 2 PLYERS LOCATED BURN ROOM. PLYERS LOCATED 30" FROM THE 4" STAIRWELL PERSONAL DOOR.
  13. 4" BOOM FORCED ENTRY AND CUTTING ROOM STOPS.
  14. CEILING OUT HATCH.
  15. BALCONY WINDOW AT IMPERILING TOWER.
  16. IMPERILING WALL.
  17. PROVIDE RECONFIGURABLE SOLA WALK SYSTEM WITH RAMP AND STEEL CHIMNEY/STAIR PROPELLED ABOVE (PROVIDE WALK) PROVIDE ABOVE (PROVIDE WALK).
  18. RECONFIGURE HANGING SIGNIFICANT PROP.
  19. RECONFIGURE STAIRS AT 1/2" HIGH RAILWAY.
  20. RECONFIGURE STAIRS AND HANGING SYSTEM.
  21. RECONFIGURE STAIRS AND HANGING SYSTEM.
  22. CALVADOZ EXTENSION STAIR SYSTEM.
  23. STAIR OPENING WITH CALVADOZ HATCH.
  24. WHICH OPERATED VENTILATION HATCH.
  25. 4" X 3" X 3" RIGID UROLAN BURN ROOM WITH BURMAWEE UNDERLAYING SYSTEM WITH 2 PLYERS LOCATED BURN ROOM. PLYERS LOCATED 30" FROM THE 4" STAIRWELL PERSONAL DOOR.
  26. 4" X 3" X 3" RIGID UROLAN BURN ROOM WITH BURMAWEE UNDERLAYING SYSTEM WITH 2 PLYERS LOCATED BURN ROOM. PLYERS LOCATED 30" FROM THE 4" STAIRWELL PERSONAL DOOR.
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  38. 4" X 3" X 3" RIGID UROLAN BURN ROOM WITH BURMAWEE UNDERLAYING SYSTEM WITH 2 PLYERS LOCATED BURN ROOM. PLYERS LOCATED 30" FROM THE 4" STAIRWELL PERSONAL DOOR.
  39. 4" X 3" X 3" RIGID UROLAN BURN ROOM WITH BURMAWEE UNDERLAYING SYSTEM WITH 2 PLYERS LOCATED BURN ROOM. PLYERS LOCATED 30" FROM THE 4" STAIRWELL PERSONAL DOOR.
  40. 4" X 3" X 3" RIGID UROLAN BURN ROOM WITH BURMAWEE UNDERLAYING SYSTEM WITH 2 PLYERS LOCATED BURN ROOM. PLYERS LOCATED 30" FROM THE 4" STAIRWELL PERSONAL DOOR.
  41. 4" X 3" X 3" RIGID UROLAN BURN ROOM WITH BURMAWEE UNDERLAYING SYSTEM WITH 2 PLYERS LOCATED BURN ROOM. PLYERS LOCATED 30" FROM THE 4" STAIRWELL PERSONAL DOOR.
  42. 4" X 3" X 3" RIGID UROLAN BURN ROOM WITH BURMAWEE UNDERLAYING SYSTEM WITH 2 PLYERS LOCATED BURN ROOM. PLYERS LOCATED 30" FROM THE 4" STAIRWELL PERSONAL DOOR.
  43. 4" X 3" X 3" RIGID UROLAN BURN ROOM WITH BURMAWEE UNDERLAYING SYSTEM WITH 2 PLYERS LOCATED BURN ROOM. PLYERS LOCATED 30" FROM THE 4" STAIRWELL PERSONAL DOOR.
  44. 4" X 3" X 3" RIGID UROLAN BURN ROOM WITH BURMAWEE UNDERLAYING SYSTEM WITH 2 PLYERS LOCATED BURN ROOM. PLYERS LOCATED 30" FROM THE 4" STAIRWELL PERSONAL DOOR.

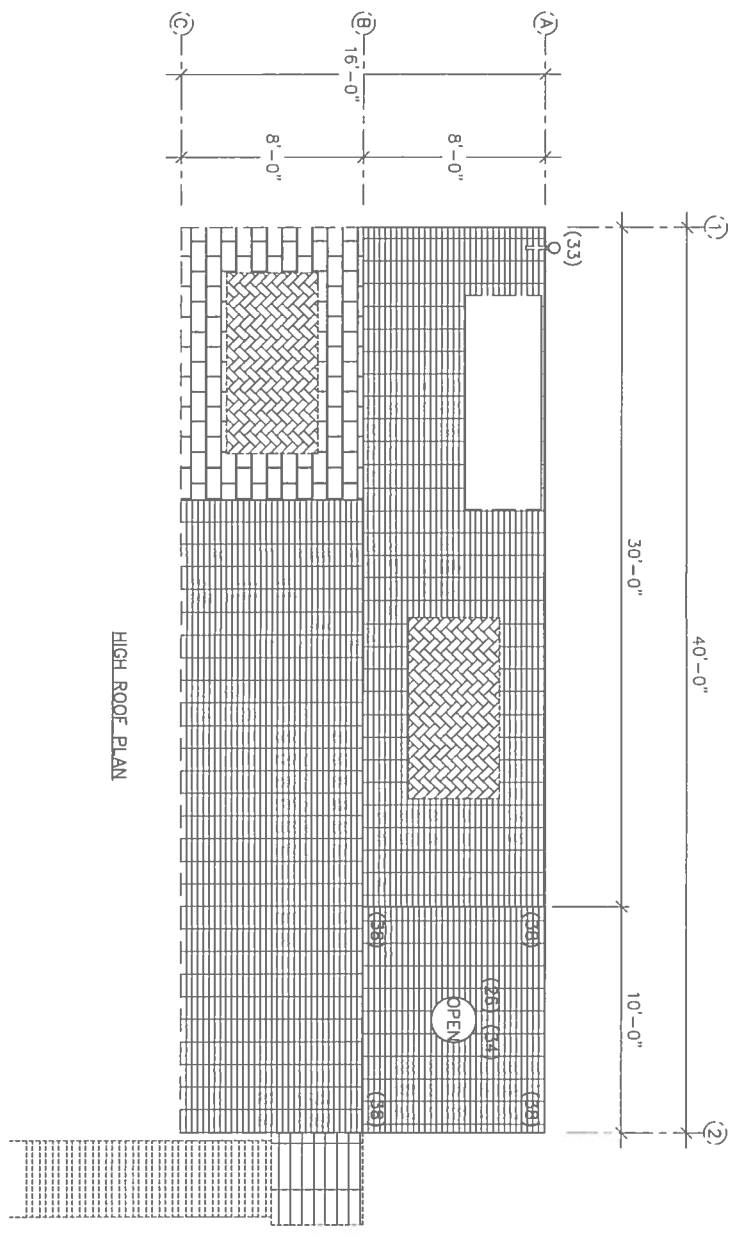


ROOF PLAN

<p>REVISIONS</p>	<p>PROJECT</p> <p>SANTA FE COUNTY, NM</p> <p>FIRE TRAINING TOWER</p>	<p>FIRE TRAINING STRUCTURES L.L.C.</p> <p>3233 E. CORONA AVENUE</p> <p>PHOENIX, AZ 85040</p> <p>T: (602) 268-6156</p> <p>WWW.MOBILEFIREUNITS.COM</p>
<p>DATE: 12-08-2013</p> <p>DESIGNER: FTB</p> <p>CHECKER: FTB</p> <p>SCALE: 1/8" = 1'-0"</p> <p>SHEET: FAB-3</p>	<p>PLAN</p>	

NISA-210

- PLAN NOTES:
1. GFT CONTAINING WITH STEEL FLOOR.
  2. GFT CONTAINING WITH WOOD FLOOR.
  3. GFT CONTAINING BATH ROOM WITH STAINLESS STEEL SINKS AND 4-DRAW TOILETS. BATHROOMS WITH AND 2 TOILETS LOCATED OUTSIDE THE BATH ROOM.
  4. STANDARD PROGRAMMED DOOR.
  5. ISOLATED DOOR AND WALL AT BATH ROOM.
  6. (1) MATERIAL SUBSTITUTION CHANGES AT THE DISCRETION OF THE ARCHITECT.
  7. FLOOR FINISH.
  8. CARPET FLOOR.
  9. (1) FLOOR FINISH: (1) STAINLESS STEEL FLOOR FINISH AND (1) WOOD FINISH TO BE INTRODUCED WITH A CONSULTATIVE AND APPROVAL FROM THE ARCHITECT. (2) FLOOR FINISH: (1) STAINLESS STEEL FLOOR FINISH AND (1) WOOD FINISH TO BE INTRODUCED WITH A CONSULTATIVE AND APPROVAL FROM THE ARCHITECT.
  10. 3 FT X 7 FT FIRE DOOR WITH HOSE RATCH.
  11. LOCATION OF LVS VALVE FOR CUSTOMER RECONNECTION TO ON-SITE GAS SERVICE.
  12. 3 FT X 7 FT FIRE WINDOW.
  13. A ROOM FORCED ENTRY AND CUTTING DOOR.
  14. CLEAN OUT HATCH.
  15. BACKLIT WINDOW AT HANGING TOWER.
  16. HANGING TOWER.
  17. ROOM RECONSTRUCTION WITH WOOD SYSTEM FLOOR FINISH AND WOOD FINISH TO BE INTRODUCED WITH A CONSULTATIVE AND APPROVAL FROM THE ARCHITECT.
  18. 100-HOUR PLATFORM WITH RECONSTRUCTION FLOOR ABOVE (INCLUDE WALLS).
  19. RECONSTRUCT HANGING SHOWER PIPE.
  20. RECONSTRUCT STAIRS AT 100-HOUR PLATFORM.
  21. INTERIOR STAIRS AND HORIZONTAL SYSTEM.
  22. CALUMBERD EXTENSION STAIR SYSTEM.
  23. STAIR SYSTEM WITH CALUMBERD HATCH COVER.
  24. WHICH OPERATED VENTILATION HATCH.
  25. 4 FT X 8 FT WALL BRUSH ROOM.
  26. 3 FT DIA. VERTICAL COMPRESSOR SPACE WITH FROM HANGING TOWER PLATFORM TO BATH ROOM AT THE HANGING TOWER PLATFORM AND (1) AT THE BATH ROOM.
  27. 4 FT X 8 FT CEILING FILL ROOM.
  28. 1 FT DIA. X 8 FT DIA. VERTICAL COMPRESSOR SPACE WITH FROM HANGING TOWER PLATFORM TO BATH ROOM AT THE HANGING TOWER PLATFORM AND (1) AT THE BATH ROOM.
  29. 4 FT X 8 FT CEILING FILL ROOM.
  30. CALUMBERD BIA GRATING, GUYWIRE, AND TIE-BACK.
  31. DOWNER DRILL WINDOW.
  32. FOUNDATION STRUTTING PER WITH TWO STRUTTING HEADS AT EACH BATH ROOM.
  33. STANDARD WITH STAINLESS STEEL CONNECTION AT CONTAINER INTERIOR LEVEL AND HOSE LEVEL (115 THROUGHT).
  34. CALUMBERD VENTILATING TOWER AND CASED HANGING TOWER WITH CALUMBERD HANGING TOWER AND CASED HANGING TOWER.
  35. 30" DIA. ACCESS HATCH.
  36. 30" DIA. ACCESS HATCH.
  37. INTERIOR ELECTRICAL TO CONSIST OF (2) LIGHTS AND (1) WALL SWITCHES/RECEPTACLES.
  38. EXTERIOR ELECTRICAL TO CONSIST OF (4) LIGHTS AND (1) WALL SWITCHES/RECEPTACLES.
  39. EXTERIOR WOODEN ELECTRICAL LOAD CENTER FROM LAMP WIRE CONNECTION TO THE SHIELD POLE TO BE PROVIDED BY CUSTOMER.
  40. COMPLETE FORMING BY OWNER.

