

Henry P. Roybal
Commissioner, District 1

Miguel M. Chavez
Commissioner, District 2

Robert A. Anaya
Commissioner, District 3



Kathy Holian
Commissioner, District 4

Liz Stefanics
Commissioner, District 5

Katherine Miller
County Manager

DATE: March 24, 2016

TO: SLDC Hearing Officer

FROM: Jose E. Larrañaga, Development Review Team Leader *Jef*

VIA: Penny Ellis-Green, Growth Management Director *PEG*
Vicki Lucero, Building and Development Services Manager *VL*
Wayne Dalton, Building and Development Services Supervisor *WD*

FILE REF.: CASE # V 16-5001 Madrid Mixed Use Variance

ISSUE:

Lori and Richard Woodcock (Applicants), requested Administrative approval, of a Site Development Plan, to allow 1,173 square feet of retail space and 656 square feet of living area, on top of the retail space, on 0.204 acres. The site is within the Madrid Community District Overlay (MCD) and is zoned as MCD Commercial Neighborhood (MCD CN). Under the MCD Use Table 9-6-8, an office or store with a residence on top is a permitted use. In order for the structure to be 28 feet in height, the Applicants request a variance of Chapter 9.6, Table 9-6-4, Dimensional Standards MCD CN, maximum height of 25 feet. The property is located at 2889 Highway 14, T14N, R7E, Section 25 (Commission District 3).

Vicinity Map:



NBA-1

SUMMARY:

The Applicants are the owners of the property as evidenced by warranty deed recorded in the records of the Santa Fe County Clerk on March 17, 2015, as Instrument # 1759716. The Applicants are representing themselves to pursue the request for a variance to allow the proposed structure to exceed 25 feet in height.

The property is a 0.204 acre site within the Madrid Community District Overlay (MCD), as defined by Ordinance 2015-11, Sustainable Land Development Code (SLDC), Chapter 9, Section 9.6. The established zoning for this site is Commercial Neighborhood (CN). The Applicants submitted an Application for a Site Development Plan, to allow 1,173 square feet of retail space and 656 square feet of living area located on top of the retail space. Under the MCD Use Table 9-6-8, an office or store with a residence on top is a permitted use within the MCD Commercial Neighborhood, and can be approved administratively.

Building and Development Services staff have reviewed the Site Development Plan for compliance with pertinent SLDC requirements. The review comments from State Agencies and County staff established findings that the Application for the Site Development Plan is in compliance with State requirements and the design standards set forth in the SLDC, with the exclusion of the height of the structure, which is the reason for the variance.

The height at the rear of the proposed structure is designed at 28 feet. Chapter 9, Table 9-6-4, Dimensional Standards MCD Commercial Neighborhood, allows a maximum height of 25 feet. The Applicant is requesting a variance of the Dimensional Standards set forth in Chapter 9, Table 9-6-4, of the SLDC to allow a portion of the proposed structure to exceed 25 feet in height.

The Applicants states the following:

The street frontage of the building will conform to the 25 foot height limit. Due to the slope of the site, I would like to obtain approval for the rear (west elevation) to be a total of 28 feet in height. This additional height will not be noticeable from the street and will enhance the look of the buildings as well as make for a viable mixed use project.

The applicable requirements under the Santa Fe County Sustainable Land Development Code, Ordinance No. 2015-11 (SLDC), which govern this Application are the following:

Chapter 9, Section 9.6.3.2.3. MCD Commercial Neighborhood; Purpose states, "The purpose of this district is to allow for residential and low-intensity non-residential uses that are intended to serve and are in close proximity to individual residential neighborhoods."

Chapter 9, Table 9-6-4, Dimensional Standards MCD CN states, that the maximum height within a CN Zoning District is 25'. (Exhibit 5)

Chapter 14, Section 14.9.7.1, Variances (Purpose) states:

The purpose of this section is to provide a mechanism in the form of a variance that grants a landowner relief from certain standards in this Code where, due to extraordinary and exceptional situations or conditions of the property, the strict application of the Code would result in peculiar and exceptional practical difficulties or exceptional and undue hardship on the owner. The granting of an area variance shall allow a deviation from the dimensional requirements of the Code, but in no way shall it authorize a use of land that is otherwise prohibited in the relevant zoning district. (Exhibit 6)

Chapter 4, Table 4-1, Procedural Requirements by Application, defines the review/approval process for a variance request. (Exhibit 12)

Chapter 14, Section 14.9.7.4, Variance Review criteria states:

A variance may be granted by only a majority of all the members of the Planning Commission (or the Board, on appeal from the Planning Commission) where authorized by NMSA 1978, Section 3-21-8(C):

1. Where the request is not contrary to public interest;
2. Where, owing to special conditions, a literal enforcement of the SLDC will result in unnecessary hardship to the applicant; and
3. So that the spirit of the SLDC is observed and substantial justice is done.

Chapter 14, Section 14.9.7.5 Variance Conditions of approval.

1. The Planning Commission may impose conditions on a variance request necessary to accomplish the purposes and intent of the SLDC and the SGMP and to prevent or minimize adverse impacts on the general health, safety and welfare of property owners and area residents.
2. All approved variances run with the land, unless conditions of approval imposed by the Planning Commission specify otherwise.
3. All approved variances automatically expire within one year of the date of approval, unless the applicant takes affirmative action consistent with the approval.

The Application for the Site Development Plan was reviewed for the applicable design standards as per Chapter 7, Sustainable Design Standards of the SLDC and met those standards.

MADRID COMMUNITY DISTRICT OVERLAY (MCD), Chapter 9, Section 9.6.2.4.2, View Shed Preservation states:

In order to preserve the unobstructed horizons surrounding Madrid, no portion of a residential, commercial, or any other structure shall be visible above a ridge top when viewed from the centerline of NM 14 at the nearest spot on the highway with a direct view of the proposed structure.

The Applicant submitted photo simulations of the structure on the site and the horizons in the background. The Photo simulations illustrate that no portion of the structure is visible above the ridge top.

No additional design standards from Chapter 9, Section 9.6 are applicable to this request.

As required by the SLDC, the Applicants presented the Application to the Technical Review Team (TRT) on August 6, 2015, at the regular scheduled monthly meeting, which satisfied the requirements set forth in Chapter 4, Section 4.4.4.3 Pre-application TAC Meeting and Table 4-1.

The Applicant presented the Application to the Madrid Land Owners Association (MLA) on June 8, 2015, at the regular scheduled monthly meeting. The Applicant submitted minutes of the MLA meeting which states that the site plan and elevations were approved as presented. (Exhibit 9)

Notice requirements were met as per Chapter 4, Section 4.6.3., General Notice of Application Requiring a Public Hearing, of the SLDC. In advance of a hearing on the Application, the Applicants provided an affidavit of posting of notice of the hearing, confirming that public notice posting regarding the Application was made for fifteen days on the property, beginning on March 9, 2016. Additionally, notice of hearing was published in the legal notice section of the Santa Fe New Mexican on March 9, 2016, as evidenced by a copy of that legal notice contained in the record. Notice of the hearing was sent to owners of land within 500' of the subject property and a list of persons sent a mailing is contained in the record.

This Application was first submitted on August 11, 2015 and was being processed under Santa Fe County Ordinance 1996-10, the Santa Fe County Land Development Code (Code). Due to the adoption of the SLDC the Application was resubmitted on January 24, 2016.

RECOMMENDATION:

Staff recommends denial of the Applicants request for a variance to allow the proposed structure to be constructed 28' in height. Chapter 9, Section 9.6, Table 9-6-4, Dimensional Standards Madrid Community District Commercial Neighborhood states, that the maximum height within a CN Zoning District is 25 feet.

Staff requests the Hearing Officer memorialize findings of fact and conclusions of law in a written order. The Santa Fe County Planning Commission (SFCPC) will be holding a public hearing on this matter on May 19, 2016.

NBA-4

EXHIBITS:

1. Applicants Request
2. Proposed Plans
3. Photo Simulations
4. Aerial Photo of Site
5. Chapter 9, Table 9-6-4
6. Chapter 14, Section 14.9.7.1
7. Chapter 4, Section 4.4.3
8. Community Meeting Material
9. Notice
10. Letter of support
11. Chapter 9, Section 9.6.2.4.2
12. Table 4-1

March, 2016

County of Santa Fe
Mr. Jose Larranaga
Building and Development Services Department
Santa Fe, NM

RE: **RESUBMITTAL** -Development Permit Application for **2889 NM Hwy 14, Madrid, NM**

Dear Mr. Larranaga:

We are hereby submitting this REVISED package for Development Plan Review for the above-referenced mixed use project.

Please note that I am hereby requesting a variance for the height of the building at the rear (west). I have included a cut/fill section thru the property to show the building as it relates to the existing Hwy 14 grade and the existing natural site grades.

Please find attached the following application package items:

Development Summary Report-REVISED OCTOBER 8, 2015-10 copies
Preliminary Plans REVISED prepared by Geisler Design—5 full size sets and 1 reduced set
Grading and Drainage Plan prepared by Forsgren Associates, Inc.-5 full size sets and 1 reduced
Preliminary Landscaping and Roof Drainage Plans prepared by Geisler Design-5 full sets and 1 reduced

Sincerely,

Richard and Lori Woodcock, Owners
48 Blue Agave, Cerrillos, NM 87010
505-250-2677



NBA-5

Madrid Mixed Use Proposed Development
2889 Hwy 14
Madrid, New Mexico
March 14, 2016

The following is a summary of the proposed development for 2889 State Hwy 14 in Madrid New Mexico.

VARIANCE REQUEST-Due to the height exceeding the Madrid ordinance height of 25', a variance is hereby requested for the west (rear) elevation of the building. The East (street frontage) elevation will be conforming to Madrid ordinances.

LOCATION-property is located at north end of Madrid on the West side of Hwy 14. The location is currently a vacant lot, adjacent to the Old Boarding House Mercantile parking lot on the south, and an antique shop on the north.

PROPOSED USE-the proposed development will be a 1234 s.f. retail space with a 656 s.f. apartment above at the rear of the building. This commercial/residential development is an approved use per the current planning codes for the Town of Madrid

PARKING-parking will conform to all required standards, so will include one ADA compliant parking stall with signage and five regular parking stalls. Calculations are shown on plans.

SEPTIC-due to small site, septic system will be an "advanced" system with chlorination (specs attached). Once this project is preliminarily approved a septic system will be fully engineered and submitted to the State for approval.

WATER RETENTION-there will be an on site water retention basin as calculated by Forsgren to retain any rain water run off from leaving the site. There will be an *UNDERGROUND fully concealed* cistern to capture rainwater as required for 1.5 gallons for every square foot of roof area. This cistern will be located underground at the southwest corner of the property and will have a pump and *level indicating gauge along with an overflow outlet into the retention pond.* *A roof drainage plan is included in this submittal.*

TRAFFIC-Department of Transportation has reviewed and approved (copies of approval attached)

NBA-6

MADRID LANDOWNERS-MLA has reviewed and approved this project. (copy of meeting minutes attached)

SIGNAGE-there will be code-conforming signage on building which will meet County requirements for size and illumination. Signage will be submitted for separate permit once a tenant is identified. It is understood that signage will be as allowed for 1 s.f. for each lineal footage of street frontage.

LANDSCAPING-Landscaping buffer is proposed for front of site per attached plans. Retention basin will be ringed with small trees. There will be a tree at the west (back) of the property. There are two planters located along the south elevation. The north property line has an existing wood fence in place which shall remain. There will be a pump and drip irrigation system serving all landscaped areas, and this system will be installed by a licensed contractor. A final plan will be submitted for final master plan approval, but a preliminary plan with plant material call outs is included with this package.

EXTERIOR LIGHTING-lighting will conform to the area's light pollution standards and will be minimal as required for safety and security. There will be small low wattage shielded uplights in the two planters on the south side of the building, a security light illuminating the back door and front door. It is not anticipated that the business will be open in the evenings.

WATER BUDGET-Site is currently connected to Madrid Water Co Op (copy of latest invoice attached). A water budget for the proposed residence and retail is attached and is well under the amount of water allotted for a site of this size.

EXTERIOR FINISHES-exterior finishes will be as determined by Madrid Land Association covenants and have been approved. The roof will be corrugated metal, front elevation will have reclaimed barnwood siding with painted board and batten above. The balance of the exterior will be a neutral light colored stucco. Windows and storefront doors will be powder coated aluminum finish low E glass with paint/stained wood interiors.

FIRE PROTECTION-Building will be fully fire sprinklered with a fire alarm system. Western States Fire Protection has calculated required flow and has determined that system can be serviced via Madrid Water supply. A fully engineered plan with calculations shall be submitted to County Fire for their approval. In addition, there is fire hydrant nearby on Hwy 14 and an active volunteer fire station located in the town of Madrid.

NBA-7

GRADING-a grading plan is included with this submittal. This plan indicates the existing and proposed final grades. Due to the slope on the site a variance is being requested as the rear of the building exceeds approved County ordinances. The architectural plans also show a cut/fill section for the site, indicating areas at the east end which require fill to provide ADA compliant public access from Hwy. 14.

NBA-8

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE, AND FEDERAL CODES AND ORDINANCES.
2. GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES.
3. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES, AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. UNLESS NOTED OTHERWISE, ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT. DO NOT SCALE DRAWINGS.
4. GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING WALLS, FLOORS, CEILING, OR OTHER SURFACES DAMAGED TO REMAIN THAT MAY BECOME DAMAGED DURING THE COURSE OF THE WORK.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR FIRE PROTECTION, PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS FROM THE INSTALLATION OF SUCH SYSTEMS.
6. GENERAL CONTRACTOR SHALL RETAIN ONE SET OF THE PLANS TO HOLD AND DOCUMENT ALL CHANGES DURING CONSTRUCTION. THIS SET OF CHANGES SHALL BE MAINTAINED THROUGHOUT THE PROJECT. A CLOSE-OUT PACKAGE AS DESCRIBED IN THE CONSTRUCTION MANAGEMENT AGREEMENT.
7. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING DELIVERY OF MATERIALS FROM OWNERS CONTRACTED THIRD PARTY LOGISTICS DISTRIBUTION SERVICES AND VENDOR DIRECT SHIPMENTS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DELAYS TO THE SCHEDULE SPECIFIED IN THE LEAD TIMES.
8. RESPONSIBILITY FOR SUPPLY AND DELIVERY OF MATERIALS AND THE COULDN LABELLED RESPONSIBILITY.
9. FOR THE PURPOSE OF THE CONTRACT, TO INSTALL SHALL MEAN TO COMPLETE THE INSTALLATION OF THE SYSTEM INCLUDING ALL ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS AND OTHER ITEMS REQUIRED FOR A COMPLETE AND OPERATIONAL INSTALLATION, UNLESS OTHERWISE NOTED.