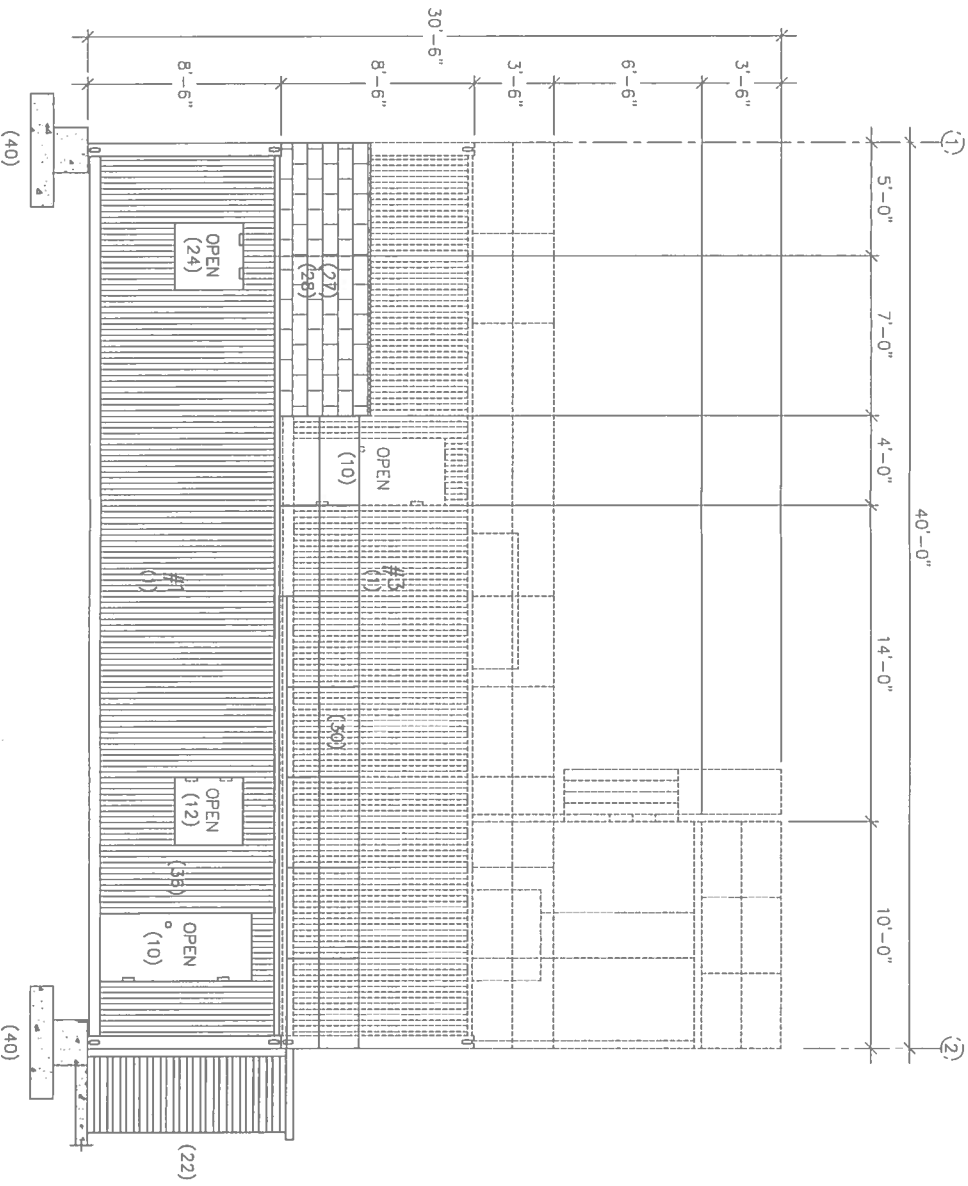


HIGH ROOF PLAN

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PROJECT <b>SANTA FE COUNTY, NM</b> <b>FIRE TRAINING TOWER</b>	FIRE TRAINING STRUCTURES L.L.C. 3233 E. CORONA AVENUE PHOENIX, AZ 85040 T: (602) 268-6156 WWW.MOBILEFIREUNITS.COM	REVISIONS

- PLAN NOTES
1. 40FT CORNER WITH STEEL FLOOR.
  2. 40FT CORNER WITH WOOD FLOOR.
  3. 20FT BAY/CLASH BAY/CLASH BAY WITH BALANCE WEIGHTING SYSTEM WITH 2 PIPES LOCATED BAY/CLASH BAY.
  4. STANDARD PERSONNEL DOOR.
  5. INSULATED DOOR AND WALL AT BAY/CLASH BAY/CLASH BAY.
  6. (2) UTILITY SUSPENSION CEILING AT CLASH/BAY/CLASH BAY LOCATED FLOOR AND PALLET SHEED BAY/CLASH BAY.
  7. FLOOR GRATE.
  8. (2) 1/2" DIA. PIPES (2) 1/2" DIA. PIPES TO BE INSTALLED WITH A CONCRETE AND GROUTED TO THE CONCRETE FLOOR.
  9. 3/4" x 3/4" FINE SCREEN WITH HOSE HATCH.
  10. LOCATION OF 1/2" DIA. FINE SCREEN WITH CONNECTION TO DR-SITE LPO SYSTEM.
  11. 3/4" x 3/4" FINE SCREEN.
  12. 4 DOOR TYPED ENTRY AND CUTTING DOOR SYSTEM.
  13. CLEAN OUT HATCH.
  14. BULKHEAD ROOM AT RAMPING TOWER.
  15. RAMPING WALL.
  16. RAMPING WALL.
  17. MEDICAL RECONSTRUCTION SEAL WALL SYSTEM WITH BUMP AND SINK DETAIL/DETAIL PROPER.
  18. MEDICAL RECONSTRUCTION SEAL WALL SYSTEM WITH BUMP AND SINK DETAIL/DETAIL PROPER.
  19. RECONSTRUCTION SEAL WALL SYSTEM WITH BUMP AND SINK DETAIL/DETAIL PROPER.
  20. RECONSTRUCTION SEAL WALL SYSTEM WITH BUMP AND SINK DETAIL/DETAIL PROPER.
  21. WINDOW STUDS AND HORIZONTAL STUDS.
  22. GALVANIZED EXTENSION STAIN SYSTEM.
  23. STAIN SYSTEM WITH GALVANIZED HATCH SYSTEM.
  24. WINDOW OPERATED VENTILATION HATCH.
  25. 4/8" x 8" WALL BREAK PROOF.
  26. 3" DIA. VERTICAL CONCRETE SPACE TIE AT CORNER/ROOF TOP WITH (1) HATCH COVER AT THE ROOF PROOF.
  27. 4/8" x 4/8" CEILING WALL PROOF.
  28. 1/2" LIFT LUNG 3/4" DIA. x 4/8" WALL PROOF ROOF PROOF WITH 4/8" VERTICAL PROOF HATCHES WITH 4/8" DIA. AND 3/4" DIA. HATCHES.
  29. FLAT ROOF WITH 4/8" x 8" CUTTING AREA.
  30. GALVANIZED BAY GRATING, GALVANIZED AND GALVANIZED BAY GRATING.
  31. BAY/CLASH WALL WINDOW.
  32. RECONSTRUCTION SEAL WALL WITH STRAINERS HATCH AT EACH BAY/CLASH BAY.
  33. STAIRWELL WITH GALVANIZED EDC CONNECTION AT CORNER/ROOF TOP WITH (1) HATCH COVER AT THE ROOF PROOF.
  34. GALVANIZED RAMPING TOWER AND CLASH BAY WITH GALVANIZED EDC CONNECTION AND REPELLING ANCHORS.
  35. 3/4" DIA. ACCESS HATCH.
  36. LOCATION OF EXTENSION WINDOW HATCH WINDOW.
  37. WINDOW ELECTRICAL TO CONSIST OF (2) LIGHTS AND (2) WALL SWITCHES/RECEPTACLES.
  38. EXTENSION ELECTRICAL TO CONSIST OF (1) 40WATT FLOOD LIGHTS.
  39. EXTENSION ELECTRICAL TO CONSIST OF (1) 40WATT FLOOD LIGHTS.
  40. EXTENSION ELECTRICAL TO CONSIST OF (1) 40WATT FLOOD LIGHTS.
  41. EXTENSION ELECTRICAL TO CONSIST OF (1) 40WATT FLOOD LIGHTS.
  42. EXTENSION ELECTRICAL TO CONSIST OF (1) 40WATT FLOOD LIGHTS.
  43. EXTENSION ELECTRICAL TO CONSIST OF (1) 40WATT FLOOD LIGHTS.
  44. CONCRETE FLOORING BY OTHERS.



GRIDLINE C EXTERIOR ELEVATION

THIS DOCUMENT IS THE PROPERTY OF THE TRAINING STRUCTURES L.L.C. (TTS) DOCUMENTS SHALL NOT BE UTILIZED OR REPRODUCED WITHOUT THE APPROVAL IN WRITING BY TTS.

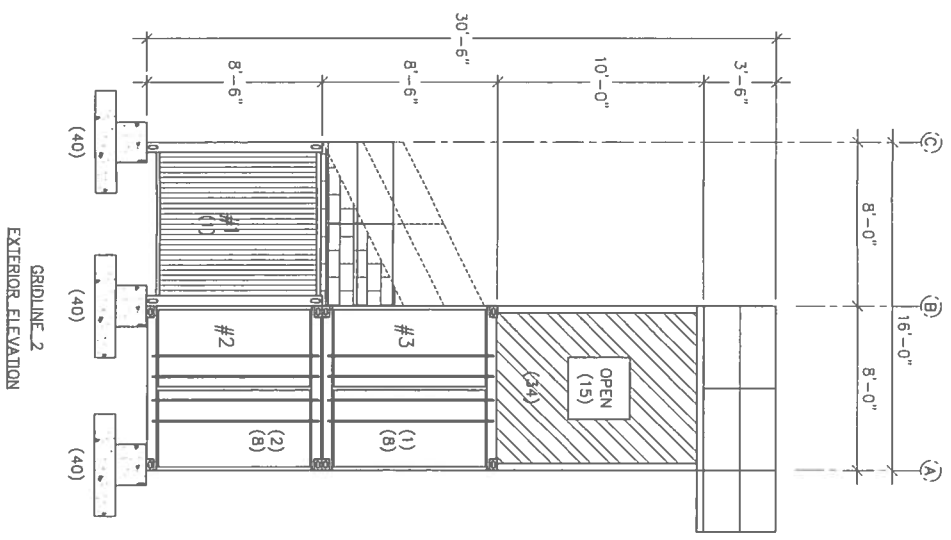
REVISIONS

PROJECT  
**SANTA FE COUNTY, NM**  
**FIRE TRAINING TOWER**

FIRE TRAINING STRUCTURES L.L.C.  
 3233 E. CORONA AVENUE  
 PHOENIX, AZ 85040  
 T: (602) 268-6156  
 WWW.MOBILEFIREUNITS.COM

DATE: 12-08-2014  
 SHEET: FAB-5  
 SCALE: 1/8" = 1'-0"

- PLAN NOTES:**
1. GFT CONTAINER WITH STEEL FLOOR.
  2. GFT CONTAINER WITH WOOD FLOOR.
  3. SPOT LIGHTS TO BE INSTALLED AT 4' INTERVALS. SPOT LIGHTS TO BE INSTALLED AT 4' INTERVALS. SPOT LIGHTS TO BE INSTALLED AT 4' INTERVALS. SPOT LIGHTS TO BE INSTALLED AT 4' INTERVALS. SPOT LIGHTS TO BE INSTALLED AT 4' INTERVALS.
  4. STANDARD PERSONNEL DOOR.
  5. INSULATED DOOR AND WALL AT BURN ROOM.
  6. (2) WATER SUPPRESSION CHAINS AT GABLE/WALLS. BURN LINES FLOOR AND PALLET FLOOR.
  7. FLOOR FINISH.
  8. CHASE DOOR.
  9. (2) 2" DIA. VERTICAL CHASE DOORS TO BE INSTALLED WITH A COMBUSTIBLE GAS SYSTEM AND MECHANICAL VENTILATION SYSTEM. (2) 2" DIA. VERTICAL CHASE DOORS TO BE INSTALLED WITH A COMBUSTIBLE GAS SYSTEM AND MECHANICAL VENTILATION SYSTEM.
  10. 2" X 2" FT FINE MESH WITH HOSE WITCH.
  11. LOCATION OF LVS VALVE FOR CUSTOMER INTERCONNECTION TO ON-SITE LVS SYSTEM.
  12. 2" X 2" FT FINE MESH.
  13. 4 DOOR FORCED ENTRY AND CUTTING DOOR.
  14. COLD AIR WITCH.
  15. BURNOUT WINDOW AT IMPERFORATE TOWER.
  16. RAPPING WALL.
  17. PERMANENT RECORDING EQUIPMENT SYSTEM.
  18. 1/2" DIA. VERTICAL CHASE DOORS TO BE INSTALLED WITH A COMBUSTIBLE GAS SYSTEM AND MECHANICAL VENTILATION SYSTEM. (2) 1/2" DIA. VERTICAL CHASE DOORS TO BE INSTALLED WITH A COMBUSTIBLE GAS SYSTEM AND MECHANICAL VENTILATION SYSTEM.
  19. REMOVABLE INSULATED SHOWER HOOD.
  20. REMOVABLE STAIRS AT MID-HEIGHT PLATFORM.
  21. INTERIOR STAIRS AND HANDRAIL SYSTEM.
  22. GALVANIZED EXTENSION STAIR SYSTEM.
  23. 1/2" DIA. VERTICAL CHASE DOORS TO BE INSTALLED WITH A COMBUSTIBLE GAS SYSTEM AND MECHANICAL VENTILATION SYSTEM.
  24. WHICH OPERATED VENTILATION WITCH.
  25. 2" X 2" FT FINE MESH.
  26. 2" X 2" FT FINE MESH.
  27. 2" X 2" FT FINE MESH.
  28. 2" X 2" FT FINE MESH.
  29. 2" X 2" FT FINE MESH.
  30. 2" X 2" FT FINE MESH.
  31. 2" X 2" FT FINE MESH.
  32. 2" X 2" FT FINE MESH.
  33. 2" X 2" FT FINE MESH.
  34. 2" X 2" FT FINE MESH.
  35. 2" X 2" FT FINE MESH.
  36. 2" X 2" FT FINE MESH.
  37. 2" X 2" FT FINE MESH.
  38. 2" X 2" FT FINE MESH.
  39. 2" X 2" FT FINE MESH.
  40. CONCRETE FLOORING BY OTHERS.



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REVISIONS

**PROJECT:**  
SANTA FE COUNTY, NM  
**FIRE TRAINING TOWER**

**FIRE TRAINING STRUCTURES L.L.C.**  
3233 E. CORONA AVENUE  
PHOENIX, AZ 85040  
T: (602) 268-6156  
WWW.MOBILEFIREUNITS.COM

**SCALE:** 1/8" = 1'-0"

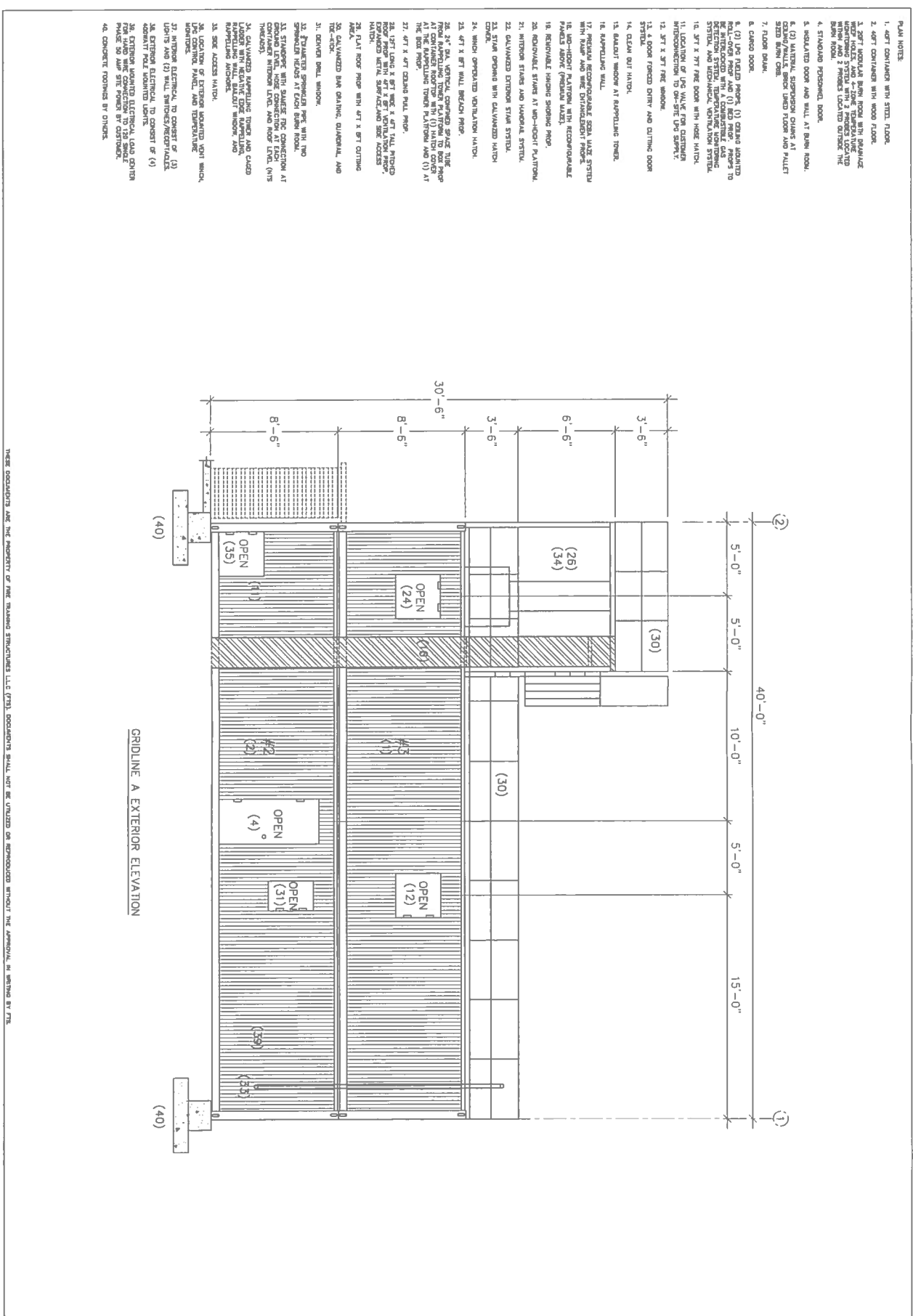
**DATE:** 12-08-2014

**PROJECT:** SANTA FE  
**NAME:** F.T.B.  
**CREATED:** F.T.B.  
**DATE:** 12-08-2014

**ELEVATION**

**SHEET:** FAB-6

NBA-29

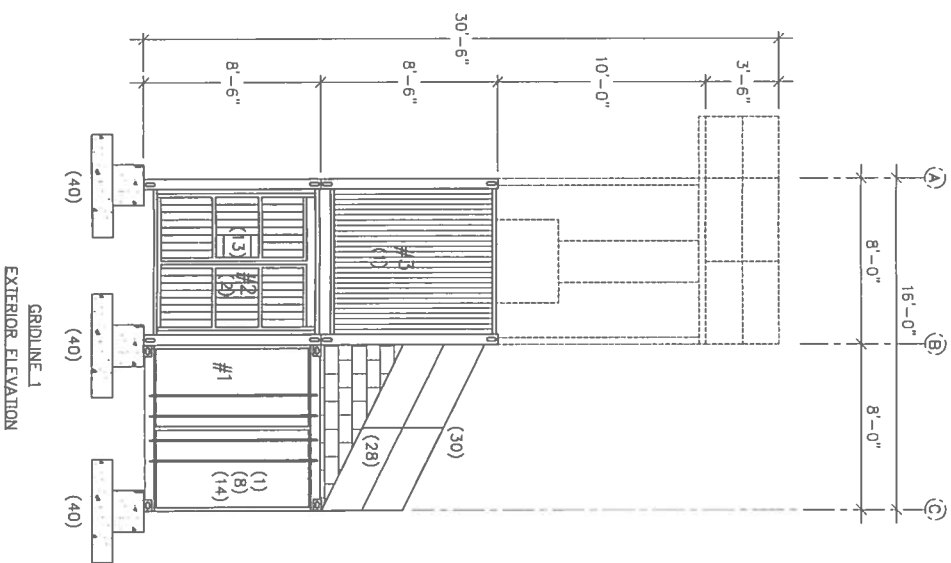


PROJECT <b>SANTA FE COUNTY, NM</b> <b>FIRE TRAINING TOWER</b>	FIRE TRAINING STRUCTURES L.L.C. 3233 E. CORONA AVENUE PHOENIX, AZ 85040 T: (602) 268-6156 WWW.MOBILEFIREUNITS.COM	REVISIONS

- PLAN NOTES:**
1. DOOR CONTIGUOUS WITH STEEL DOOR.
  2. DOOR CONTIGUOUS WITH WOOD FLOOR.
  3. DOOR TO BE OPENED BY HAND OR BY REMOTE CONTROLLED SYSTEM WITH 2 PROTECTED LOCATED BURN ROOM.
  4. STANDARD PERSONAL DOOR.
  5. ISOLATED DOOR AND WALL AT BURN ROOM.
  6. (2) WALLS SUSPENSION CHAINS AT CEILING/WALLS BRICK LINED FLOOR AND PILETT FLOOR SLAB.
  8. CARPET DOOR.
  9. (2) USE FIBER DOOR (1) BRICK MOUNTED TO BE INTRODUCED WITH A CONSTRUCTION SYSTEM AND MECHANICAL VENTILATION SYSTEM.
  10. (2) USE FIBER DOOR (1) BRICK MOUNTED TO BE INTRODUCED WITH A CONSTRUCTION SYSTEM AND MECHANICAL VENTILATION SYSTEM.
  11. LOCATION OF LPG VALVE FOR CUSTOMER INTERCONNECTION TO ON-SITE LPG SUPPLY.
  12. 4' X 8' FIRE WINDOW WITH HOSE WADCH.
  13. 4' X 8' FIRE WINDOW.
  14. GLASS DOOR WITH DOOR STOP.
  15. GLASS DOOR WITH DOOR STOP.
  16. RAPPILING WALL.
  17. PRECAST RECONSTRUCTIBLE STEEL WALL SYSTEM WITH RAIL AND THE CONSTRUCTION PHASES ABOVE PRECAST WALLS.
  18. REMOVABLE INSULATED BRICK ROOF.
  20. REMOVABLE STAIRS AT 10'-0" RAILROAD.
  21. WITHIN STAIRS AND VERTICAL SYSTEM.
  22. GALVANIZED EXTENSION STEEL SYSTEM.
  23. STAIR GROUND WITH GALVANIZED HATCH.
  24. WHICH OPERATED VENTILATION HATCH.
  25. 4' X 8' FT WALL BRICK ROOF.
  26. 4' X 8' FT WALL BRICK ROOF.
  27. 4' X 8' FT CEILING HALL ROOF.
  28. LEFT LANE 4' X 8' WALL 4' FT TALL PITCHED ROOF WITH STAIR AND HOSE WADCH.
  29. FLAT ROOF WITH 4' X 8' FT CEILING HATCH.
  30. GALVANIZED STEEL CEILING, GUYWIRE, AND THE-ROOF.
  31. DOORWAY WALL WINDOW.
  32. STAIRWAY OPERATED WITH TWO GUYWIRE HITCHES AT EACH BURN ROOM.
  33. STAIRWAY WITH STAIRS FOR CONNECTION AT CONTIGUOUS WITHIN LEVEL AND ROOF LEVEL (THIS THROUGH).
  34. GALVANIZED RAPPILING TOWER AND CEILING RAPPILING WALL BRICK WINDOW AND RAPPILING HATCHES.
  35. STEEL ACCESS HATCH.
  36. LOCATION OF EXTENSION MOUNTED WITH WHICH HORIZONTAL WALL AND LEVELING.
  37. WITHIN ELECTRICAL TO CONCEPT OF (1) LINES AND (2) WALL STRUCTURES/CONCEPTS.
  38. EXTENSION ELECTRICAL TO CONCEPT OF (4).
  39. EXTENSION MOUNTED AT CEILING/WALL BRICK LINED FLOOR AND PILETT FLOOR SLAB WITH CONNECTION TO STEEL WALL PILETT TO STEEL POWER BY CONDUIT.
  40. CONCRETE FLOORING BY OTHER.