PROJECT CONTACTS

BUILDING LIGHT INSULATION
ADDRESS: 6211 S. 11TH ST. #100
 85024-20-2077

ARCHITECT OF RECORD PROJECTS LLC
ADDRESS: 343 W MANHATTAN AVE
 SANTA FE, NM 87501
 (505) 829-9500

CONSTRUCTION
ADDRESS: STATE CITY/PROV POSTAL CODE
 (505) 300-XXXX PHONE
 (505) 300-XXXX FAX

MEP CONSULTANT OF RECORD
ADDRESS: STATE CITY/PROV POSTAL CODE
 (505) 300-XXXX PHONE
 (505) 300-XXXX FAX

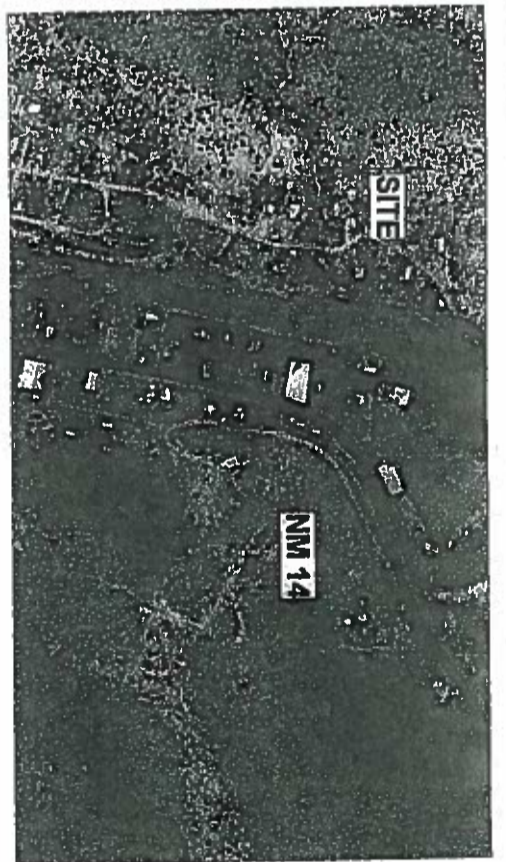
STRUCTURAL
ADDRESS: STATE CITY/PROV POSTAL CODE
 (505) 300-XXXX PHONE
 (505) 300-XXXX FAX

FIRE PROTECTION
ADDRESS: STATE CITY/PROV POSTAL CODE
 (505) 300-XXXX PHONE
 (505) 300-XXXX FAX

INDEX OF SHEETS

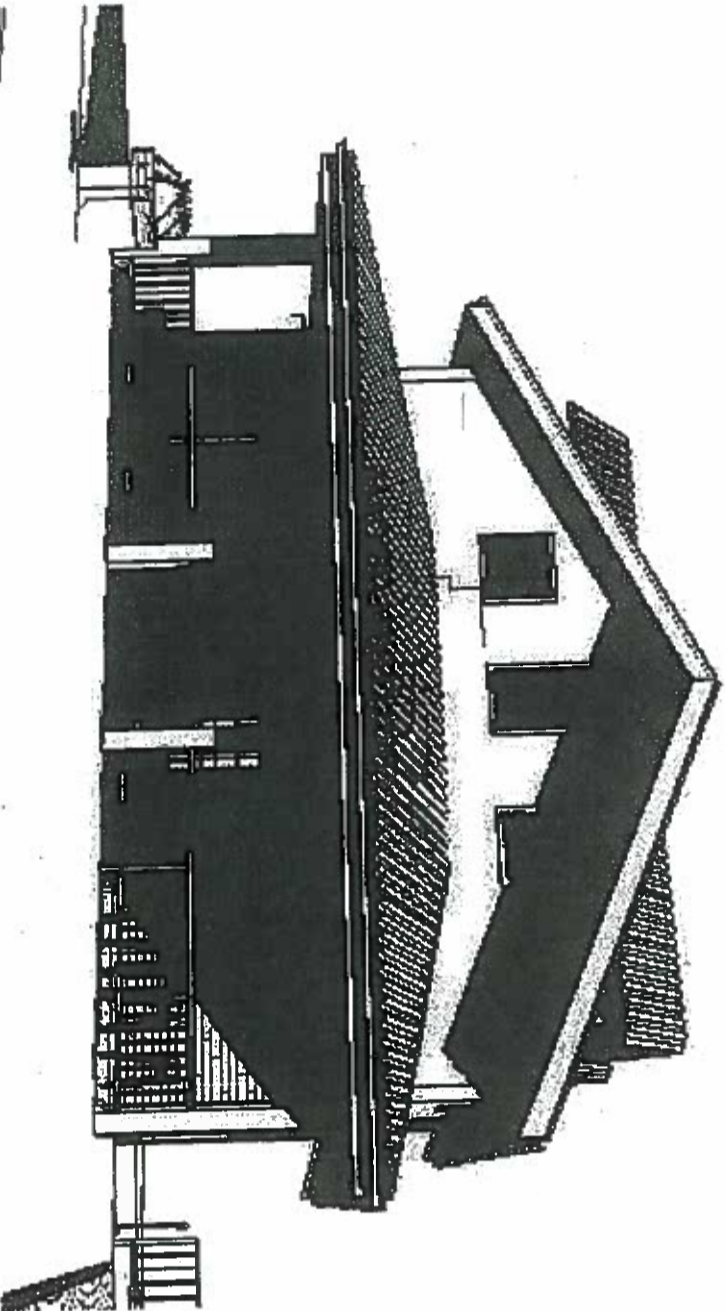
SHEET	SHEET TITLE
GENERAL	GENERAL INSULATION
C-001	GENERAL INSULATION
ARCHITECTURAL	ARCHITECTURAL
SD-1	EXTERIOR ELEVATIONS
SD-2	EXTERIOR ELEVATIONS
SD-3	SCHEMATIC FLOOR PLAN
SD-4	SCHEMATIC SITE PLAN
SD-5	SURVEY
SD-6	BUILDING SECTIONS
SD-7	LANDSCAPE
SD-8	ROOF DRAINAGE
SD-9	ROOF DRAINAGE
SD-10	ROOF DRAINAGE
SD-11	ROOF DRAINAGE
SD-12	ROOF DRAINAGE
C-101	GRADING PLAN
C-102	DRAINAGE IMPROVEMENT

VICINITY PLAN



ROOM SCHEDULE

NAME	AREA
BATH	1103 SF
Room	71 SF
Unit	6281 SF
Unit	73 SF
Grand Total	1120 SF



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Rev	Date	By	Description
1	8 OCT 2015	EG	COMMENTS SET

PROJECT NAME:
 Madrid Mixed Use
PROJECT ADDRESS:
 2889 New Mexico 14, Madrid, NM 87010

PROJECT #: 15-003
ISSUE DATE: 8 OCT 2015
PRODUCTION: EG
CHECKED BY: EG

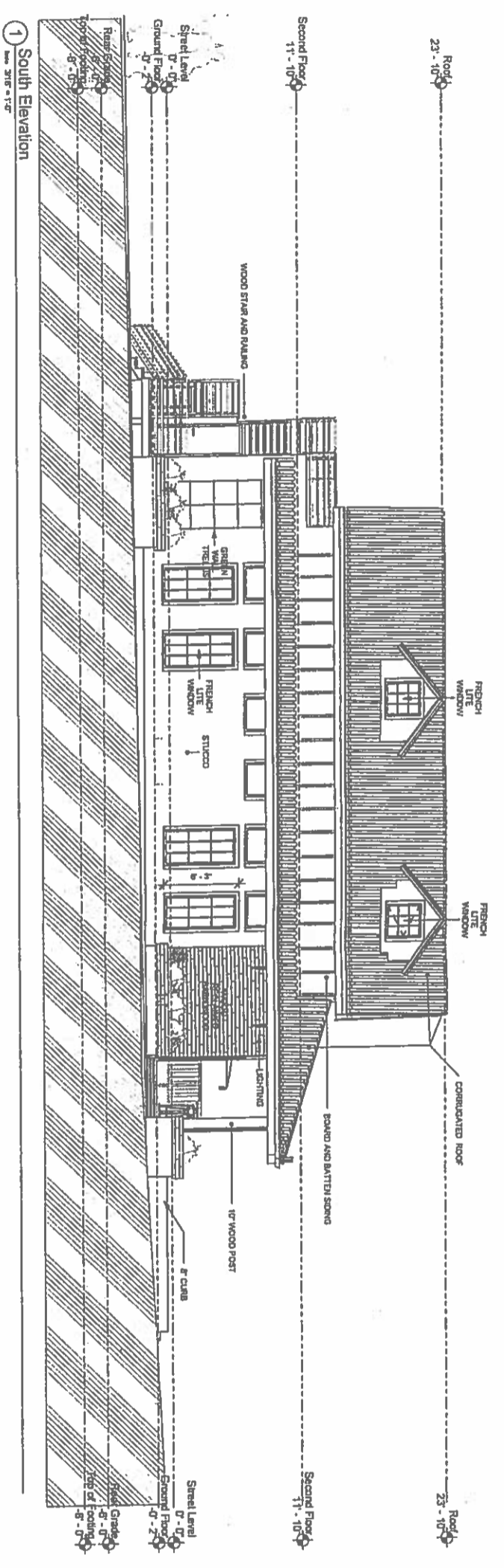
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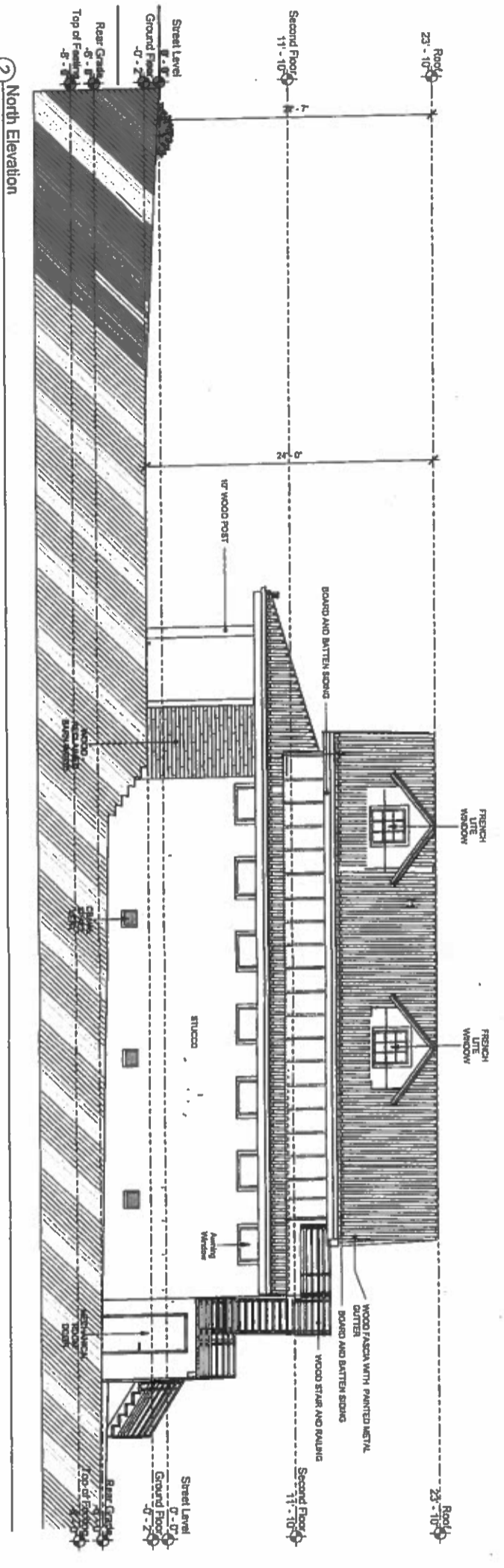
NBD-9

SHEET NOTES

SCHEMATIC ELEVATION NOTES



1 South Elevation
Scale: 3/16" = 1'-0"



2 North Elevation
Scale: 3/16" = 1'-0"

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2			
3			
4			
5			

PROJECT NAME:
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PROJECT ADDRESS:
2889 New Mexico 14, Madrid, NM 87010

PROJECT #: 15-003
ISSUE DATE: 8 OCT 2015
PRODUCTION: ED
CHECKED BY: ED
SHEET TITLE: EXTERIOR ELEVATIONS
SCALE: As Indicated
SHEET NUMBER: SD-1

NBA-10

SHEET NOTES

SCHEMATIC
CEILING PLAN NOTES

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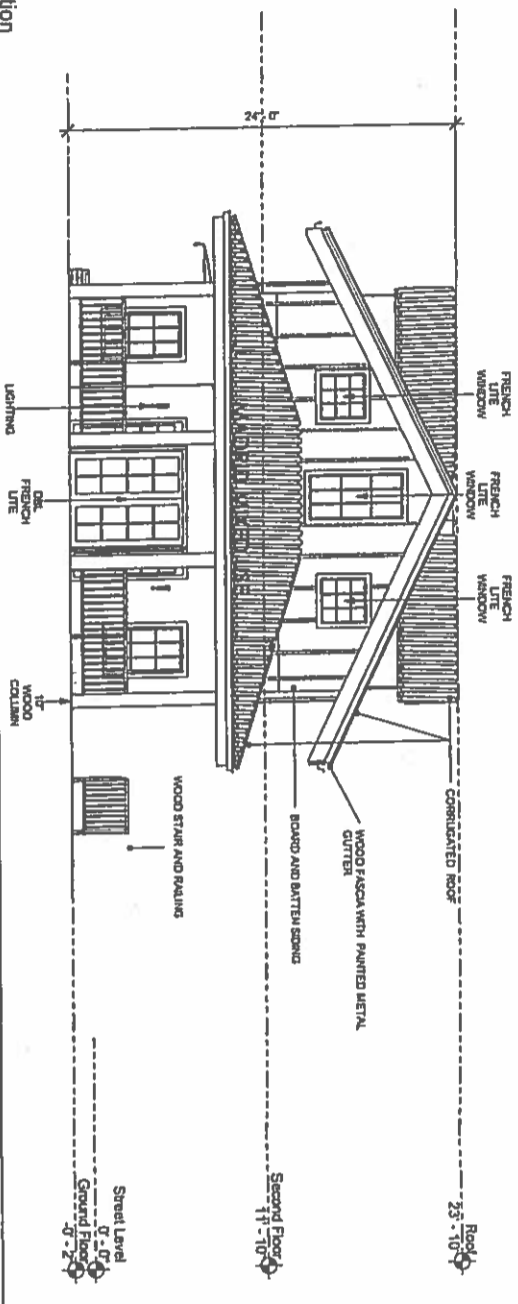
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ELEVATIONS**
As Issued

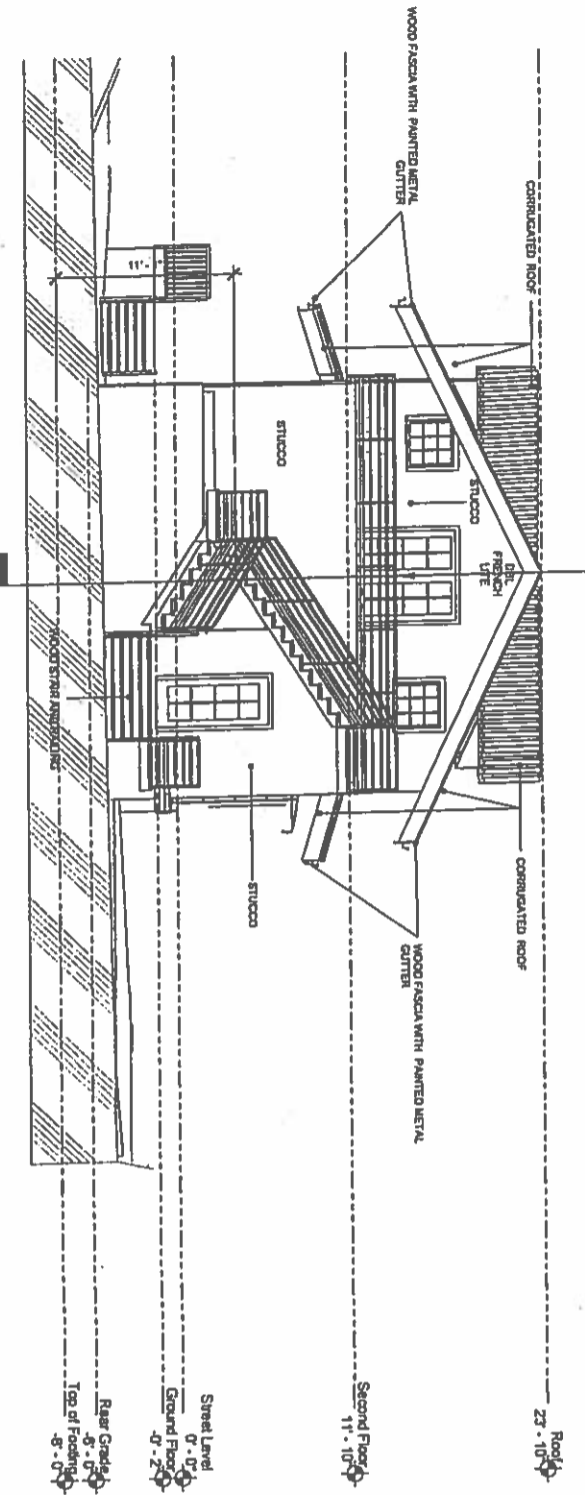
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SHEET NUMBER:
SD-2

① Front Elevation
Scale: 3/16" = 1'-0"



② Rear Elevation
Scale: 3/16" = 1'-0"



NBA-11

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OF CONSTRUCTION.

REV	DATE	BY	DESCRIPTION
1	8 OCT 2015	ED	COMMITTEE SET
2	2015		
3			
4			
5			

PROJECT NAME:
Madrid Mixed Use
PROJECT ADDRESS:
2889 New Mexico 14, Madrid, NM 87010

PROJECT #: 15-003
ISSUE DATE: 8 OCT 2015
PRODUCTION: ED
CHECKED BY: ES
SHEET TITLE: SCHEMATIC FLOOR PLAN
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DRAWN BY: AS Indicated

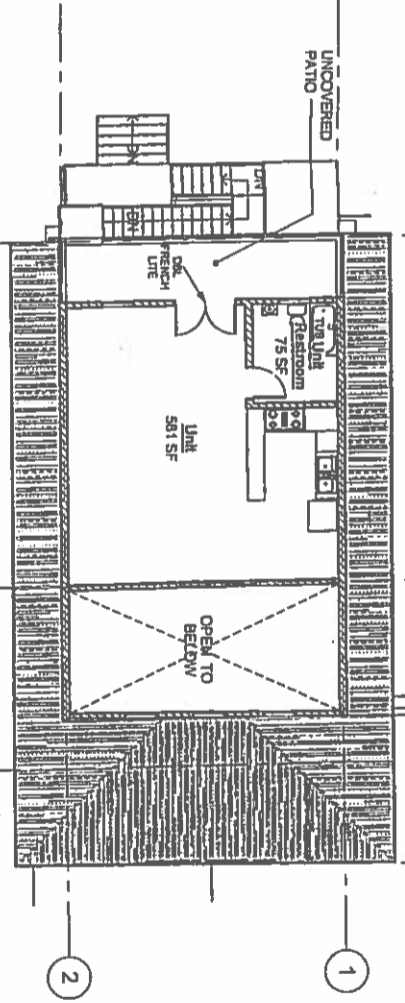
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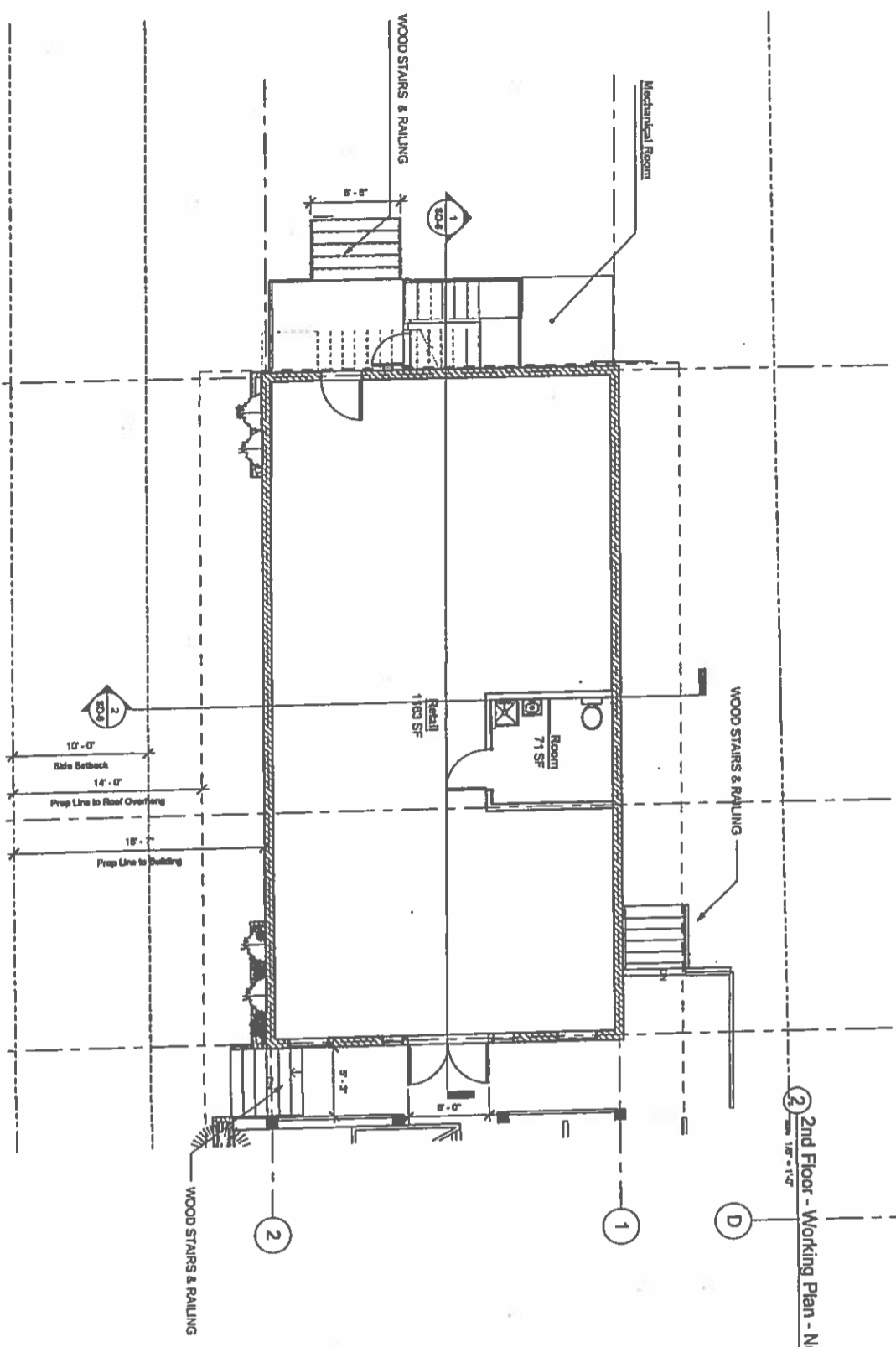
SHEET NOTES

SCHEMATIC FLOOR PLAN NOTES

A. Parking:
Retail @ 1000 SF = 50 SF per person (including methods)
Residential @ 2200 SF = 22 spaces per 1000 SF
Residential Lot Above = 5 spaces
Residential Lot Below = 2 spaces
Parking = 2 spaces



2 2nd Floor - Working Plan - New
Scale: 1/8" = 1'-0"



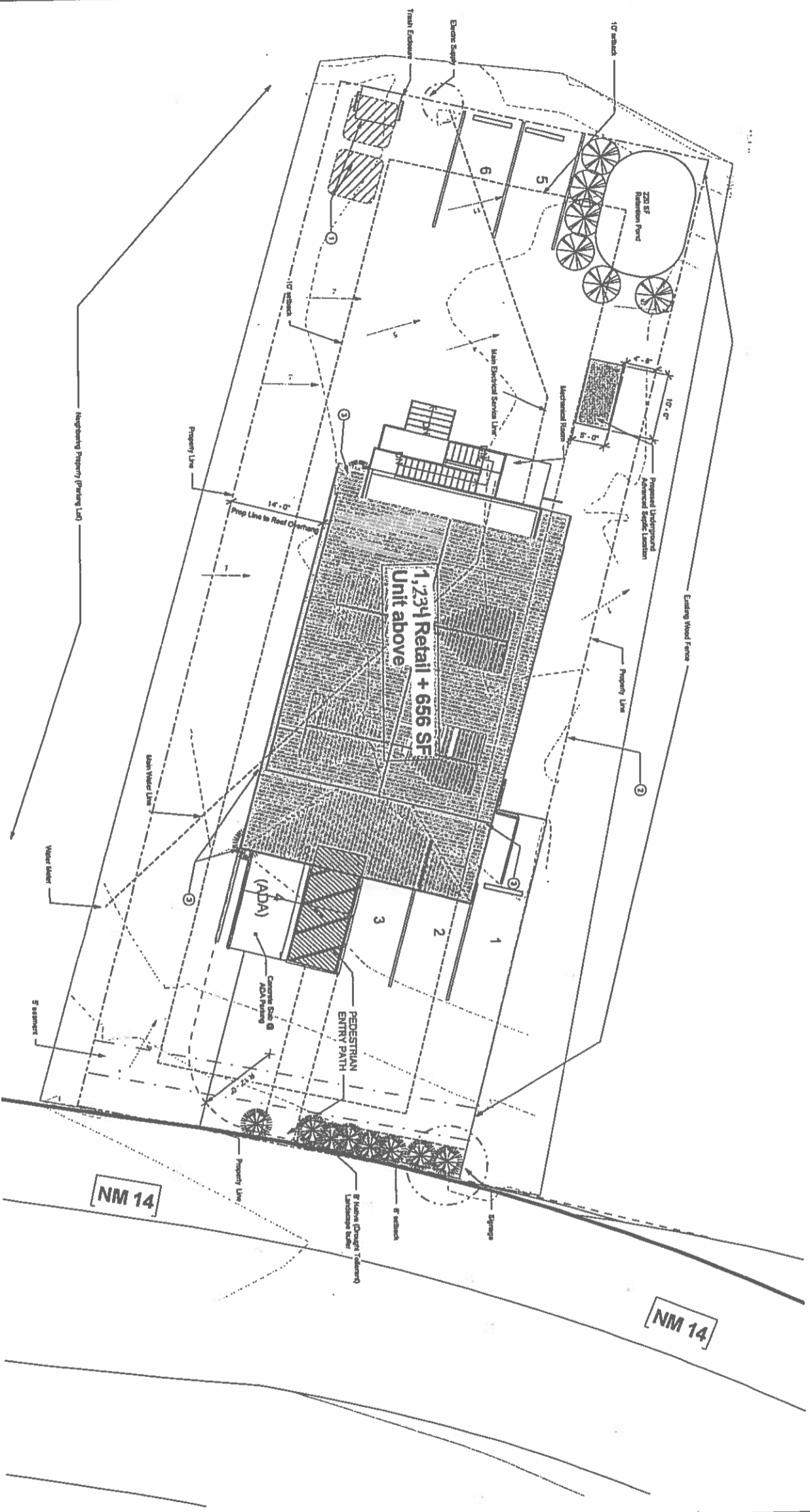
1 1st Floor - Working Plan - New
Scale: 3/16" = 1'-0"

Wall Types

- 1 2 x 8 wood studs @ 16" (406 mm) O.C. with 5/8" GFR (1/4" lead gypsum board on exterior to structure approved per 17' CSD4 mm) O.C. at intermediate supports. Exterior application vary, see annotations.
- 2 2 x 8 wood studs @ 16" (406 mm) O.C. with 5/8" GFR (1/4" lead gypsum board on exterior to structure approved per 17' CSD4 mm) O.C. at intermediate supports. Exterior application vary, see annotations.
- 3 2 x 8 wood studs @ 16" (406 mm) O.C. with 5/8" GFR (1/4" lead gypsum board on exterior to structure approved per 17' CSD4 mm) O.C. at intermediate supports. Exterior application vary, see annotations.
- 4 New Partition Wall to Structure Above
- 5 2 x 4 studs @ 16" (406 mm) O.C. with 5/8" GFR (1/4" lead gypsum board on exterior to structure approved per 17' CSD4 mm) O.C. at intermediate supports. Exterior application vary, see annotations.
- 6 2 x 4 studs @ 16" (406 mm) O.C. with 5/8" GFR (1/4" lead gypsum board on exterior to structure approved per 17' CSD4 mm) O.C. at intermediate supports. Exterior application vary, see annotations.

NBA-12

1 1ST FLOOR - SITE PLAN
Scale: 1" = 10'



- SHEET NOTES**
1. LOCATION OF NEW 2004-4, 4' BARED CISTERN
 2. EXISTING WOOD FENCE ALONG NORTHWEST PROPERTY LINE
 3. BREADED BUTTERFLY LIGHTING

- SCHEMATIC SITE PLAN NOTES**
- PLANNING**
 - Per SDC 11
 - 1000 sq ft = 27 parking spaces (minimum)
 - Parking = 27 x 20 (per sq ft) = 4.4 spaces
 - PROVIDENTIAL LULU ABOVE - 656 SF**
 - Parking = 1.25 spaces
 - 1 ADA space (including signage and copying compliance with ADA regulations)
 - ADA space must be at least 25' wide
 - Total Parking 5 spaces (incl ADA)
 - No slope on site over 15%**
 - Landscaping at structure as per Madrid Development Plan guidelines. Refer to Landscaping Plan**
 - All signage to conform with Madrid Development Plan guidelines and State Fire Code guidelines. (No more than 1-3' per foot height)**
 - Road Drainage to downspouts. See Civil for Retention Pond and Site Drainage and Catchment details.**
 - Deep mitigation of all landscaping will be set from parapet down with parapet.**
 - Roofing to be Spectralink.**

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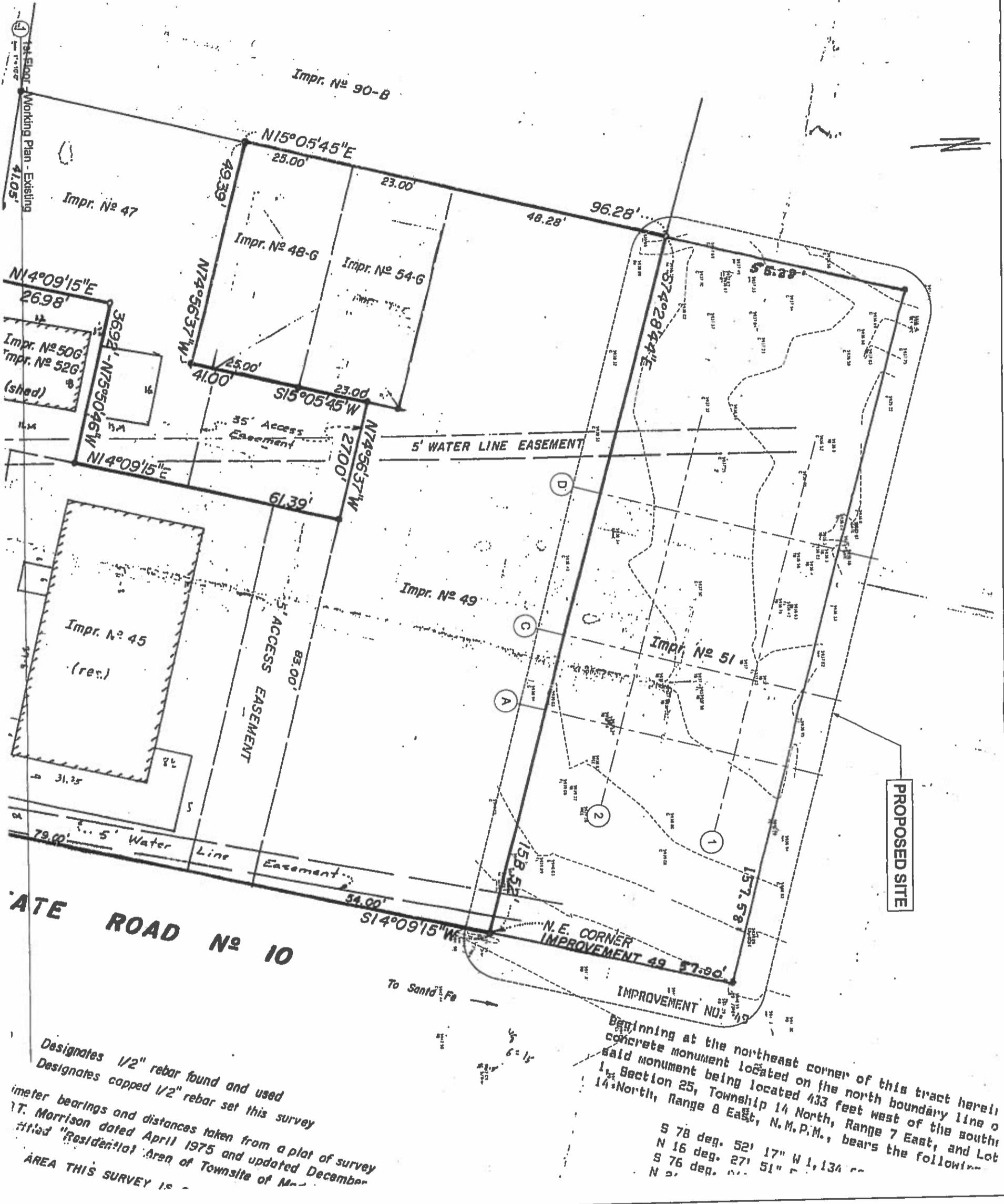
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2	10/01/2015	EG	CONCEPT SET