NBA-30

- PLAN NOTE:
1. LIGHT CONTAINMENT WITH STEEL FLOOR.
  2. LIGHT CONTAINMENT WITH WOOD FLOOR.
  3. 20FT WOODLUMBER BURN ROOM WITH BRASS/ALUMINUM DOOR AND 4.00CFM TEMPERATURE RISE SMOKE EXHAUST SYSTEM. TEMPERATURE RISE SMOKE EXHAUST SYSTEM, TEMPERATURE RISE SMOKE EXHAUST SYSTEM, AND MECHANICAL VENTILATION SYSTEM.
  4. INSULATED PERSONNEL DOOR.
  5. INSULATED DOOR AND WALL AT BURN ROOM.
  6. (2) VERTICAL EXHAUSTION CHIMNEYS AT BURN ROOM.
  7. FLOOR SLAB.
  8. (2) LHS FLOOR PROPS, (1) CEILING MOUNTED ROUL-DOWN PROP AND (1) BED PROP. ACCESS TO DETECTION SYSTEM, TEMPERATURE RISE SMOKE EXHAUST SYSTEM, AND MECHANICAL VENTILATION SYSTEM.
  9. 27T X 27T FIRE DOOR WITH HOSE HATCH.
  10. LOCATION OF THE VALVE FOR DISTANCE DETECTION SYSTEM.
  11. 4.00CFM TEMPERATURE RISE SMOKE EXHAUST SYSTEM.
  12. 27T X 27T FIRE DOOR WITH HOSE HATCH.
  13. 27T X 27T FIRE DOOR.
  14. 27T X 27T FIRE DOOR WITH CUTTING DOOR SYSTEM.
  15. CEILING OUT HATCH.
  16. MECHANICAL VENTILATION SYSTEM.
  17. MECHANICAL VENTILATION SYSTEM WITH BLADE AND WING DETACHMENT PROPS.
  18. 48"-HIGHT PLATFORM WITH RESPONSIBLE PLACES ABOVE (MECHANICAL HATCH).
  19. REMOVABLE HINGED SHOWER PROP.
  20. REMOVABLE STAIRS AT 48"-HIGHT PLATFORM.
  21. INTERIOR STAIRS AND HANDRAIL SYSTEM.
  22. CALVANCED EXTERIOR STAIR SYSTEM.
  23. STAIR OPENING WITH CALVANCED HATCH COVER.
  24. WHICH OPERATES VENTILATION HATCH.
  25. 4FT X 8FT WALL BRANCH PROP.
  26. 2" DIA. VERTICAL CALVANCED SPACE TUBE FROM MECHANICAL TOWER PLATFORM TO HOSE PROP AT THE MECHANICAL TOWER PLATFORM AND (1) AT THE BOX PROP.
  27. 4FT X 8FT CEILING ROLL PROP.
  28. 27T X 27T FIRE DOOR WITH CUTTING DOOR SYSTEM.
  29. 27T X 27T FIRE DOOR WITH CUTTING DOOR SYSTEM.
  30. 27T X 27T FIRE DOOR WITH CUTTING DOOR SYSTEM.
  31. 27T X 27T FIRE DOOR WITH CUTTING DOOR SYSTEM.
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  40. 27T X 27T FIRE DOOR WITH CUTTING DOOR SYSTEM.
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  42. 27T X 27T FIRE DOOR WITH CUTTING DOOR SYSTEM.
  43. 27T X 27T FIRE DOOR WITH CUTTING DOOR SYSTEM.
  44. 27T X 27T FIRE DOOR WITH CUTTING DOOR SYSTEM.
  45. 27T X 27T FIRE DOOR WITH CUTTING DOOR SYSTEM.



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REVISIONS

PROJECT  
**SANTA FE COUNTY, NM**  
**FIRE TRAINING TOWER**

PROJECT  
**SANTA FE COUNTY, NM**  
**FIRE TRAINING TOWER**

DATE: 12-08-2014  
 DRAWN: JTB  
 CHECKED: JTB  
 ELEVATION  
 SHEET: FAB-8





Feb 02, 2016

Jose E. Larranaga,  
Development Review Team Leader  
Santa Fe County  
102 Grant Avenue  
Santa Fe, NM 87504-0276

RE: Site Development Plan/Conditional Use, Case #SDP 16-5000 Agua Fria Fire  
Training Tower

Dear Mr. Larranaga:

The New Mexico Department of Transportation (NMDOT) District 5 Traffic Section has reviewed the Application for an Agua Fria Fire Training Tower. The proposed development is within the County of Santa Fe, New Mexico and consists of several types of Land uses off our roadway system.

We are in agreement with your findings and recommendations that this development will not impact our State transportation system. We therefore approve the study.

Please feel free to contact me at (505)995 7802 if you have any questions.

Sincerely

  
M S JAWADI, P.E.

District 5 Asst. Traffic Engineer  
NMDOT; Santa Fe, NM 87502

Cc: Paul Brasher, Acting District Engineer  
Ernest Armijo, District 5 Traffic Engineer



**Susana Martinez**  
Governor

**Tom Church**  
Cabinet Secretary

**Commissioners**

**Ronald Schmeits**  
Chairman  
District 4

**Dr. Kenneth White**  
Secretary  
District 1

**David Sepich**  
Commissioner  
District 2

**Keith Mortensen**  
Commissioner  
District 3

**Butch Mathews**  
Commissioner  
District 5

**Jackson Gibson**  
Commissioner  
District 6



STATE OF NEW MEXICO

OFFICE OF THE STATE ENGINEER

CONCHA ORTIZ Y PINO BUILDING, 130 SOUTH CAPITOL, SANTA FE, NM 87501  
TELEPHONE: (505) 827-6091 FAX: (505) 827-3806

TOM BLAINE, P.E.  
STATE ENGINEER

February 5, 2016

Mailing Address:  
P.O. Box 25102  
Santa Fe, NM 87504-5102

Jose E. Larrañaga  
Development Review Team Leader  
Santa Fe County  
P.O. Box 276  
Santa Fe, NM 87504-0276

**CERTIFIED MAIL**  
**RETURN RECEIPT**  
**REQUESTED**

**Reference: Agua Fria Fire Training Tower Development Plan**

Dear Mr. Larranaga:

On January 26, 2016, the Office of the State Engineer (OSE) received a request to review the Agua Fria Fire Training Development Plan for technical accuracy and for compliance with the Santa Fe County Sustainable Land Development Code.

The proposal provides a request for the installation of a prefabricated Fire Training Tower at the Agua Fria Fire Station located at 2020 Caja de Oro Grant Road in Santa Fe. According to the proposal "*The Fire Department will not use water from the current supply provided from the County owned well for the Agua Fria Station for training. Current trainings are conducted by bringing water on site in fire trucks from fire hydrants throughout the County*".

This proposal was reviewed pursuant to the Santa Fe County Land Development Code (Code) and the New Mexico Subdivision Act.

When a subdivision proposal is received by the OSE, the developer's water demand analysis is reviewed to determine if it is technically correct and reasonable. The OSE also verifies that the appropriate conservation measures are reflected in the analysis. Further, data in the water demand analysis is compared with the data and statements included in the disclosure statement and in the restrictive covenants to make sure that they are consistent with each other. Since the aforementioned documents are not provided with the applicant's submittal, the technical analysis described above was not performed.

Section 4.4.7 of the Code allows the Santa Fe County Land Use staff to refer applications as appropriate to state agencies for review. The OSE recognizes the proactive actions on behalf of the County to solicit the technical opinion of the OSE on this development plan. However, because the proposed development is not formally covered under the New Mexico Subdivision

N13A - 33

Act, the OSE declines to provide an opinion at this time. We appreciate the opportunity to review the Agua Fria Fire Training Tower Development Plan submittal.

If you have any questions, please call Julie Valdez at 505-827-6790.

Sincerely,



Molly Magnuson, P.E.  
Water Use & Conservation Bureau Chief

cc: OSE Water Rights Division, Santa Fe Office

NBA-34



SUSANA MARTINEZ  
Governor  
JOHN A. SANCHEZ  
Lieutenant Governor

NEW MEXICO  
ENVIRONMENT DEPARTMENT

2540 Camino Edward Ortiz  
Santa Fe, NM 87507  
Phone (505) 827-1840 Fax (505) 827-1839  
[www.env.nm.gov](http://www.env.nm.gov)



RYAN FLYNN  
Cabinet Secretary  
BUTCH TONGATE  
Deputy Secretary

February 9, 2016

Jose Larrañaga, Development Review Team Leader  
Planning and Development Division  
Santa Fe County  
P.O. Box 276  
Santa Fe, NM 87504-0276

**RE: Site Development Plan/Conditional Use  
Case # SDP 16-5000 Agua Fria Fire Training Tower**

Dear Mr. Larrañaga:

I have reviewed the correspondence you provided concerning the referenced development and have no comments relating to on-site treatment and disposal of liquid waste.

Please contact me with any questions or if you need additional information.

Sincerely,

Bill Brown  
Liquid Waste Specialist  
New Mexico Environment Department

NBA-35



Susana Martinez  
Governor

STATE OF NEW MEXICO  
**DEPARTMENT OF CULTURAL AFFAIRS**  
**HISTORIC PRESERVATION DIVISION**

BATAAN MEMORIAL BUILDING  
407 GALISTEO STREET, SUITE 236  
SANTA FE, NEW MEXICO 87501  
PHONE (505) 827-6320 FAX (505) 827-6338

February 17, 2016

Jose E. Larrañaga  
Development Review Team Leader  
County of Santa Fe  
102 Grant Avenue  
P.O. Box 276  
Santa Fe, NM 87504-0276

RE: Site Development Plan/Conditional Use, Case # SDP 16-5000, Agua Fria Fire Training Tower

Dear Mr. Larrañaga:

I am writing in response to the request for review of the proposed modular fire fighter training tower. The site development plan was received at the Historic Preservation Division (HPD) on January 26, 2016.

A review of our records shows that the Agua Fria Fire Station property was surveyed for cultural resources in 2013 as part of a survey for Romero Park. No archaeological sites were found on the Fire Station property. Based on this information, the proposed training tower will have **No Effect on Historic Properties** and HPD has no concerns with the proposed development plan.

Please do not hesitate to contact me if you have any questions. I can be reached by telephone at (505) 827-4064 or by email at [michelle.ensey@state.nm.us](mailto:michelle.ensey@state.nm.us).

Sincerely,

Michelle M. Ensey  
Archaeologist

Log: 102950

NBA-36

## Jose Larranaga

---

**From:** Gerard A. Schoeppner  
**Sent:** Thursday, February 18, 2016 10:05 AM  
**To:** Jose Larranaga  
**Cc:** Claudia I. Borchert; Robert J. George; Sandra J. Ely; Phyllis Bustamante  
**Subject:** Site Development Plan - Agua Fria Fire Training Tower

Jose:  
I reviewed the submittal for the Agua Fria Fire Training Tower project as requested. The project proposes to install a pre-designed, pre-engineered, two-story modular Fire Training Tower at the existing Agua Fria Fire Station. The application states that the project will not use water from the current supply provided by a County owned well which supplies the Agua Fria Fire Station for training and therefore, a water budget was not submitted. Current trainings are conducted by delivering water in fire trucks which originate from fire hydrants throughout the County. Additionally, landscaping is not proposed to be planted due to the type of training at the facility.

Because Utilities will not provide water service to the project, an analysis of water availability and the water budget is not required. Please contact me if you have any questions.