PROJECT NAME:
Madrid Mixed Use
PROJECT ADDRESS:
2889 New Mexico 14, Madrid, NM 87010

PROJECT #: 15-003
ISSUE DATE: 8 OCT 2015
PRODUCTION: EG
CHECKED BY: EG

SHEET TITLE:
SCHEMATIC SITE PLAN
SCALE: As Indicated
SHEET NUMBER: SD-4

NBA-13



Designates 1/2" rebar found and used
 Designates capped 1/2" rebar set this survey
 Meter bearings and distances taken from a plot of survey
 T. Morrison dated April 1975 and updated December
 titled "Residential Area of Townsite of Madrid"
 AREA THIS SURVEY IS -

Beginning at the northeast corner of this tract here
 concrete monument located on the north boundary line o
 said monument being located 433 feet west of the south
 1st Section 25, Township 14 North, Range 7 East, and Lot
 14 North, Range 8 East, N.M.P.M., bears the following
 S 78 deg. 52' 17" W 1,134
 N 16 deg. 27' 51" E 134
 S 76 deg. 00' 51" E 134

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PROJECT #:	15-003
ISSUE DATE:	8 OCT 2015
PRODUCTION:	EG
CHECKED BY:	EG
SHEET TITLE:	SURVEY
SCALE:	1" = 100'
SHEET NUMBER:	SD-5

PROJECT NAME:
Madrid Mixed Use
 PROJECT ADDRESS:
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Rev	Date	By	Description

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 PROJECTS**

NBA-14

GEISLER PROJECTS

343 W Manhattan Ave
 Santa Fe NM 87501
 505 699 9509

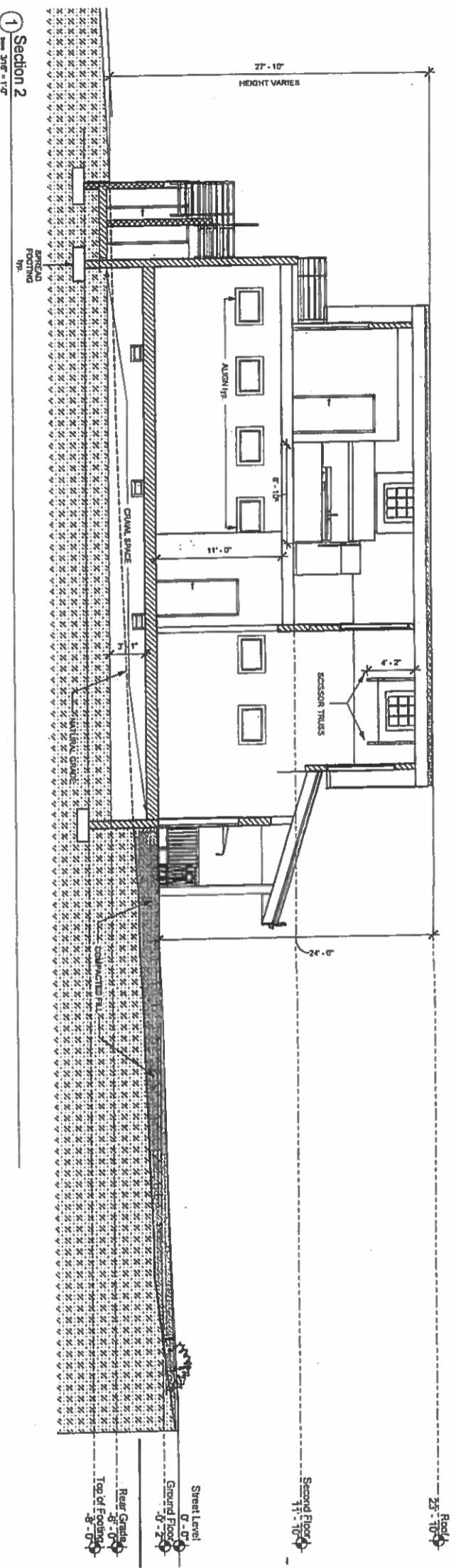
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Rev	Date	By	Description
1	8 OCT 2015	ED	COMMENT SET
2			
3			
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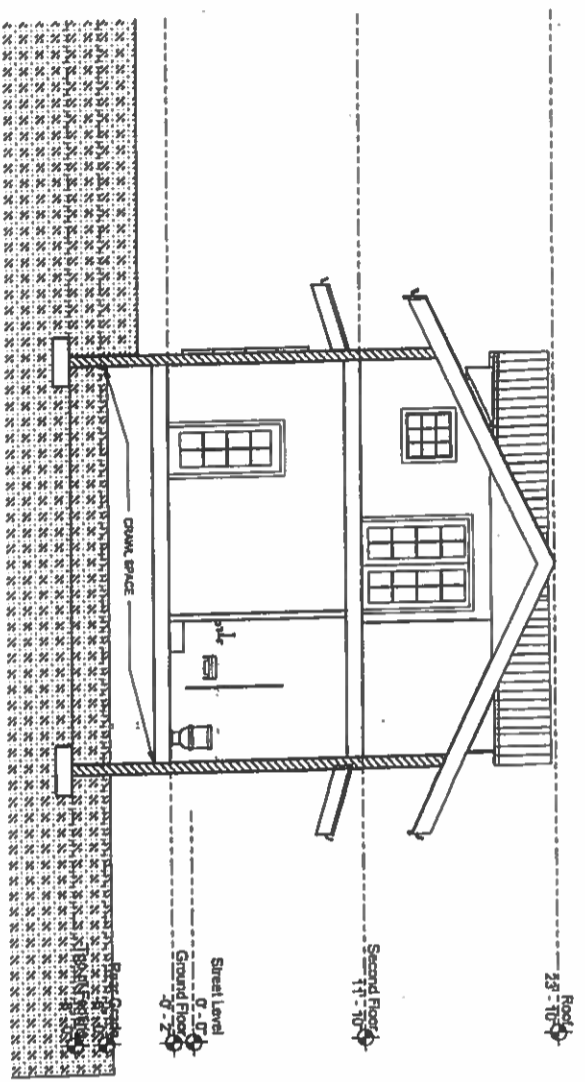
DESIGN DEVELOPMENT ONLY - NOT INTENDED FOR CONSTRUCTION

PROJECT NAME:
Madrid Mixed Use
 PROJECT ADDRESS:
 2889 New Mexico 14, Madrid, NM 87010

PROJECT #: 15-003
 ISSUE DATE: 8 OCT 2015
 PRODUCTION: ED
 CHECKED BY: ED
 SHEET TITLE:
BUILDING SECTIONS
 SCALE: 3/8" = 1'-0"
 SHEET NUMBER: SD-6



1 Section 2
 Scale: 3/8" = 1'-0"



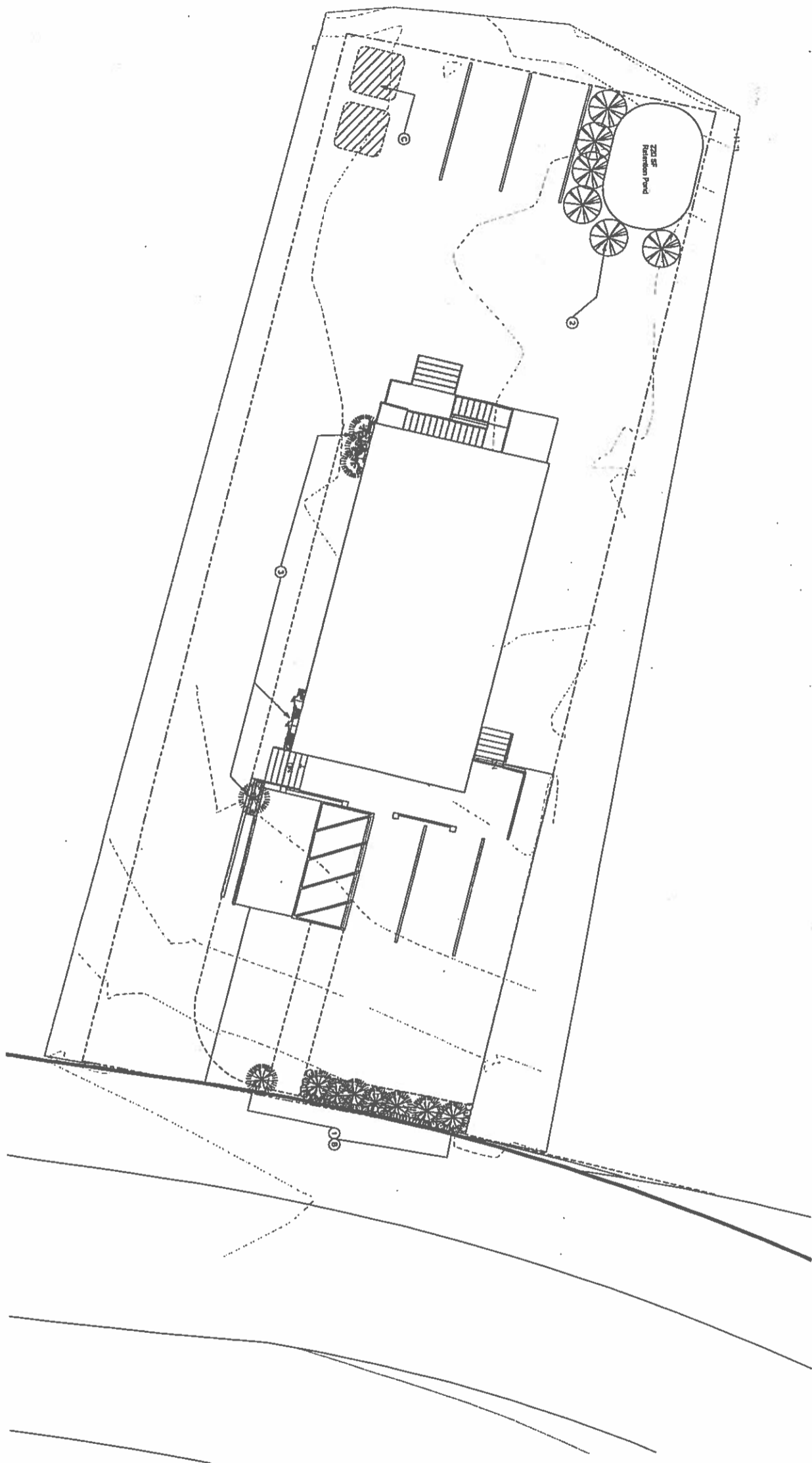
2 Section 3
 Scale: 3/8" = 1'-0"

NBA-15

SHEET NOTES

SCHEMATIC SITE PLAN NOTES

- A. PLANNING**
 1. 1' = 100'
 2. Show 5' high (generally curb)
 3. Show 6' high (other terms)
 4. Show 8' high (other terms)
- B. TREES**
 1. Trees at retention point:
 a. Existing trees (indicated by symbol)
 b. New trees (indicated by symbol)
 c. Trees to be removed (indicated by symbol)
- C. ROADS**
 1. Roads along street frontage (indicated by symbol)
 2. Roads along street frontage (indicated by symbol)
 3. Roads along street frontage (indicated by symbol)
- D. UTILITIES**
 1. Utility lines (indicated by symbol)
 2. Utility lines (indicated by symbol)



1 1ST FLOOR - LANDSCAPE PLAN
 Scale: 1" = 100'

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GEISLER PROJECTS

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Rev	Date	By	Description
1	9 OCT 2013	ES	COMMENT SET

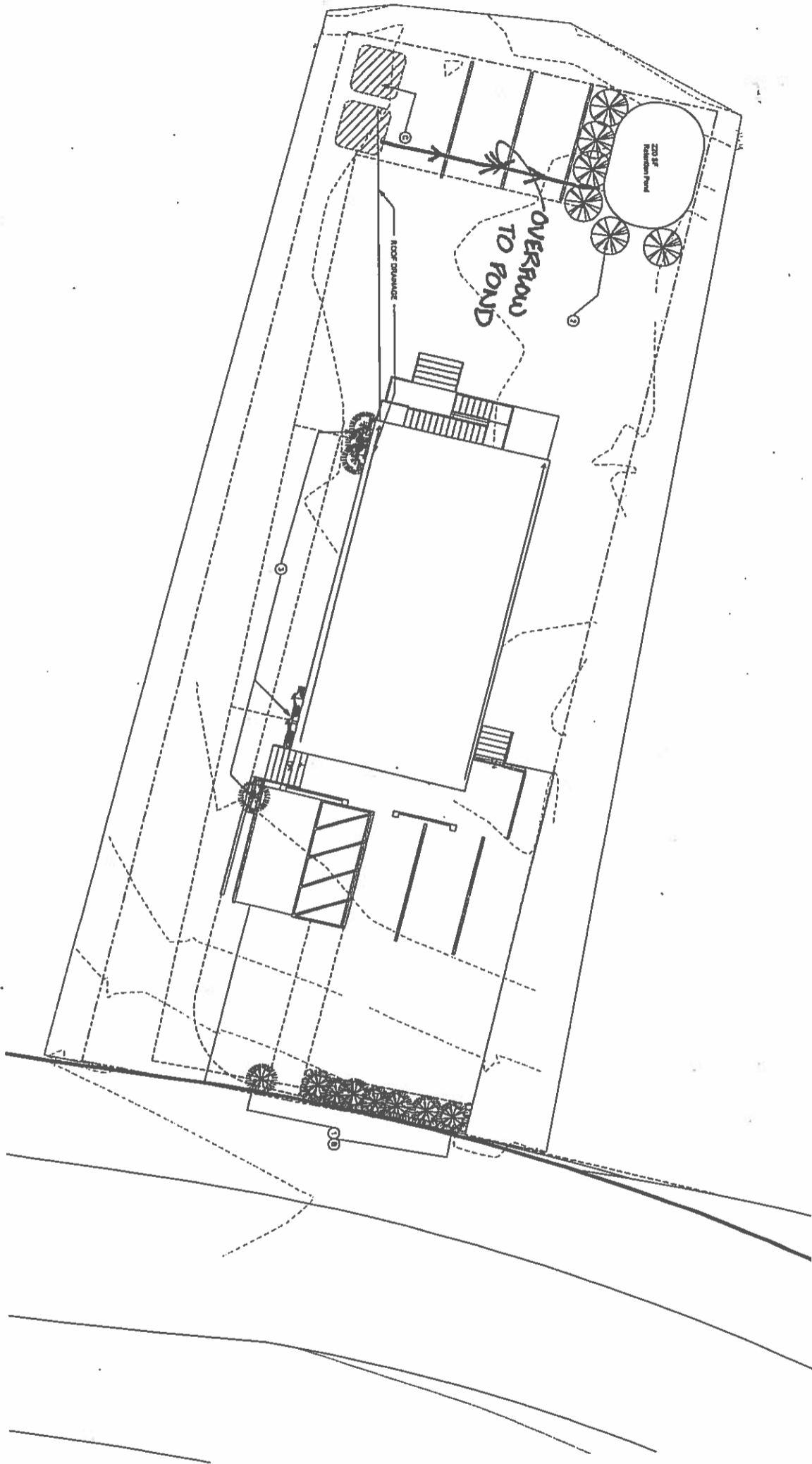
PROJECT NAME:
Madrid Mixed Use
 PROJECT ADDRESS:
 2889 New Mexico 14, Madrid, NM 87010

PROJECT #: 15-003
 ISSUE DATE: 8 OCT 2013
 PRODUCTION: ES
 CHECKED BY: ES

SHEET TITLE: **LANDSCAPE**
 SCALE: As Indicated
 SHEET NUMBER: **SD-7**

NBA-16

1 1ST FLOOR - LANDSCAPE PLAN



SHEET NOTES

SCHEMATIC SITE PLAN NOTES

- A. PLANTING
 - 1. Plant species at site:
 - 2. Plant species (landscape area)
 - 3. Plant species (shrub/terrace)
- B. TREES AT EXISTING POND:
 - 1. Existing species (landscape area)
 - 2. Existing species (shrub/terrace)
- C. POND:
 - 1. Pond depth (landscape area)
 - 2. Pond depth (shrub/terrace)
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 - 99. Pond depth (shrub/terrace)
 - 100. Pond depth (shrub/terrace)

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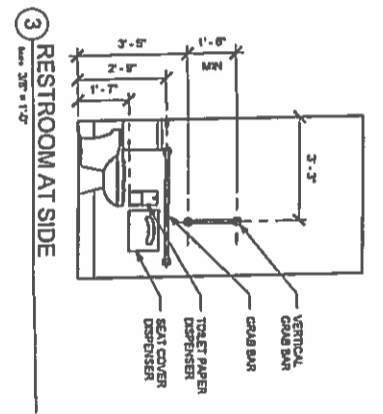
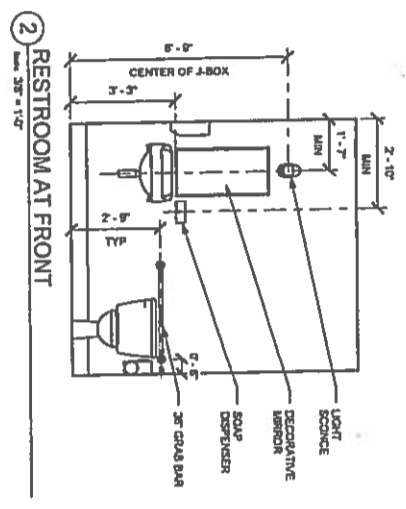
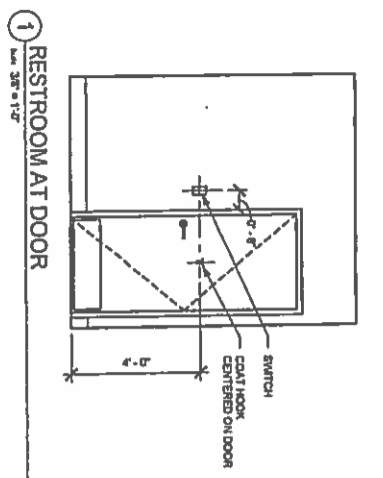
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REV	DATE	BY	DESCRIPTION
1	9 OCT 2013	CONSULTANT SET	
2			
3			
4			
5			
6			
7			
8			
9			
10			

PROJECT NAME:
Madrid Mixed Use
PROJECT ADDRESS:
2889 New Mexico 14, Madrid, NM 87010

PROJECT #: 15-003
ISSUE DATE: 9 OCT 2013
PRODUCTION: 00
CHECKED BY: 00
SHEET TITLE:
ROOF DRAIN
SCALE:
SHEET NUMBER:
SD 8

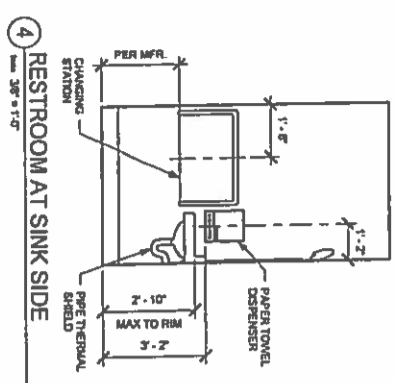
NBA-17



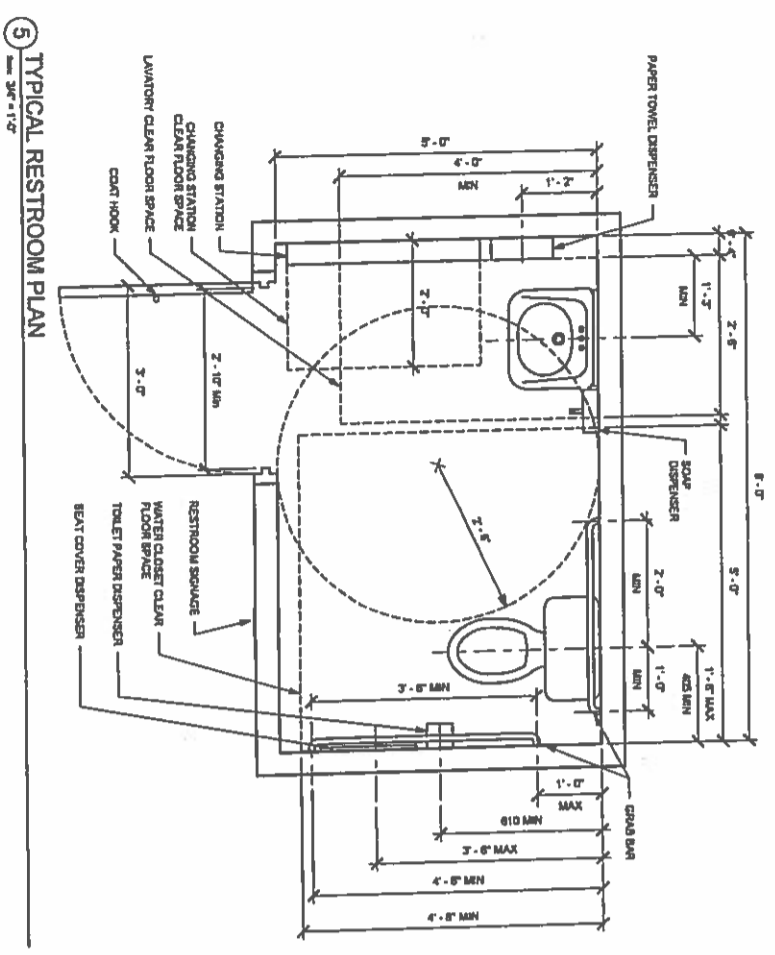
1 RESTROOM AT DOOR
Scale: 3/8" = 1'-0"

2 RESTROOM AT FRONT
Scale: 3/8" = 1'-0"

3 RESTROOM AT SIDE
Scale: 3/8" = 1'-0"



4 RESTROOM AT SINK SIDE
Scale: 3/8" = 1'-0"



5 TYPICAL RESTROOM PLAN
Scale: 3/8" = 1'-0"

ENLARGED RESTROOM PLAN NOTES

A. DETAILS ARE FOR REFERENCE ONLY.

B. ALL RESTROOM ACCESSORIES MOUNTING HEIGHTS TO MEET STANDARD HEIGHT REQUIREMENTS FOR ADA ACCESSIBILITY STANDARDS.

C. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND HEIGHTS TO CONSTRUCTION. ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT.

D. DIMENSIONS ARE TO FACE OF FINISHED SURFACE.

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GEISLER PROJECTS

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Rev	Date	By	Description

PROJECT NAME:
Madrid Mixed Use

PROJECT ADDRESS:
2889 New Mexico 14, Madrid, NM 87010

PROJECT #: 15-003

ISSUE DATE: 8 OCT 2015

PRODUCTION: EG

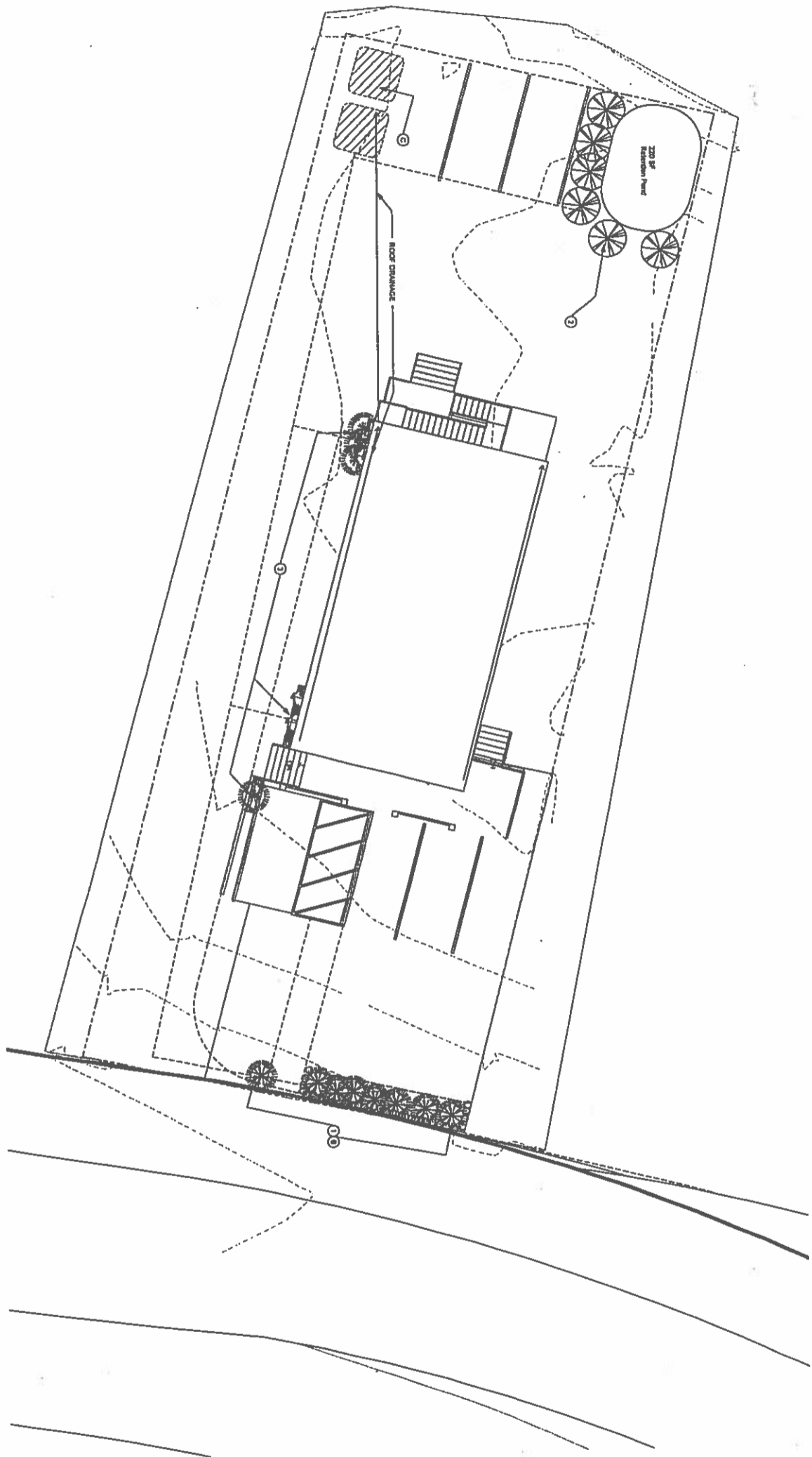
CHECKED BY: EG

SHEET TITLE:
ENLARGED RESTROOM PLAN AND ELEVATIONS

SCALE:
1/4" = 1'-0"

SHEET NUMBER:
1-4102

NBA-12



① 1ST FLOOR - LANDSCAPE PLAN
1:100

SHEET NOTES

SCHEMATIC SITE PLAN NOTES

- A. PLANTING
 - 1. Planting as shown
 - 2. Planting as shown (subject to availability)
 - 3. Planting as shown (subject to availability)
- B. IRRIGATION
 - 1. Irrigation as shown (subject to availability)
 - 2. Irrigation as shown (subject to availability)
 - 3. Irrigation as shown (subject to availability)
- C. IRRIGATION
 - 1. Irrigation as shown (subject to availability)
 - 2. Irrigation as shown (subject to availability)
 - 3. Irrigation as shown (subject to availability)

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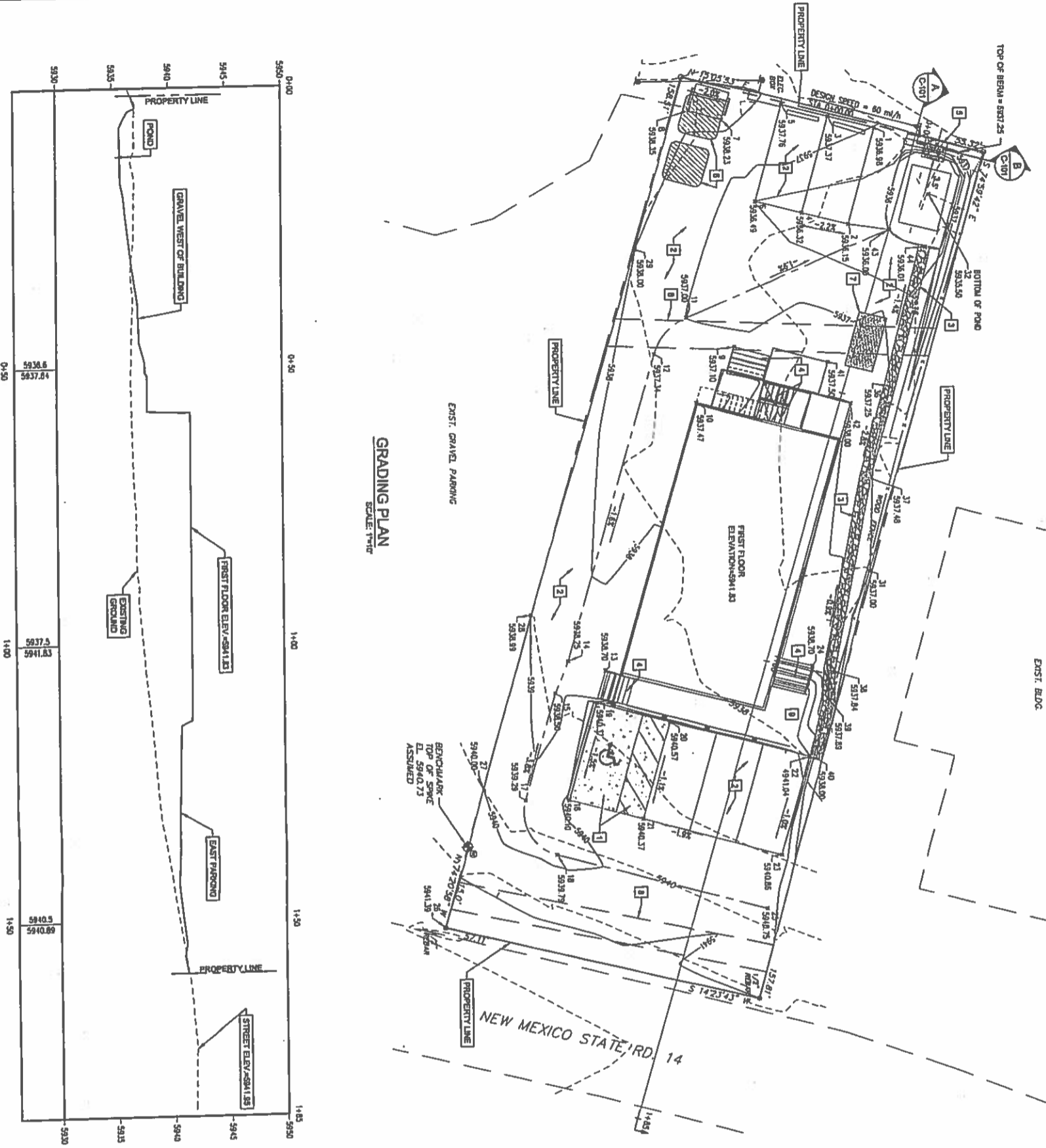
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REV	DATE	BY	DESCRIPTION
1	08/20/2013	CS	CONCEPT SET

PROJECT NAME:
Madrid Mixed Use
PROJECT ADDRESS:
2889 New Mexico 14, Madrid, NM 87010