Jerry

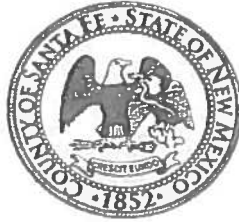
*Jerry Schoeppner, P.G.  
Santa Fe County Utilities Division  
Physical address: 424 Hwy 599 New Mexico Frontage Road, Santa Fe, NM, 87507;  
Mailing address: P.O. Box 276, Santa Fe, NM 87504  
Office: 505-992-9871  
Mobile: 505-231-2346*

[Link to Google Map of our Office Location](#)

Henry P. Roybal  
Commissioner, District 1

Miguel Chavez  
Commissioner, District 2

Robert A. Anaya  
Commissioner, District 3



Kathy Holian  
Commissioner, District 4

Liz Stefanics  
Commissioner, District 5

Katherine Miller  
County Manager

## Santa Fe County Fire Department Fire Prevention Division

### Official Development Review

Date	2/5/2016		
Project Name	Agua Fria Fire Training Tower		
Project Location	5232 Agua Fria Park Rd		
Description	Training Tower	Case Manager	Jose Larranaga
Applicant Name	Santa Fe County Fire Department	County Case #	SDP16-5000
Applicant Address	35 Camino Justicia Santa Fe, NM 87508	Fire District	Agua Fria
Applicant Phone	505-995-3079		
Review Type:	Commercial <input checked="" type="checkbox"/>	Residential <input type="checkbox"/>	Sprinklers <input type="checkbox"/>
	Inspection <input type="checkbox"/>	Lot Split <input type="checkbox"/>	Wildland <input type="checkbox"/>
			Variance <input type="checkbox"/>
			Hydrant Acceptance <input type="checkbox"/>
Project Status:	Approved <input checked="" type="checkbox"/>	Approved with Conditions <input type="checkbox"/>	Denial <input type="checkbox"/>
			Zone No. _____

**The Fire Prevention Division/Code Enforcement Bureau of the Santa Fe County Fire Department has reviewed the above submittal and requires compliance with applicable Santa Fe County fire and life safety codes, ordinances and resolutions as indicated.**

#### Fire Department Access

*Shall comply with Article 9 - Fire Department Access and Water Supply of the 1997 Uniform Fire Code inclusive to all sub-sections and current standards, practice and rulings of the Santa Fe County Fire Marshal*

- **Fire Access Lanes**

*Section 901.4.2 Fire Apparatus Access Roads. (1997 UFC) When required by the Chief, approved signs or other approved notices shall be provided and maintained for fire apparatus access roads to identify such roads and prohibit the obstruction thereof or both.*

- **Roadways/Driveways**

*Shall comply with Article 9, Section 902 - Fire Department Access of the 1997 Uniform Fire Code inclusive to all sub-sections and current standards, practice and rulings of the Santa Fe County Fire Marshal.*

Roads meet the minimum County standards for fire apparatus access roads of a minimum 12' wide all-weather driving surface and an unobstructed vertical clearance of 13' 6" within this type of proposed development. If a gate is proposed it shall be minimum 14' wide.

- **Street Signs/Rural Address**

*Section 901.4.4 Premises Identification (1997 UFC) Approved numbers or addresses shall be provided for all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property.*

*Section 901.4.5 Street or Road Signs. (1997 UFC) When required by the Chief, streets and roads shall be identified with approved signs.*

- **Slope/Road Grade**

*Section 902.2.2.6 Grade (1997 UFC) The gradient for a fire apparatus access road shall not exceed the maximum approved.*

The driveway/fire access does not exceed 11% slope and shall have a minimum 28' inside radius on curves.

- **Restricted Access/Gates/Security Systems**

*Section 902.4 Key Boxes. (1997 UFC) When access to or within a structure or an area is unduly difficult because of secured openings or where immediate access is necessary for life-saving or firefighting purposes, the chief is authorized to require a key box to be installed in an accessible location. The key box shall be of an approved type and shall contain keys to gain necessary access as required by the chief.*

To prevent the possibility of emergency responders being locked out, all access gates should be operable by means of a key or key switch, which is keyed to the Santa Fe County Emergency Access System (Knox Rapid Entry System). Details and information are available through the Fire Prevention office.

- **Fire Extinguishers**

*Article 10, Section 1002.1 General (1997 UFC) Portable fire extinguishers shall be installed in occupancies and locations as set forth in this code and as required by the chief. Portable fire extinguishers shall be in accordance with UFC Standard 10-1.*



## General Requirements/Comments

- **Inspections/Acceptance Tests**

Shall comply with Article 1, Section 103.3.2 - New Construction and Alterations of the 1997 Uniform Fire Code, inclusive to all sub-sections and current standards, practice and rulings of the Santa Fe County Fire Marshal.

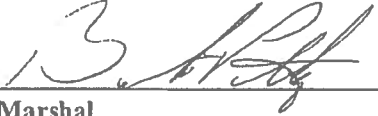
- **Permits**

As required

## Final Status

Recommendation for Final Development Plan approval with the above conditions applied.

**Buster Patty**

  
\_\_\_\_\_  
**Fire Marshal**

2-5-16  
**Date**

Through: David Sperling, Chief

File: DevRev/Agua Fria/Agua Fria Fire Training Tower/2.5.16

Cy: Jose Larranaga, Land Use  
Applicant  
File

**Henry P. Roybal**  
Commissioner, District 1

**Miguel M. Chavez**  
Commissioner, District 2

**Robert A. Anaya**  
Commissioner, District 3



**Kathy Holian**  
Commissioner, District 4

**Liz Stefanics**  
Commissioner, District 5

**Katherine Miller**  
County Manager

**PUBLIC WORKS DIVISION  
MEMORANDUM**

**Date:** February 2, 2016

**To:** Jose Larranaga, Land Use Department

**From:** Paul Kavanaugh, Engineering Associate Public Works *PK*  
Johnny P. Baca, Traffic Manager Public Works *JPB*

**Re:** **CASE # SDP 16-5000 Agua Fria Fire Training Tower**

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The referenced project has been reviewed for compliance of the Santa Fe County Sustainable Land Development Code (SLDC), and shall conform to roads and driveway requirements of Sustainable Design standards **Chapter 7.4 (Access and Easements)** and **Chapter 7.11 (Road Design Standards)**. The referenced project is located within the Traditional Community of Agua Fria, approximately 0.3 miles northeast of the South Meadows Road / NM 599 Veterans Memorial Highway intersection, and approximately 0.23 miles southeast of Alameda Frontage Road / Caja Del Oro Grant Road (C. R. 62) intersection, within Section 9, Township 17 North, Range 31 East. The applicant is requesting an approval for the installation of a Modular Fire Fighter Training Tower.

**Access:**

Caja Del Oro Grant Road (C. R. 62) is a county maintained paved road with two (2) eleven (11') feet driving lanes, with three (3') feet shoulders and bar ditches. The applicant is proposing to use the existing driveway and is not planning any changes to the existing entrance.

A Traffic Impact Analysis is not required due to the low volume created by the proposed project.

**Conclusion:**

Public Works has reviewed the submittal and feels that they can support the above mentioned project as proposed.

NBA - 41

# Memorandum

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**To:** Jose Larrañaga – Development Review Team Leader

**CC:** Robert Griego – Planning Manager

**From:** Planning Staff

**Date:** 2/19/2016

**Re:** **Site Development Plan/Conditional Use, Case #SDP 16-5000 Agua Fria  
Fire Training Tower**

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**Background:** The Agua Fria Fire Station is located at 58 Caja de Oro Grant Road. The application is seeking approval to construct a new training tower on the site. Zoning for the property is VACD PI and the use is conditional.

The Sustainable Land Development Code (SLDC), was implemented January 15, 2016. VACD PI is section 9.12 of the SLDC and is the zoning section used to review the application design and development requirements. Village of Agua Fria's Use Table is Table 9-12-8.

**Planning Review:** The Sustainable Growth Management Plan (SGMP), which was updated and adopted by Resolution 2015-155 will be used to determine if the application is in line with Chapter 2: Land Use Element. Along with the SGMP, Community Plans will be reviewed if the application is within a community overlay.

The application falls within the Village of Agua Fria Overlay District an area that is under the Village of Agua Fria Community Plan and 2015 Village of Agua Fria Community Plan Update.

- The Future Land Use Map in the 2015 Village of Agua Fria Plan Update categorized the application parcel as Public Institutional to accommodate governmental uses. The proposed use would fit with the Future Land Use Map for the Village of Agua Fria.
- An issue identified in the Agua Fria Community 2015 Plan Update was the availability of water. The application states that water for training proposes will be trucked in and there will not be additional well pumping for the use.

- An additional community concerns over traffic and inappropriate development review from the community are listed in the 2015 Plan Update. The public meeting with the Agua Fria Village Association took place on February 1, 2016 and the applicant notes that the comments were positive for this development.

**Open Space Review:**

- The SGMP Chapter 6 and the Agua Fria Community Plan and 2015 Update prioritize development of the Santa Fe River Greenway as the primary open space corridor to enhance the community's identity and sense of place by providing a unique recreational area and a safe route for non-motorized transportation.
- The Romero Park Master Plan was approved in 2014 to guide the development of the 82 acre parcel on which the fire station is also sited
- The Proposed training facility is within the existing Fire Station's facility footprint and does not appear to pose a negative impact on the adjoining park facility.

**Transportation Planning Review:** SGMP Chapter 10: Transportation will be used to determine if the application is consistent with Comprehensive Plan for Santa Fe County.

- The construction and use of this training tower is not expected to have a significant impact on the road network. The site is within a SDA-2 area; the recommended Level of Service (LOS) for transportation facilities is D. Any additional traffic that would be generated from the use of the tower is not expected to impact the LOS for the road network.

**Staff Recommendation:**

Staff Recommends Approval of the Site Development Plan/Conditional Use, Case #SDP 16-5000 Agua Fria Fire Training Tower.



- Legend**
- ROADS
  - DRIVEWAYS
  - 0.2 % Annual Chance Flood Hazard
  - 2011 Zone A (No BFEs Determined)
  - 2011 Zone AE
  - 2011 Floodway
  - 2011 Zone AD
  - 2011 Zone D
  - 100 YR FEMA
  - 500 YR FEMA
  - PARCELS



1 inch represents 60 feet  
 1:720  
 0 12.525 50 75 100 Feet



2015 Imagery  
 2 FOOT CONTOURS

This information is for reference only.  
 Santa Fe County assumes no liability for  
 errors associated with the use of these data.  
 User are solely responsible for  
 confirming data accuracy.



January 19, 2016  
 NIBA-44



Use	Function	Structure	Activity	VAFC D RES-E	VAFC D TC	VAFC D CN	VAFC D PI	Special Conditions
Movie Ranch				X	X	C	C	
Camps, camping, and related establishments	5400			X	X	C	C	
Exhibitions and art galleries		4410		X	X	C	C	
Performing arts or supporting establishment	5100			X	X	C	C	
Theater, dance, or music establishment	5101			X	X	C	C	
<b>Institutional or community facilities</b>								
Community center		2200		C	C	P	P	
Hospitals		4110		X	X	C	P	
Medical clinics		4120		C	C	C	P	
Social assistance, welfare, and charitable services (not otherwise enumerated)	6560			C	C	C	C	
Child and youth services	6561			X	X	C	C	
Child care institution (basic)	6562			P	P	P	P	
Child care institution (specialized)	6562			P	P	P	P	
Day care center	6562			P	P	P	P	
Community food services	6563			X	X	C	C	
Emergency and relief services	6564			X	X	C	P	
Other family services	6565			X	X	C	C	
Services for elderly and disabled	6566			X	X	C	C	
Animal hospitals	6730			X	X	C	P	
School or university (privately owned)		4200		P	P	P	P	
Grade school (privately owned)		4210		P	P	P	P	
College or university facility (privately owned)		4220		P	P	P	P	
Technical, trade, and other specialty schools	6140	4230		C	C	C	C	
Library		4300		C	C	P	P	
Museum, exhibition, or similar facility	5200	4400		C	C	P	P	
Planetarium		4420		X	X	C	C	
Aquarium		4430		X	X	C	C	
Zoological parks		4450		X	X	C	C	
Public safety related facility			4500	X	X	C	C	
Fire and rescue station			4510	X	X	C	C	
Police station			4520	X	X	C	C	
Emergency operation center			4530	X	X	C	C	*
Correctional or rehabilitation facility			4600	X	X	X	X	*
Cemetery, monument, tombstone, or mausoleum			4700	C	C	C	C	
Funeral homes			4800	X	X	C	X	
Cremation facilities			4800	X	X	X	X	
Public administration		6200		X	X	C	C	



**EXHIBIT**  
**5**

NBA-45

**Table 9-12-5: Dimensional Standards VAFCD PI (Public/Institutional).**

<b>PI Zoning District</b>	<b>PI</b>
Density	2.5*
Frontage (minimum, feet)	40
Lot width (minimum, feet)	n/a
Lot width (maximum, feet)	n/a
Height (maximum, feet)	48
Lot coverage (maximum, percent)	80

\* Density shall be 1 acre if the surrounding zoning district is RC, reduced to 0.75 acres if the surrounding zoning district is TC.