PROJECT #:	15-003
ISSUE DATE:	8 OCT 2013
PRODUCTION:	CS
DATE:	03
SHEET TITLE:	LANDSCAPE
SCALE:	As Noted
SHEET NUMBER:	SD-7

NBA-19



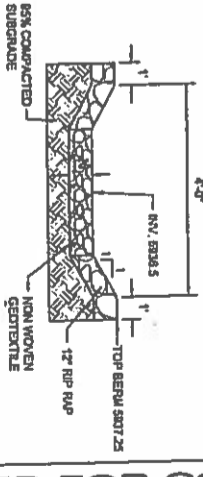
CROSS-SECTION 'A'
HORIZ. SCALE 1"=10' VERT. SCALE 1"=5'

GRADING PLAN
SCALE 1"=10'

POINT #	HORING	EXISTING ELEVATION	POINT #	HORING	EXISTING ELEVATION
1	128.71	107.42	21	86.99	231.63
2	174.02	124.80	22	118.43	221.26
3	120.50	103.20	23	111.42	228.26
4	115.82	122.29	24	117.09	204.63
5	112.20	102.99	25	108.80	248.20
6	107.61	120.37	26	51.89	250.34
7	101.88	102.48	27	56.90	225.81
8	95.94	103.74	28	67.48	194.40
9	103.78	148.84	29	86.38	178.71
10	98.97	156.60	30	127.25	197.77
11	94.32	141.13	31	128.20	119.84
12	88.68	147.61	32	128.80	170.72
13	80.57	204.59	33	128.80	170.72
14	73.99	202.73	34	128.12	200.43
15	71.88	208.59	35	118.99	211.20
16	74.00	227.25	36	117.54	221.26
17	66.24	227.23	37	120.25	180.74
18	71.76	237.71	38	124.26	157.31
19	78.82	210.83	39	131.23	125.80
20	91.85	214.47	40	137.26	129.22
			41		594.07
			42		593.00
			43		593.00
			44		593.01

POINT #	HORING	EXISTING ELEVATION	POINT #	HORING	EXISTING ELEVATION
1	128.71	107.42	21	86.99	231.63
2	174.02	124.80	22	118.43	221.26
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5	112.20	102.99	25	108.80	248.20
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12	88.68	147.61	32	128.80	170.72
13	80.57	204.59	33	128.80	170.72
14	73.99	202.73	34	128.12	200.43
15	71.88	208.59	35	118.99	211.20
16	74.00	227.25	36	117.54	221.26
17	66.24	227.23	37	120.25	180.74
18	71.76	237.71	38	124.26	157.31
19	78.82	210.83	39	131.23	125.80
20	91.85	214.47	40	137.26	129.22
			41		594.07
			42		593.00
			43		593.00
			44		593.01

OVERFLOW WEIR SECTION 'B'
SCALE 1"=10'



- GENERAL NOTES:**
- THIS PLAN IS FOR A CONCRETE RETAINMENT WALL AND NOT FOR CONSTRUCTION. ADDITIONAL PLAN REVISIONS MAY BE REQUIRED.
 - CONTRACTOR SHALL FIELD VERIFY SITE FOR EXISTING CONDITIONS (SPILLS, BORROW AREAS, ETC.) PRIOR TO BRIDGING EXISTING QUANTITIES.
 - FILL SHALL BE COMPACTED TO 95% MAX. DENSITY PER STD. PRACTICE.
- KEYED NOTES:**
- INSTALL 4" THICK CONCRETE PAVING
 - INSTALL 3" OF BASE COURSE
 - PROVIDE COBBLE STONE FOR SMALL SWALE
 - WOODEN STAKES W/ WOODEN HANDRAIL. TO BE DETAILED BY FINAL DESIGN.
 - INSTALL OVERFLOW WEIR 12" THICK RIPPAP WITH FILTER FABRIC. SEE DETAIL 'B' THIS SHEET.
 - CUTS PER SITE PLAN
 - APPROX. 5' WATER EASEMENT
 - DECK NOT SHOWN

GRAPHIC SCALE
Scale: 1"=10'

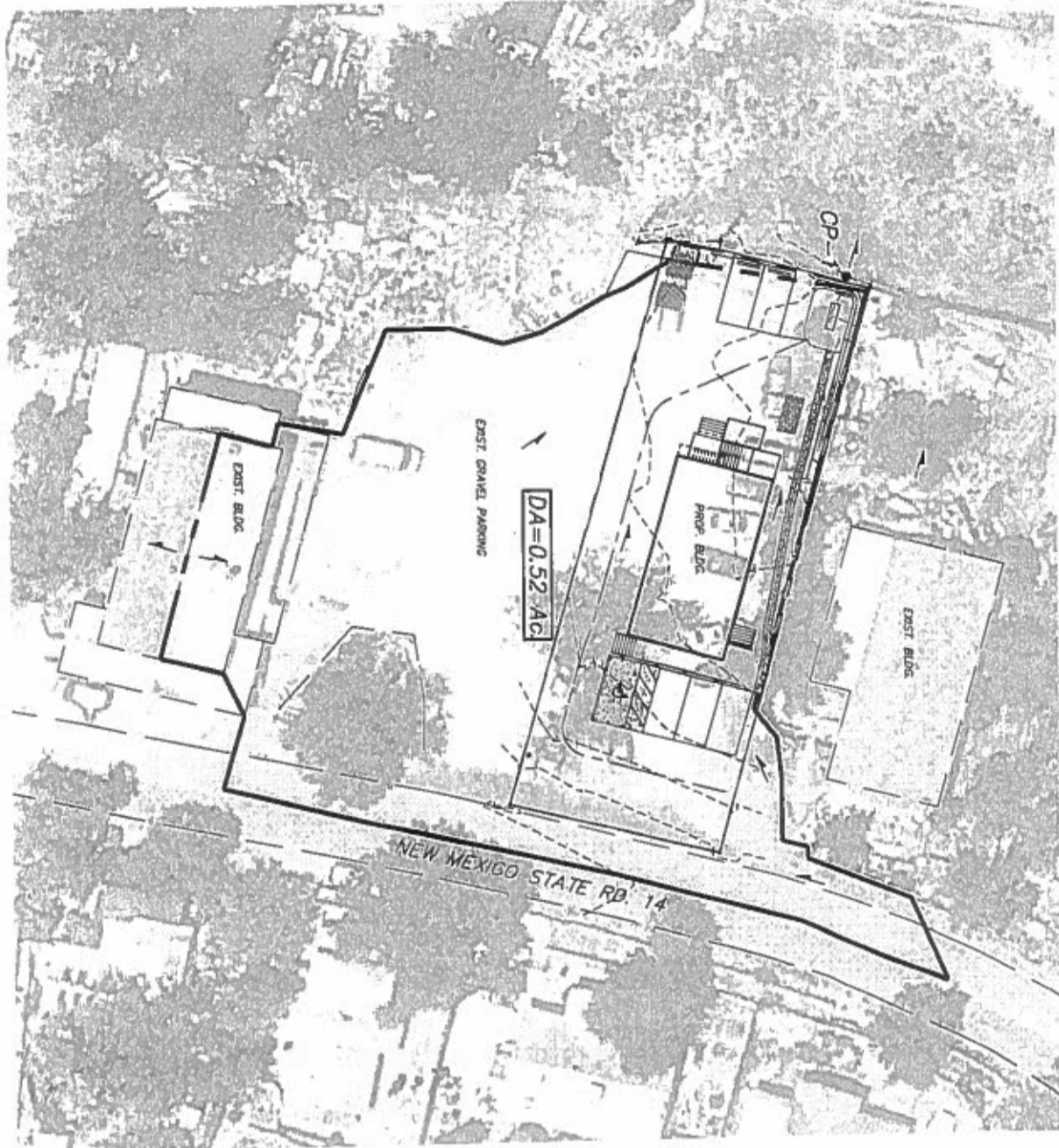
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<p>FORSGREN Civil/Structural Inc.</p> <p>6100 Indian School Rd. NE, Ste. 205 Albuquerque, NM 87110 505 814 2796</p>		<p>ARCHITECT OF RECORD</p> <p>THIS DRAWING IS A DESIGN DEVELOPMENT ONLY AND NOT FOR CONSTRUCTION. THE ARCHITECT AND/OR ENGINEER, OR RECORD DRAWING CONTRACTOR, SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION.</p> <p>Revision Schedule</p> <table border="1"> <tr><th>Rev</th><th>Date</th><th>By</th><th>Description</th></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </table>	Rev	Date	By	Description												
Rev	Date	By	Description															
<p>PROJECT NAME: Madrid Mixed Use</p> <p>PROJECT ADDRESS: 2889 New Mexico 14, Madrid, NM 87010</p>		<p>PROJECT #: 15-003</p> <p>ISSUE DATE: OCTOBER 8, 2015</p> <p>PRODUCTION: NO</p> <p>CHECKED BY: NO</p> <p>SHEET TITLE: GRADING PLAN</p> <p>SCALE:</p> <p>SHEET NUMBER: C-101</p>																

NBA-



DRAINAGE PLAN
SCALE: 1"=20'



DRAINAGE NARRATIVE

1. The project site is outside of a FEMA floodplain (Zone X) per FEMA Map No. 3599C0325E.
2. Hydrology was performed using the Rational Method for the 0.52 Acre Watershed. The C Values for compacted Gravel (existing) is 0.85 and for pavement is 0.99. A Time of Concentration of 5 minutes was used for the small watershed.
3. Rainfall Intensities (inches/hour) were obtained from NOAA Data Server.
4. Flow from the proposed roof to the Cistern (1.5 gallons per square foot) was accounted for in reducing the rainfall intensities by the equivalent 2.4 inches rounded to the distens.
5. There is no increase in runoff for this project, given the existing compacted gravel. However, a small retention basin has been provided at the northwest drainage outlet with a 4' wide weir, and one foot ponding depth.

NATIONAL METHOD CALCULATIONS

MADRID MIXED USE

10/02/2016

C Pavement	0.99
C Gravel	0.85

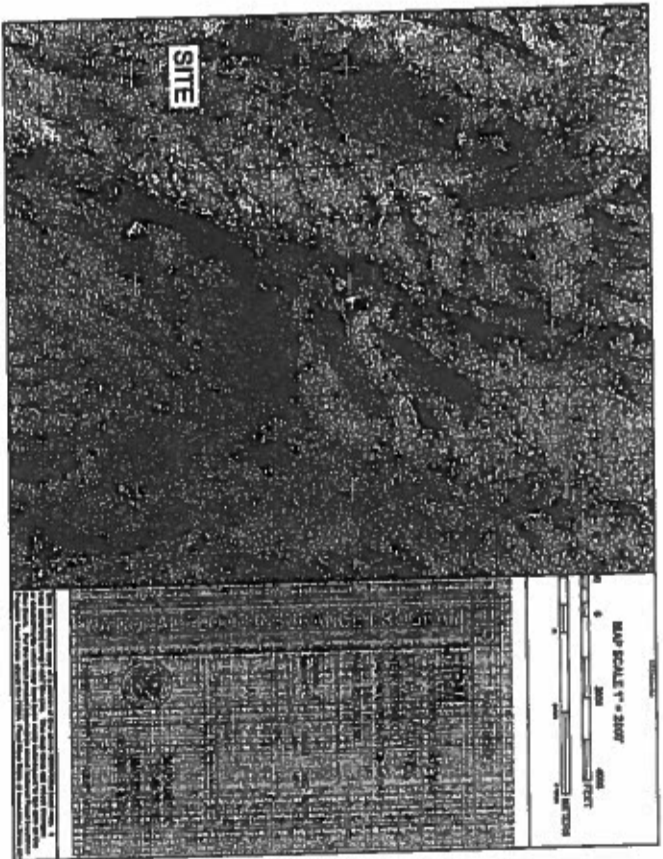
Source: Technical Manual for Land Use Regulation Program, Dept. of Environment, Protection, Natural and Cultural Resources, Storm Drainage Manual, 2005

Storm Event	Intensity (in/hr)	1st Hour to 24 Hours (in/hr)
2-Hour	5.17	0.77
15-Min	5.04	2.64
30-Min	4.34	3.14
60-Min	3.20	4.60
120-Min	2.20	5.50

Cistern Flow	1.5 gallons per sq. foot roof
q ₁	cubic feet (depth for 1 sq. ft. (ft.)
1.5	0.20
3.0	1.00

Area	ASFA Gravel (ft ²)	ASFA Pavt (ft ²)	ASFA Total (ft ²)	Compaction C
EXISTING	6.10	6.10	6.10	0.85
PROPOSED	6.10	0.00	6.10	0.99

Storm Event	Q ₁ (ft ³ /hr)	Q ₂₄ (ft ³)	Q ₆₀ (ft ³)	Q ₁₂₀ (ft ³)	Q ₂₄₀ (ft ³)
2-Hour	1.46	1.46	0.18	1.46	1.46
15-Min	2.32	2.32	0.17	2.32	2.32
30-Min	2.82	2.82	0.21	2.87	2.87
60-Min	3.44	3.44	0.25	3.47	3.47
120-Min	3.44	3.44	0.25	3.47	3.47



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FORSGREEN
Architects, Inc.

6100 Indian School Rd.
NE, Ste. 205
Albuquerque, NM 87110
505 814 2796



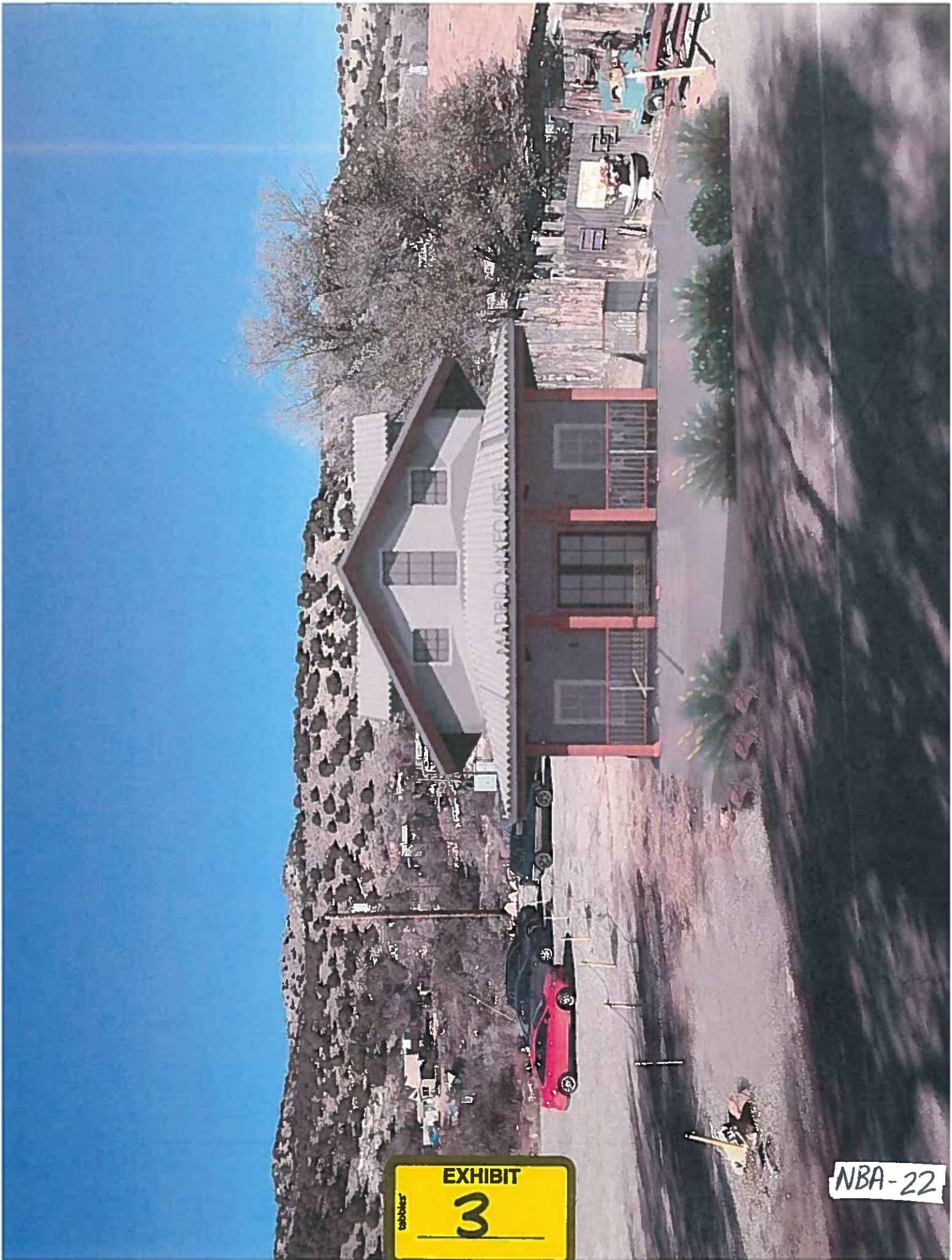
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Rev	Date	By	Description