**5. VAFCD Planned Development District (VAFCD PDD); Generally.** In order to recognize existing approvals, PDDs identified on the initial zoning map may be built out in accordance with their approved master plans.

**a. Expansion of existing PDDs.** Non-residential structures within an existing PDD may expand up to twenty-five (25%) under a conditional use permit.

**9.12.4. Supplemental Zoning Standards.** The standards of Chapter 10 of this Code shall be applicable to all development, except as otherwise specified herein.

**9.12.4.1. Home Occupations.** The standards for Home Occupations shall be as identified in Chapter 10 of this Code with the following exceptions:

1. There shall be no Medium Impact Home Occupations in the VAFCD.

(b) New commercial development shall be set back no less than 10 feet from the front property line, 5 feet from rear and side property lines.

(c) If a property does not have 100 feet on one or more sides the setback may be 0 feet from that property line.

**3. VAFCD Commercial Neighborhood (VAFCD CN); Purpose.** The purpose of this district is to allow for low-rise low-intensity convenience retail and personal services, as well as office uses, which are intended to serve and are in close proximity to individual residential neighborhoods. In the Village of Agua Fria parcels designated Commercial Neighborhood have previously received masterplan approval for a commercial use on the property. The size of neighborhood commercial districts will typically be between one and twenty contiguous acres.

**a. Use Regulations.** Uses shall be permitted, conditional and prohibited as identified in Chapter 8 and Appendix B of this Code, with exceptions identified on the VAFCD Use Table.

**i. Bicycle, motorcycle, all-terrain vehicle dealers:**

(a) This use shall be permitted for bicycle dealers only.

**b. Dimensional Standards.** As regulated in Chapter 7 and 8 of this Code except as prescribed in Table 9-12-4.

**Table 9-12-4: Dimensional Standards VAFCD CN (Commercial Neighborhood).**

CN Zoning District	CN
Density	2.5*
Frontage (minimum, feet)	50
Lot width (minimum, feet)	n/a
Lot width (maximum, feet)	n/a
Height (maximum, feet)	24
Lot coverage (maximum, percent)	80
Maximum size of individual establishments (sq. ft.)	5,000

\*Density shall be reduced to 0.75 acres if the surrounding zoning district is TC.

**c. Setbacks.** Non-residential developments shall be set back no less than 25 feet from the property line of existing residential properties.



**4. VAFCD Public/Institutional (VAFCD PI); Purpose.** The purpose of this district is to allow governmental, educational, and non-profit or institutional uses, including public or community parks and recreation facilities, and public, non-profit, and institutional residential uses, but excluding any such uses of an extensive heavy industrial character.

**a. Use Regulations.** Uses shall be permitted, conditional and prohibited as identified in Chapter 8 and Appendix B of this Code, with exceptions identified on the VAFCD Use Table.

**b. Dimensional Standards.** As regulated in Chapter 7 and 8 of this Code except as prescribed in Table 9-12-5.





~~14.8.4.5. **Lot Consolidation Plats.** A development permit will be issued to authorize a lot consolidation that has been approved pursuant to the SLDC, together with any conditions.~~

~~14.8.5. **Family Transfers.** For approval of a property transfer to a family member in accordance with § 5.4.3.2.~~

~~14.8.6. **Temporary Use Permits.** To permit certain temporary uses pursuant to Chapter 10.~~

**14.9. DEVELOPMENT APPROVALS REQUIRING A HEARING.**

~~14.9.1. **Plans and Plan Amendments.** For adoption or amendment of certain plans (see Chapter 2) in accordance with the procedures established in Chapter 1.~~

~~14.9.2. **SLDC Text Amendments.** For an amendment to the text of the SLDC pursuant to Chapter 1.~~

~~14.9.3. **Map Amendments and Rezoning.** For an amendment to the zoning map (rezoning) pursuant to Chapters 1, 4 and 8.~~

~~14.9.4. **Developments of Countywide Impact.** A separate development permit will be issued to authorize each development of county-wide impact (DCI) following the creation of any necessary floating zone (as applicable) pursuant to Chapter 11.~~

~~14.9.5. **Subdivisions.** For approval of major subdivision plans in accordance with Chapter 5.~~

~~14.9.6. **Conditional Use Permits.** For approval of certain conditional uses as set forth in the Use Matrix and elsewhere in the SLDC, pursuant to this subsection.~~



**14.9.6.1. Purpose and Findings.** This section provides for certain uses that, because of unique characteristics or potential impacts on adjacent land uses, are not permitted in zoning districts as a matter of right but which may, under appropriate standards and factors set forth herein, be approved. These uses shall be permitted through the issuance of a conditional use permit (CUP).

**14.9.6.2. Applicability.** The provisions of this section apply to any application for approval of a CUP as required by the Use Matrix. Conditional uses are those uses that are generally compatible with the land uses permitted by right in a zoning district but that require individual review of their location, design and configuration, and the imposition of conditions or mitigations in order to ensure the appropriateness of the use at a particular location within a given zoning district. Only those uses that are enumerated as conditional uses in a zoning district, as set forth in the use matrix may be authorized by the Planning Commission. No inherent right exists to receive a CUP. Concurrent with approval of a CUP, additional standards, conditions and mitigating requirements may be attached to the development order. Additionally, every CUP application shall be required to comply with all applicable requirements contained in the SLDC. Additionally, every CUP application shall be required to comply with all applicable requirements contained in the SLDC.

**14.9.6.3. Application.** An applicant may apply for a CUP by filing an application for discretionary development approval with the Administrator. A site development plan is required for a CUP and shall include any SRAs required pursuant to Table 6-1 in Chapter 6.

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**14.9.6.4. Review.** The application shall be referred to the Planning Commission for the holding of a quasi-judicial public hearing.

**14.9.6.5. Approval Criteria.** Before any conditional use permit may be approved, it shall appear that the use for which the permit is requested will not:

1. Be detrimental to the health, safety and general welfare of the area;
2. Tend to create congestion in roads;
3. Create a potential hazard for fire, panic, or other danger;
4. Tend to overcrowd land and cause undue concentration of population;
5. Interfere with adequate provisions for schools, parks, water, sewerage, transportation or other public requirements, conveniences or improvements;
6. Interfere with adequate light and air;
7. Be inconsistent with the purposes of the property's zoning classification or in any other way inconsistent with the spirit and intent of the SLDC or SGMP.

**14.9.6.6. Conditions.** In approving any CUP, the Planning Commission may:

1. Impose such reasonable standards, conditions, or mitigation requirements, in addition to any general standard specified in the SLDC or the SGMP, as the Planning Commission may deem necessary. Such additional standards, conditions, or mitigation requirements may include, but are not be limited to:
  - a. financing and availability of adequate public facilities or services;
  - b. reservations and dedications;
  - c. payment of development fees;
  - d. establishment of assessment and public improvement districts;
  - e. adoption of restrictive covenants or easements;
  - f. special buffers or setbacks, yard requirements, increased screening or landscaping requirements;
  - g. area requirements;
  - h. development phasing;
  - i. standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, or preservation of archaeological, cultural and historic resources; and
  - j. provision of sustainable design and improvement features, solar, wind or other renewable energy source, rainwater capture, storage and treatment or other sustainability requirements.

NBA-48

2. Require that a payment and performance guaranty be delivered by the owner/applicant to the Administrator to ensure compliance with all conditions and mitigation measures as are set forth in the development order; and

3. Encourage that a voluntary development agreement be entered into between the owner/applicant and the County to carry out all requirements, conditions and mitigation measures.

**14.9.6.7. Scope of Approval.** The CUP approval applies only to the project as presented and approved at the hearing. If the project changes in any way it will be subject to the major/minor amendments provisions of §14.9.6.8.

**14.9.6.8. Amendments.** An amendment is a request for any enlargement, expansion, greater density or intensity, relocation, decrease in a project's size or density, or modification of any condition of a previously approved and currently valid CUP.

**1. Minor Amendments.** Shifts in on-site location and changes in size, shape, intensity, or configuration of less than five percent (5%), or a five percent (5%) or less increase in either impervious surface or floor area over what was originally approved, may be authorized by the Administrator, provided that such changes comply with the following criteria:

a. No previous minor amendment has been previously granted pursuant to this section;

b. Nothing in the currently valid CUP precludes or otherwise limits such expansion or enlargement; and

c. The proposal conforms to the SLDC and is consistent with the goals, policies and strategies of the SGMP.

**2. Minor Amendments Causing Detrimental Impact.** If the Administrator determines that there may be any detrimental impact on adjacent property caused by the minor amendment's change in the appearance or use of the property or other contributing factor, the owner/applicant shall be required to file a major amendment.

**3. Major Amendments.** Any proposed amendment, other than minor amendments provided for in §14.9.6.8.1, shall be approved in the same manner and under the same procedures as are applicable to the issuance of the original CUP development approval.

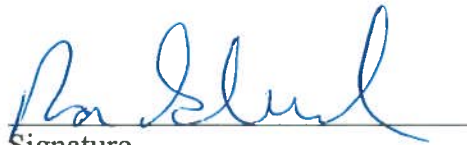
**4. Recording Procedures.** A certified copy of the approved CUP shall be recorded at the expense of the applicant in the office of the County Clerk, and another certified copy filed in the office of the Administrator.

**14.9.6.9. Expiration of CUP.** The development order granting a CUP shall expire after twenty-four (24) months, but may be renewed by the Planning Commission for up to twelve (12) additional months, unless substantial construction or operation of the building, structure or use authorized by the CUP has commenced. No further extension shall be granted under any circumstances, and any changes in the requirements of the SLDC, or federal or state law shall apply to any new CUP development approval application.

NIBA-49

**CERTIFICATION OF POSTING**

I herby certify that the public notice posting regarding a Site Development Plan Case # **SDP 16-5000** was posted for 15 days on the property beginning the 10<sup>th</sup> day of **February, 2016**. \*\*

  
Signature

\*Photo of posting taken from a public road must be provided with affidavit.

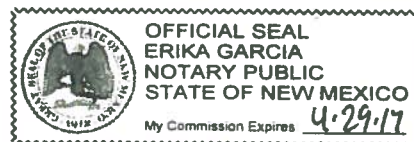
\*\***PLEASE NOTE:** Public notice is to be posted on the most visible part of the property. Improper legal notice will result in re-posting for an additional 15 days. It is the Applicant's responsibility to ensure that the notice is on the property for the full 15 days. Posted notice shall be removed no later than seven (7) days after a final decision has been made on the application.

STATE OF NEW MEXICO }  
  }  
COUNTY OF SANTA FE }

The foregoing instrument was acknowledged before me this 10<sup>th</sup> day of February, 2016, By Ron Sandone.

  
Notary Public

My Commission Expires:  
4/29/2017



NBA-50

# PUBLIC NOTICE

Notice is hereby given that an application has been filed with Santa Fe County for THE INSTALLATION OF A MODULAR FIRE FIGHTER TRAINING TOWER, 30' IN HEIGHT ON 2.15 ACRES. THE SITE IS WITHIN THE VILLAGE OF AGUA FRIA DISTRICT OVERLAY (VAFCD) AND IS ZONED AS PUBLIC/INSTITUTIONAL (VACD PI). UNDER THE VAFCD USE TABLE A PUBLIC SAFETY RELATED FACILITY IS A CONDITIONAL USE.

Name of Applicant SANTA FE COUNTY

Address of Request 58 CASA DE ORO GRANT ROAD

Legal Description: Section \_\_\_\_\_ Township \_\_\_\_\_

Range \_\_\_\_\_ NMPM Santa Fe County, New Mexico.