PROJECT NAME:
Madrid Mixed Use
PROJECT ADDRESS:
2889 New Mexico 14, Madrid, NM 87010

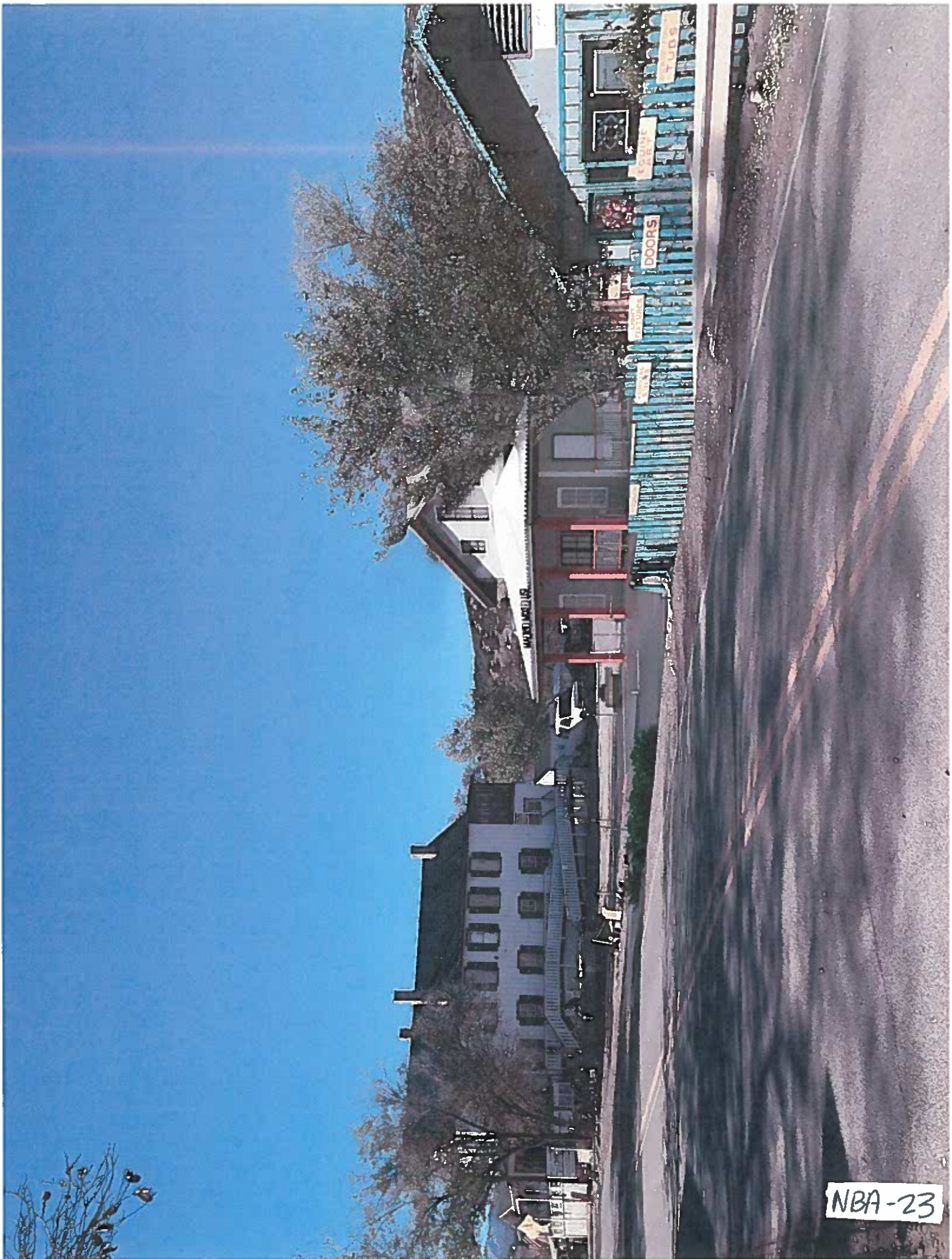
PROJECT #: 15-000
DATE: OCTOBER 6, 2016
PRODUCTION: NO
CHECKED BY: NO
SHEET TITLE: DRAINAGE INFORMATION
SHEET NUMBER: C-102

NBA-

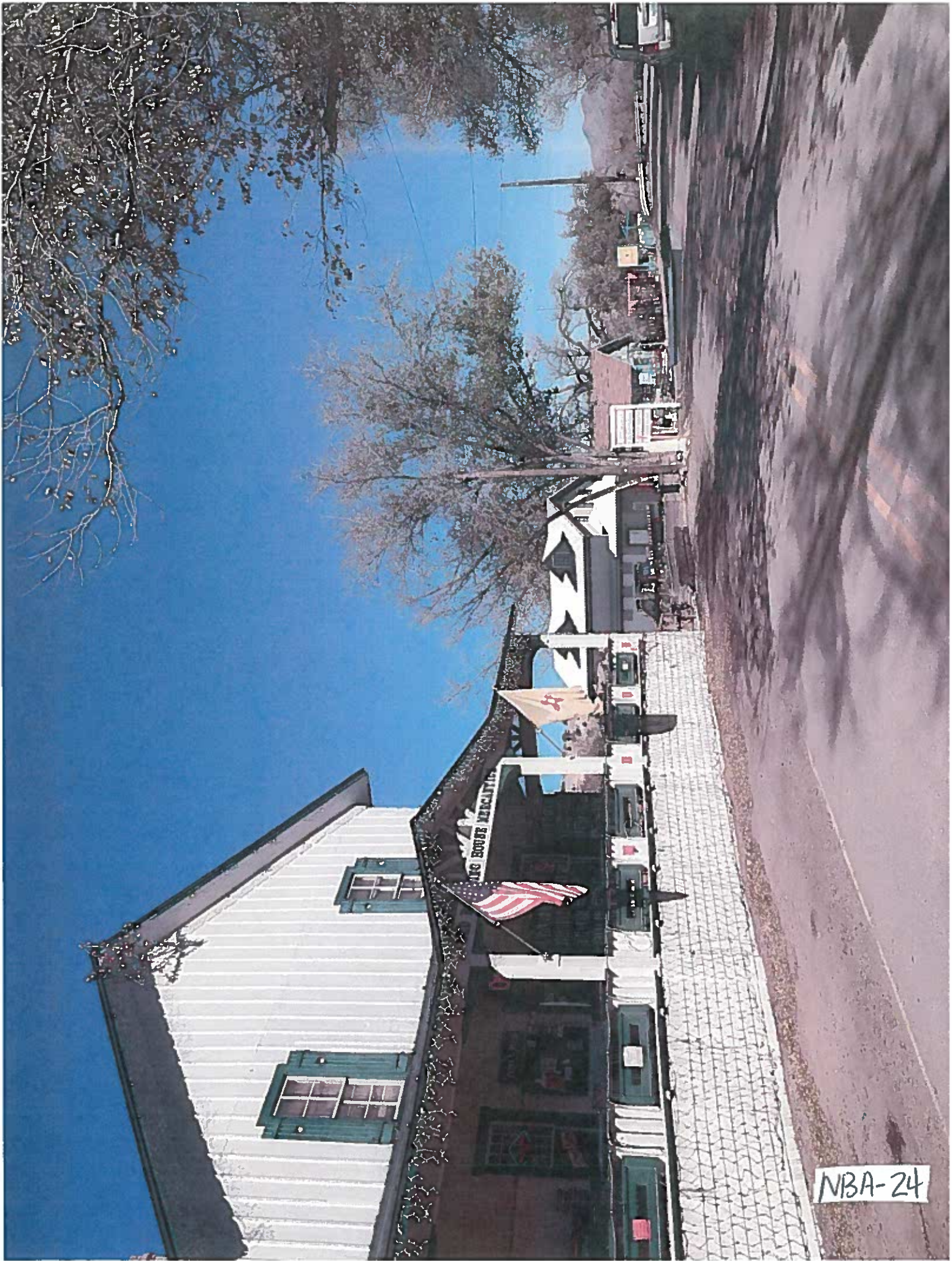


tabbles
EXHIBIT
3

NBA-22



NBA-23



NBA-24

Options for compact residential development including clustered housing, family compounds, and secondary dwelling units. Community facilities, institutional uses, agricultural uses, and home occupations that are residential in scale should continue to be allowed anywhere in the district. The MCD TC accommodates traditional community patterns, preserves historic and cultural landscapes, and protects agricultural uses.

a. Use Regulations. Uses permitted, conditional, accessory and prohibited as identified in Chapter 8 of Appendix B of this Code with exceptions identified on MCD Use Table.

b. Dimensional Standards. As identified in Chapter 8 of this Code, Traditional Community, except as prescribed in MCD Table 9-6-3.

Table 9-6-3: Dimensional Standards MCD TC (Traditional Community).

Zoning District	MCD TC
Density (# of acres per dwelling unit)	.75
Frontage (minimum, feet)	50
Lot width (minimum, feet)	50
Lot width (maximum, feet)	n/a
Height (maximum, feet)	25
Height (maximum, feet), hay or animal barn, silo	36
Maximum building size (non-residential)	2,500 sq. ft.
Lot coverage residential/non-residential (maximum percent) for lots equal to or greater than .75 acres	25*

* If the existing lot is less than .75 acres, the lot coverage can be adjusted up to a maximum of 50%.



3. MCD Commercial Neighborhood (MCD CN); Purpose. The purpose of this district is to allow for residential and low-intensity non-residential uses that are intended to serve and are in close proximity to individual residential neighborhoods.

a. Use Regulations. Uses permitted, conditional and prohibited as identified in Chapter 8 and Appendix B of this Code with exceptions identified on MCD Use Table.

b. Dimensional Standards. The dimensional standards shall be as identified in Chapter 8 of this Code except as prescribed in Table 9-6-4.



Table 9-6-4: Dimensional Standards MCD CN (Commercial Neighborhood).

CN Zoning District	CN
Density	.75
Frontage (minimum, feet)	50
Lot width (minimum, feet)	n/a
Lot width (maximum, feet)	n/a
Height (maximum, feet)	25

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14.9.7. Variances.

14.9.7.1. Purpose. The purpose of this section is to provide a mechanism in the form of a variance that grants a landowner relief from certain standards in this code where, due to extraordinary and exceptional situations or conditions of the property, the strict application of the code would result in peculiar and exceptional practical difficulties or exceptional and undue hardship on the owner. The granting of an area variance shall allow a deviation from the dimensional requirements of the Code, but in no way shall it authorize a use of land that is otherwise prohibited in the relevant zoning district.

14.9.7.2. Process. All applications for variances will be processed in accordance with this chapter of the Code.

14.9.7.3. Applicability. When consistent with the review criteria listed below, the planning commission may grant a zoning variance from any provision of the SLDC except that the planning commission shall not grant a variance that authorizes a use of land that is otherwise prohibited in the relevant zoning district.

14.9.7.4. Review criteria. A variance may be granted only by a majority of all the members of the Planning Commission (or the Board, on appeal from the Planning Commission) where authorized by NMSA 1978, Section 3-21-8(C):

1. where the request is not contrary to the public interest;
2. where, owing to special conditions, a literal enforcement of the SLDC will result in unnecessary hardship to the applicant; and
3. so that the spirit of the SLDC is observed and substantial justice is done.

14.9.7.5. Conditions of approval.

1. The Planning Commission may impose conditions on a variance request necessary to accomplish the purposes and intent of the SLDC and the SGMP and to prevent or minimize adverse impacts on the general health, safety and welfare of property owners and area residents.
2. All approved variances run with the land, unless conditions of approval imposed by the Planning Commission specify otherwise.
3. All approved variances automatically expire within one year of the date of approval, unless the applicant takes affirmative action consistent with the approval.

~~14.9.7.6. Administrative minor deviations.~~ The Administrator is authorized to administratively approve minor deviations upon a finding that the request is consistent with the intent and purpose of this SLDC and not detrimental to adjacent or surrounding properties as follows:

- ~~1. minor deviations from the dimensional requirements of Chapter 7 of the SLDC not to exceed ten percent (10%) of the required dimension.~~
- ~~2. minor deviations from the density requirements of Chapter 8 of the SLDC not to exceed five tenths of a percent (0.5%) of the gross acreage allowed in the zoning district.~~

NBA-2



elements, although individual procedures may not apply to every application type. A more detailed explanation of the procedural elements follows.

~~4.4.1.1. Pre-application meeting with the County Technical Advisory Committee (TAC) and pre-application neighborhood meeting;~~

~~4.4.1.2. Submittal of a complete application, including required fees, appropriate affidavits, plats, site development plans, variances requested, and Studies, Reports and Assessments specified in Chapter 6;~~

~~4.4.1.3. Review of the application by the Administrator and a determination that the application is complete or incomplete;~~

~~4.4.1.4. As appropriate, referral of application to State and Tribal review agencies for review and response;~~

~~4.4.1.5. Staff review, and as appropriate, take final action to make recommendation to the Planning Commission or the Board;~~

~~4.4.1.6. Notice and publication for applications requiring a public hearing;~~

~~4.4.1.7. As appropriate, public hearing before the Hearing Officer, Planning Commission, or Board;~~

~~4.4.1.8. Issuance of a development order approving, approving with conditions, or denying the application, together with written findings describing and supporting the action adopted;~~

~~4.4.1.9. Any appeal of the development order; and~~

~~4.4.1.10. Any application for beneficial use or value determination (BUD).~~

4.4.2. Procedures Required for Each Application Type. The specific procedural requirements for each type of application are set forth in Table 4-1.



4.4.3. Pre-Application TAC Meeting. Applicants required to conduct a pre-application meeting with the Technical Advisory Committee prior to filing an application. During the meeting, the applicant will discuss the application in general but in enough detail so that a reasonable assessment can be made of its compliance with the SLDC. The meeting should include a discussion of requirements of the SLDC that are applicable to the application, the procedure to be followed, notice to be provided, schedule for review and hearing, the studies, reports and assessments to be undertaken, and other relevant subjects. Technical requirements may also be discussed. After the meeting, County staff will provide the applicant with a written summary of the relevant issues to be covered by the applicant in its submittal materials.



NIBA-28

MLA Meeting Minutes June 8, 2017

Gypsy Fest: Clint moved that the MLA allow the Gypsy Fest to occur at the ballpark Saturday, September 12. Gavin seconded. DISCUSSION: Glen Neff explained that Clan Tynker will be the headline act and Sept. 12 was the only day that they were available. Ruth recommended that a volunteer be posted to prevent parking on the property that the Woodcocks recently bought (north of the boarding-house parking lot and south of the former site of the Crystal Dragon shop). VOTING: The motion carried. Ruth abstaining.