A PUBLIC HEARING will be held/ ~~at~~ at the

Old Santa Fe County Courthouse, corner of Palace and Grant

Avenues, Santa Fe, New Mexico on/ ~~the~~ the 25<sup>th</sup> day of

FEBRUARY, 2010, at 3pm before the SANTA FE COUNTY

HEARING OFFICER & ON MARCH 17, 2010 AT 4pm BEFORE THE SFC PLANNING

Further information can be obtained by contacting, COMMISSION

the Land Use Department, P.O. Box 276, Santa Fe, NM 87504

Phone (505)986-6225. Development Permit # 10-5000



NBA-52

LEGAL# 80623

**CASE # SDP 16-5000**  
**Agua Fria Fire Training Tower**

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that a public hearing will be held to consider a request by Santa Fe County, to allow the installation of a Modular Fire Fighter Training Tower, 30'6" in height, on 2.15 acres. The site is within the Village of Agua Fria District Overlay (VAFCD) and is zoned as Public/Institutional (VACD PI). Under the VAFCD Use Table a Public safety related Facility is a conditional use. The property is located at 58 Caja de Oro Grant Road, South of N.M. 599, (Commission District 2).

A public hearing will be held in the County Commission Chambers of the Santa Fe County Courthouse, corner of Grant and Palace Avenues, Santa Fe, New Mexico on the 25th day of February 2016, at 3 p.m. on a petition to the Santa Fe County Hearing Officer and on March 17, 2016 at 4 p.m. on a petition to the Santa Fe County Planning Commission.

Please forward all comments and questions to the County Land Use Administration Office at 986-6225.

All interested parties will be heard at the Public Hearing prior to the Hearing Officer/Planning Commission taking action.

All comments, questions and objections to the proposal may be submitted to the County Land Use Administrator in writing to P.O. Box 276, Santa Fe, New Mexico 87504-0276; or presented in person at the hearing.

Please forward affidavit of publication to the County Land Use Administrator, P.O. Box 276, Santa Fe, New Mexico 87504-0276.

Written verification of the publication shall

Account Number

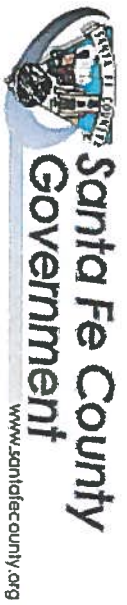
2438

Ad Order Number

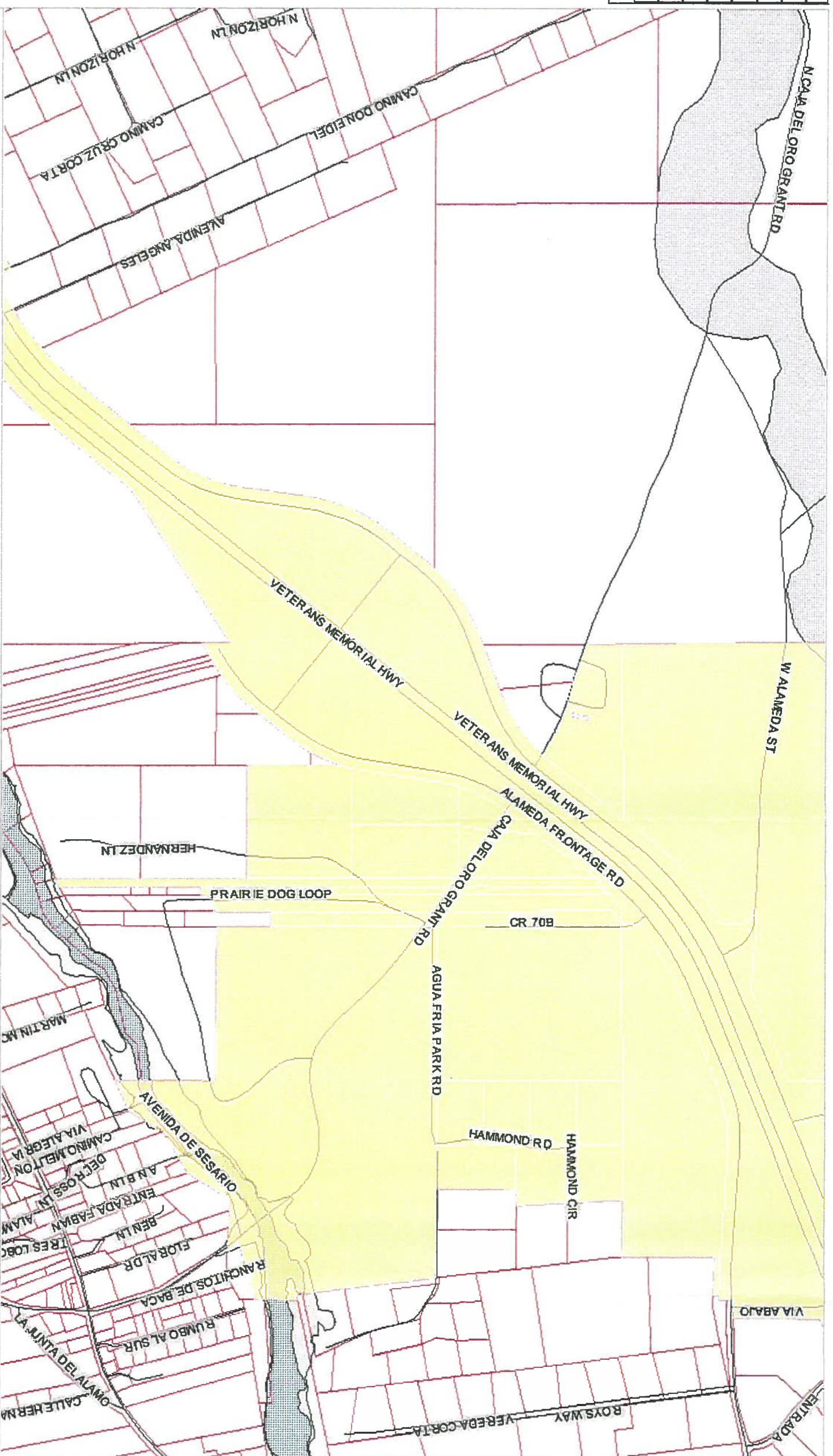
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SF COUNTY

NBA-53



Parcels within Santa Fe County



- Layers**
- Visible Active
  - Towns and Villages
  - Santa Fe County
  - Boundary
  - Streets, Roads and Highways
  - Eldorado Water & Sanitation District
  - Parcels (Draft Status)
  - Incorporated Areas
  - Flood Zones
  - Traditional Communities
  - 2007 Hydrologic Zone Boundaries
  - FEMA Panel Index
- [Refresh Map](#)

Parcels (Draft Status)

Rec	UPCSEC	UPCX	UPCY	MAPAC	CORECPT	PRCSUB	PRCTRT	PRCBLK	PRCLOT	PRCBP	PRCALT	ACCT_NUM	UPC	LOCATE_ZIP	PROP_CODE	TAX_DIST	ST_DIR	ST_SUFFIX	ST_NAME	ST_NUM	PLT_BKRG	DEED
1	1048086	357	237	0	-9999	-9999	-9999	-9999	-9999	-9999	0	124337013								0		0
2	1049097	106	465	69.499	-9999	-9999	-9999	-9999	-9999	-9999	54044032	1125086241	87505	VAC	CO				UNASSIGNED	0	382/003	69.499
3	1049097	286	404	21.382	-9999	-9999	-9999	-9999	-9999	-9999	0	1125266180								0		0
4	1049097	218	321	0	-9999	-9999	-9999	-9999	-9999	-9999	0	1125198097								0		0

Select Rectangle

NBA-54



APT_NUM	PARCEL_DAT	OWNER_NAME	OWNER_ADD1	OWNER_ADD2	OWNER_CITY	OWN_STATE	MAIL_ZIP	LEGAL1	LEGAL2
0		ARCHDIOCESE OF SF FOUNDATION	C/O MARY DUNN	2201 SAN PEDRO NE STE 211	ALBUQUERQUE	NM	87110	T17N R 9E S31 69.49 AC	TR A-1
0		JARAMILLO, DARRELL S &	BERNADETTE B HERRERA	1785 HAMMOND RD	SANTA FE	NM	875073384	T17N R 9E S31 2.50 AC	TRACT 1-D
0		GARCIA-CARRERA, BRENDA G &	CATANO, OSCAR M	5171 HAMMOND CIRCLE	SANTA FE	NM	87507	T17N R 9E S31 2.500 AC	TRACT 2A
1080222		COUNTY ROAD 62 LLC	PO BOX 38		ESPANOLA	NM	87532	T17N R 9E S31 3.36 AC	LOT 11 TR 1
0		GREAT WESTERN INVESTORS	PO BOX 309		SANTA FE	NM	875040309	T17N R 9E S31 5.410 AC LOT 11	SHC 5874
0		REESE, LILY S OR PHILLIP	3501 JUAN TABO BLVD NE UNIT C6		SANTA FE	NM	871115113	T17N R 9E S31 .750 AC TR 388B	PORTION E 1/2 S.H.C. 544
990324		LOPEZ, ANTHONY D	2116 AVENIDA DE LAS ALTURAS		SANTA FE	NM	87505	T17N R 9E S31 832 AC	TRACT 4
0		CAPLING, CHARLOTTE TRSTEE	MONTVOYA GRANCHILDREN TRUST	PO BOX 309	SANTA FE	NM	87504309	T17N R 9E S31 3.000 AC	W 1/2 S.H.C. 544 TR 4
0		GREAT WESTERN DEV CO	PO BOX 309		SANTA FE	NM	875040309	T17N R 9E S31 4.24 AC	LOT B
1001207		GONZALES, RITA & VICTOR	MARTINEZ	PO BOX 29062	SANTA FE	NM	87592	T17N R 9E S31 2.500 AC	TRACT 1-C
1001207		BACA, ALEJANDRO D	PO BOX 23493		SANTA FE	NM	87502	T17N R 9E S31 2.500 AC	TRACT 3-A
0		HURTADO, MARY E	1349 CALLE CORAZZI		SANTA FE	NM	87507	T17N R 9E S31 2.774 AC	PORTION OF SHC 425 TRACT 3
0		GREAT WESTERN DEV CO	PO BOX 309		SANTA FE	NM	875040309	T17N R 9E S31 1.39 AC	LOT A
1001207		SPENCER, WILLIAM R & ROBBYN	GARDEN & MARILYN KEPES	1895 HAMMOND RD	SANTA FE	NM	87505	T17N R 9E S31 2.500 AC	TRACT 1-B
1001207		GARCIA, JOE RAY	1950 HAMMOND RD		SANTA FE	NM	87507	T17N R 9E S31 2.719 AC	TRACT 4-A
1040511		GONZALES, MIGUEL A & MARCELA	809 CAMINO DE MONTE REY		SANTA FE	NM	87501	T17N R 9E S31 2.00 AC TR 4	BLK 1 PORT
1001207		MAEZ, ORLANDO	14 TRANQUOL TRAIL		SANTA FE	NM	87505	T17N R 9E S31 2.500 AC	TRACT 1-A
0		GREAT WESTERN DEV CO	PO BOX 309		SANTA FE	NM	875040309	T17N R9E S31 4.04 AC LOT C	
0		GREAT WESTERN DEV CO	PO BOX 309		SANTA FE	NM	875040309	T17N R 9E S31 5 AC LOT D	
0		SANTA FE COUNTY	4250 AIRPORT RD		SANTA FE	NM	87505	T17N R 9E S31 LOTS 13 & 14	SANTA FE COUNTY PROPERTY TAX EXEM
0		ESPARZA, OSCAR T & EMMA S	3716 GUNNISON RD		SANTA FE	NM	87507	T17N R 9E S31 .887 AC	
0		GREAT WESTERN DEV CO	PO BOX 309		SANTA FE	NM	875040309	T17N R9E S31 10 AC TR 3	

*WILLIAM MEE - AGUA FRIA VILAGE 2097 CAMINO SAMUEL - MONTVOYA SANTA FE, NM 87505*  
*ASSOCIATION*

*Duplicate*

*These records*

*Agua Fria Village Association  
Meeting Agenda, Monday, February 1, 2016 at 6:00 p.m.  
Nancy Rodriguez Community Center*

1. Call to Order.
2. Roll Call of Officers.
3. Invocation.
4. Recognition of Guests.
5. Perfection of Agenda.
6. Treasurer's Report.

Business Portion of meeting:

7. New Business.

A. Nichoe Lichen of Banking on New Mexico (the Public Banking entity at website: <http://bankingonnewmexico.org>).

B. Charlie Velarde, Assistant Fire Chief, Santa Fe County Fire Department and former Chief of the Agua Fria Fire Department. We might also have the Fire Chief David Sperling and the wild lands fire coordinator Mike Fueller. They will also talk on the updating of the training site on Caja del Oro Road with the acquisition of two pods that are welded together and a fire is set inside for training purposes.

C. We will discuss starting a Community Organization for Agua Fria based on the email from the County finalizing the Sustainable Land Development Code (SLDC) and Zoning Map on January 15, 2016. The program will allow the Planning Committee to request to be recognized as a CO, which allows for added notification on developments and community involvement. If you have any questions please feel free to contact: Santa Fe County Planning; Amy M. Rincon [amrincon@santafecountynm.gov](mailto:amrincon@santafecountynm.gov) or (505) 995-2717.

D. Setting up a meeting new Public Works Director Michael Kelley, Public Works Director (505) 992-3023 or [mkkelley@santafecountynm.gov](mailto:mkkelley@santafecountynm.gov); like we did with old Director Adam Leigland. One idea was a petition for "Local Traffic Only" signs.

8. Old Business.

Update on Issues: West Santa Fe River Corridor Master Plan planning committee; Agua Fria Beautification plan; Calendar events from Community Update; Other.

9. Business from the Floor.

10. Adjournment.

2016 schedule: Usually the first Monday of the month unless noted. March 7, 2016; Tuesday April 5 (NCAA Playoffs are Monday the 4th); May 2; June 6; Second Monday July 11, 2016 (First Monday is July 4th); August 1; Second Monday September 12, 2016 (First Monday is Labor Day); October 3; Second Monday November 14, 2016 (First Monday is Election Eve); December 5, 2016.



NBA-56

# Santa Fe County Fire Department

## Memorandum

**Date:** February 02, 2016

**To:** Ron Sandoval , Project Manager-Santa Fe County

**From:** Charlie Velarde- Assistant Fire Chief, Operations and Training Division

**Re:** Agua Fria Community Meeting 1-1-16

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Ron, here is a brief summary and attached agenda for the meeting attended last night at the Nancy Rodriguez Community Center regarding the Agua Fria Training Tower.

In attendance from Santa Fe County Fire Department:  
Fire Chief David Sperling  
Fire Chief Assistant Charlie Velarde-Operations and Training  
Fire Captain Mike Feulner-Wildland Division  
Aaron Western-Wildland Division

Approximately 20 Agua Fria Community members in attendance to include these \*board members:

- \*William and Louis Mee
- \*Charlie Gonzlaes
- \*Rubel Gallegos

Gil Tercero  
Ramon Olguin also in attendance that I recognized

Presented group with aerial photos of site and 4 pages of the Isometric view from the Fire Training Structures (schematic drawings) pointing out the construction, box sizes, assorted fire training props, locations of the 2 burn rooms, placement and position on site, and use by career and volunteer firefighters.

Photos of current (pods) burn buildings on site that are used for current and past fire burn trainings and pointing out the reason for the update from the current metal pods to the new modular burn building pods, railing and tower.

#### Questions from group:

1. How many times utilized a month?

Answer- approximately once a week for scheduled monthly trainings and sometimes on weekends for career and volunteer academies.

2. How long will burn structures (pods) last?

Answer- Depends on use and they are also modular which means that one of the burn pods can be replaced when it's met its usable life without having to replace all 3 units.

3. Burn materials to be used for training?

Answer: Wood pallets in lower burn room and propane for upper burn room.

At no time was there any opposition from the group.

Numerous positive comments expressing their appreciation and support of Santa Fe County Fire Fighters and our service to the community.

SANTA FE COUNTY  
TECHNICAL ADVISORY COMMITTEE

January 25, 2016

**Re: Agua Fria Fire Training Tower**

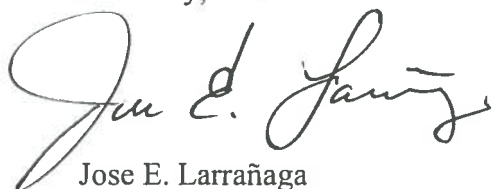
Ron Sandoval:

Thank you for presenting the above mentioned project at the pre-application Technical Advisory Committee (TAC) meeting on January 21, 2016. Below is a summary of relevant issues that were discussed at the TAC meeting:

- The design and use of the proposed structure
- Applicable requirements of the SLDC (water use, setbacks, height, environmental issues, visibility, access, Community Meeting)
- The procedure to be followed as a Conditional Use
- Schedule for review and hearing(s)
- Notice requirements

If you have any questions, please do not hesitate to contact this office at 986-6296.

Sincerely,



Jose E. Larrañaga  
Development Review Team Leader

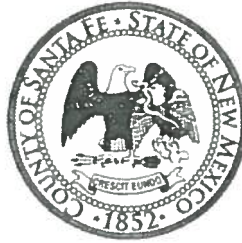


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**Henry P. Roybal**  
*Commissioner, District 1*

**Miguel M. Chavez**  
*Commissioner, District 2*

**Robert A. Anaya**  
*Commissioner, District 3*



**Kathy Holian**  
*Commissioner, District 4*

**Liz Stefanics**  
*Commissioner, District 5*

**Katherine Miller**  
*County Manager*

**CASE NO. CUP 16-5000**  
**Agua Fria Fire Training Tower**  
**Santa Fe County, Applicant**

**ORDER**

**THIS MATTER** came before the Sustainable Land Development Code (SLDC) Hearing Officer for hearing on February 25, 2016, on the application of Santa Fe County (Applicant) for a Conditional Use Permit pursuant to Chapter 14, Section 14.9.6.1 of the SLDC to allow the installation of a Modular Fire Fighter Training Tower, 30'6" in height, on 2.15 acres. The site is within the Village of Agua Fria Community Overlay District (VAFCD) and is zoned as Public/Institutional (VAFCD PI). The Hearing Officer, having reviewed the application, staff reports, and having conducted a public hearing on the request, finds that the application is well-taken and should be granted subject to conditions, and makes the following findings of fact and conclusions of law:

1. The Applicant submitted an application for a Conditional Use Permit pursuant to Chapter 14, Section 14.9.6.1 of the SLDC to allow the installation of a Modular Fire Fighter Training Tower, 30'6" in height, on 2.15 acres. The site is within the Village of Agua Fria Community Overlay District (VAFCD) and is zoned as Public/Institutional (VAFCD PI).

2. The property is located at 58 Caja de Oro Grant Road, South of N.M. 599, within Township 17 North, Range 9 East, Section 31 (Commission District 2).



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3. The 2.15 acre site is within a 70.13 acre New Mexico Land Office Patent parcel. The 2.15 acre site currently houses the Agua Fria Fire Station. The 70.13 acre patent is assigned to Santa Fe County and is recorded as Instrument # 280805 in the Santa Fe County Clerk's records dated April 29, 1971.

4. The site is within the Agua Fria Community District Overlay District (VAFCD), as defined by Ordinance 2015-11, Sustainable Land Development Code (SLDC), Chapter 9, Section 12. The established Zoning District within the VAFCD, for this site, is Public/Institutional (PI). Chapter 9, Table 9-12-8 designates a public safety related facility as a conditional use within a PI Zoning District. Table 9-12-5: Dimensional Standards, VAFCD PI allows for a maximum height of 48'.

5. Chapter 9, Section 9.12.4, VAFCD Public/Institutional (VAFCD PI); Purpose states:

The purpose of this district is to allow governmental, educational, and non-profit or institutional uses, including public or community parks and recreation facilities, and public, non-profit, and institutional residential uses, but excluding any such uses of an extensive heavy industrial character.

6. Chapter 9 (VAFCD), Table 9-12-7, Use Table Labels, states that a conditional use "is permitted within the zoning district only after review and approval of a Conditional Use Permit (CUP) in accordance with Chapter 14."

7. Chapter 14, Section 14.9.6.1, Conditional Use Permits, Purpose and Findings:

This section provides for certain uses that, because of unique characteristics or potential impacts on adjacent land uses, are not permitted in zoning districts as a matter of right but which may, under appropriate standards and factors set forth herein be approved. These uses shall be permitted through the issuance of a conditional use permit (CUP).

8. The Applicant presented the application to the Technical Advisory Committee (TAC) on January 21, 2016, at the regular scheduled monthly meeting, as required by Chapter 4, Section 4.4.4.3 Pre-application TAC Meeting and Table 4-1.

9. The Applicant presented the application to the Agua Fria Village Association on February 1, 2016, at the regular scheduled monthly meeting, as required by Chapter 4, Section 4.4.4.4, Pre-application Neighborhood Meeting. The Applicant submitted an Agenda of the meeting, a list of individuals in attendance, material that was presented by the Applicant, and a summary of discussion from those in attendance. This material is contained in the record.

10. Notice requirements were met as per Chapter 4, Section 4.6.3., General Notice of Application Requiring a Public Hearing, of the SLDC. In advance of a hearing on the application, the Applicant provided an affidavit of posting of notice of the hearing, confirming that public notice posting regarding the application was made for fifteen days on the property, beginning on February 10, 2016. Additionally, notice of hearing was published in the legal notice section of the Santa Fe New Mexican on February 10, 2016, as evidenced by a copy of that legal notice contained in the record. Notice of the hearing was sent to owners of land within 500' of the subject property and a list of persons sent a mailing is contained in the record.

11. At the public hearing before the Hearing Officer on February 25, 2016, County staff recommended approval of the Application subject to the following conditions:

1. A certified copy of the CUP shall be recorded in the office of the County Clerk in accordance with Chapter 14, Section 14.9.6.8.4.
2. The Applicant shall comply with landscape requirements in accordance with Chapter 7, Section 7.6.
3. The Applicant shall comply with lighting requirements in accordance with Chapter 7, Section 7.8.



4. The Applicant shall comply with terrain management requirements in accordance with Chapter 7, Section 7.17.5.2.
5. All site improvements (paving, retention pond, etc.) shall be completed prior to the facility being utilized.
  
12. In support of the application, the Applicant stated it is in agreement with the conditions.
13. At the public hearing, Assistant Santa Fe County Fire Chief Charlie Velarde spoke in favor of the application and no one from the public spoke in opposition to the application.
14. The use for which the CUP is requested, will not:
  1. Be detrimental to the health, safety and general welfare of the area;
  2. Tend to create congestion in roads;
  3. Create a potential hazard for fire, panic, or other danger;
  4. Tend to overcrowd land and cause undue concentration of population;
  5. Interfere with adequate provisions for schools, parks, water, sewerage, transportation or other public requirements, conveniences or improvements;
  6. Interfere with adequate light and air;
  7. Be inconsistent with the purposes of the property's zoning classification or in any other way inconsistent with the spirit and intent of the SLCD or SGMP.

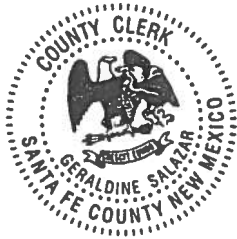
**WHEREFORE**, the Hearing Officer hereby recommends approval of the Conditional Use Permit pursuant to Chapter 14, Section 14.9.6.1 of the SLDC to allow the installation of a Modular Fire Fighter Training Tower, 30'6" in height, subject to the conditions set forth in paragraph 11.

IT IS SO ORDERED.

*Nancy R Long*

Nancy R Long  
Hearing Officer

Date: 3-10-16



COUNTY OF SANTA FE )  
STATE OF NEW MEXICO ) ss SLDC HEARING OFFICER O  
PAGES: 5

I Hereby Certify That This Instrument Was Filed for  
Record On The 10TH Day Of March, 2016 at 01:47:41 PM  
And Was Duly Recorded as Instrument # 1788382  
Of The Records Of Santa Fe County

Deputy *Estrella Martinez* Witness My Hand And Seal Of Office  
Geraldine Salazar  
County Clerk, Santa Fe, NM