Approval of site plans and elevations for proposed building for Lot #051 (north of boarding house):

Rick and Lori Woodcock have been in the area about 18 months. They have a background of construction and development in California. Lori exhibited their plans for a building to house retail space on the ground floor, with second-story apartment toward the back. The footprint of the building is to be 1500 square feet (the total lot area is about 8000 square feet). There are to be a total of 7 parking spaces, one ADA-compliant, with four in the back and a 14-foot-wide fire lane leading toward the back. The building is to have fire sprinklers, in accordance with current county rules for new construction. Lori is hoping that the retail space will be used as a bakery, although she admits she cannot guarantee this will happen. The general appearance of the building plans suggests a miniature version of the boarding house. Rebecca moved that the MLA approve the Woodcock's building plans as presented. Lisa seconded. DISCUSSION: The woodcocks are willing to ruin through the plans again with the MLA if they are substantially altered. VOTING: The motion carried. Gail Snyder and Gavin Strathdee opposed, Andrea abstaining.

Parking Plan for Large Outdoor events:

Andrea wanted to open a discussion on this topic: the upper ballpark parking lot is not effectively utilized and she wondered whether this situation might be corrected by better signage (both at the parking lot and at entrances to Madrid roads) and better shuttle service to the sites of the events.

Ruth would like Firehouse Lane included in this planning, as during events all her parking becomes occupied.

Lisa asked what any sign at the end of Firehouse Lane should say, and Ruth replied, "No Festival Parking."

Gavin said that every business needs to provide its own parking, appropriate for itself and its events, and when we rent out the upper ballpark parking lot, we need to get the business to comply with the rules.

Ruth said that we need to get the upper ballpark parking lot utilized. Rebecca noted that Lori Lindsey supplies a shuttle service but no one uses it.

Lisa suggested the text "Festival Parking in Ballpark Parking Lot Only" for signs.

Towing occurs at a car owner's expense.

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4.4.4. Pre-Application Neighborhood Meeting. A pre-application neighborhood meeting shall be conducted as specified in Table 4-1.

4.4.4.1. Notice of Pre-Application Meeting. The following entities and persons shall be invited by a letter sent first class mail, return receipt requested 15 days prior to the pre-application meeting:

1. The applicable CO and/or RO (see § 2.2).
2. Property owners entitled to notice of the application as required in § 4.6;

4.4.4.2. Where Held. The meeting shall be held at a convenient meeting space near the land that is the subject of the application.

4.4.4.3. When Conducted. The pre-application neighborhood meeting shall take place after the pre-application TAC meeting and prior to filing of the application.

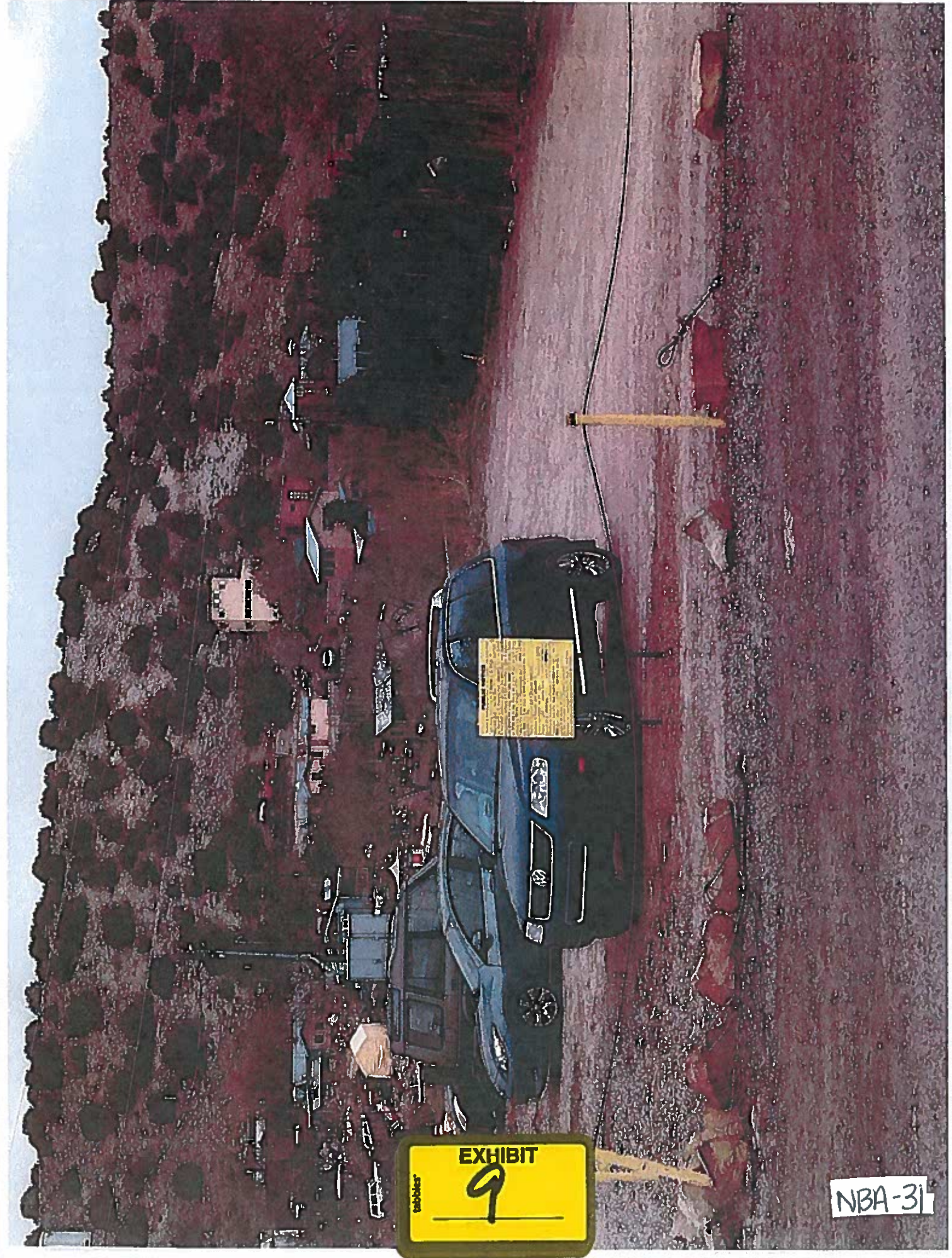
4.4.4.4. Materials for the Pre-Application Neighborhood Meeting. The applicant shall prepare an adequate number of the plans described below of the proposed development in rough format to present during the meeting. Plans should include: the boundary lines of the development; the approximate location of any significant features, such as roadways, utilities, wetlands, floodways, hillsides, trails and open space and existing buildings or structures; the proposed uses for the property; the number of dwelling units and approximate square footage for non-residential uses; and the proposed layout including open space, location of buildings, roadways, schools and other community facilities, if applicable.

4.4.4.5. Report on Pre-Application Neighborhood Meeting. At the time of application, the applicant shall furnish a written report to the Administrator on the pre-application neighborhood meeting. At a minimum, the report shall include:

1. date and location of the neighborhood meeting or meetings;
2. a list of persons and organizations invited to the meeting;
3. a copy of the notice of pre-application meeting issued together with return receipts from letters mailed;
4. a list of persons and organizations who attended the pre-application meeting;
5. a copy of all materials distributed at the neighborhood meeting;
6. a summary of all concerns, issues and problems identified at the meeting, including how the applicant has addressed or intends to address the concerns and whether the applicant is unable to address them. Specific attention should be paid to any conditions or mitigating measures agreed to at the meeting.

4.4.4.6. Applicant shall bring to any public hearing determining that applicant's application at least three sets of documents handed out or displayed during the Neighborhood Meeting which shall be put on display for members of the public attending such hearings.

4.4.4.7. Any CO, RO or person entitled to notice of the application shall also have the right to furnish a written report to the Administrator.



tabbles®
EXHIBIT
9

NBA-31

CERTIFICATION OF POSTING

I herby certify that the public notice posting regarding a Site Development Plan
Case # V16-5010 was posted for 15 days on the property beginning the 9th
day of March, 2016. **



Signature

*Photo of posting taken from a public road must be provided with affidavit.

**PLEASE NOTE: Public notice is to be posted on the most visible part of the property. Improper legal notice will result in re-posting for an additional 15 days. It is the Applicant's responsibility to ensure that the notice is on the property for the full 15 days. Posted notice shall be removed no later than seven (7) days after a final decision has been made on the application.

STATE OF NEW MEXICO }
 }
COUNTY OF SANTA FE }

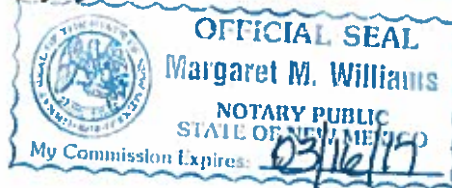
The foregoing instrument was acknowledged before me this 14 day of

March, 2016, By Lois Woodcock


Notary Public

My Commission Expires:

03/16/2017



THE SANTA FE
NEW MEXICAN
Founded 1849

LEGAL # 80721

CASE # V 16-5010
Madrid Mixed Use
Variance
NOTICE OF PUBLIC
HEARING
Notice is hereby given that a public hearing will be held to consider a request by Lori and Richard Woodcock, for a var-

Continued...

lance to allow a structure to be constructed 27'10" in height. Chapter 96, Table 9-6-4, Dimensional Standards MCD CN, allows a maximum height of 25 feet. The Applicants have requested Administrative approval of a Site Development Plan, to allow 1,173 square feet of retail space and 656 square feet of living area, on top of the retail space, on 0.204 acres. The site is within the Madrid Community District Overlay (MCD) and is zoned as MCD Commercial Neighborhood (MCD CN). Under the MCD Use Table 9-6-8, an office or store with a residence on top is a permitted use. The property is located at 2889 Highway 14, T14N, R7E, Section 25 (Commission District 3).

A public hearing will be held in the County Commission Chambers of the Santa Fe County Courthouse, corner of Grant and Palace Avenues, Santa Fe, New Mexico on the 24th day of March 2016, at 3 p.m. on a petition to the Santa Fe County Hearing Officer.

Please forward all comments and questions to the County Land Use Administration Office at 986-6225.

All interested parties will be heard at the Public Hearing prior to the Hearing Officer taking action.

All comments, questions and objections to the proposal may be submitted to the County Land Use Administrator in writing to P.O. Box 276, Santa Fe, New Mexico 87504-0276; or presented in person at the hearing.

Published in the Santa Fe New Mexican on Wednesday, March 9, 2016.

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List of Letter notifications Sent March 6, 2016

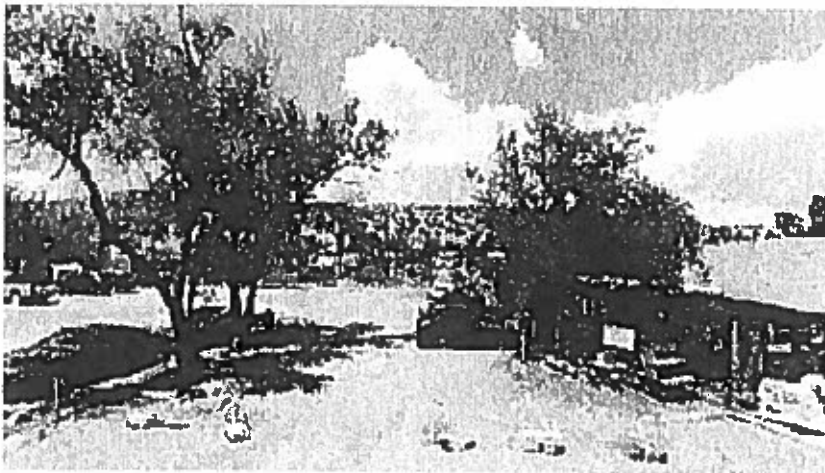
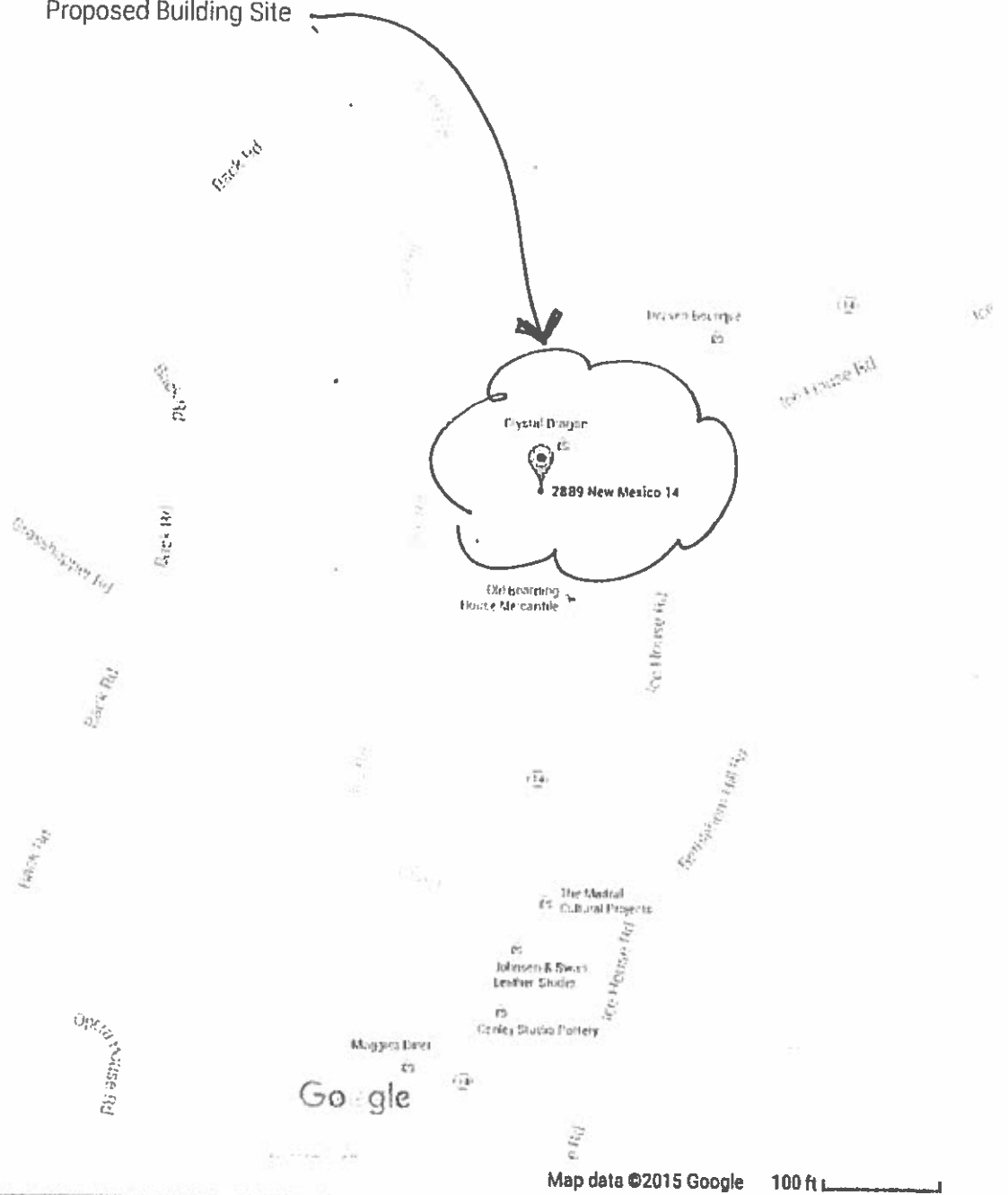
<u>Name</u>	<u>Address</u>
Mark Schilkey	PO Box 214, Cerrillos NM 87010
Geoffrey Steward	2845 Hwy 14, Madrid NM 87010
Old Boarding House	2885 Hwy 14, Madrid NM 87010
Ronald Greager	13 Cave Road, Madrid NM 87010
Quinn and Mykie Bailey	2892 Hwy 14, Madrid NM 87010
Lisa Conley	17 Cave Road, Madrid NM 87010
Josh Novak	359 Goldmine Road, Madrid NM 87010
Jean Fonda	2884 Hwy 14, Madrid NM 87010
Kay Lynn Brown	c/o General Delivery, Cerrillos NM 87010
Namncy Hawkins	3 Grasshopper Road, Madrid NM 87010
MLA	(MADRID LANDOWNERS)

NBA-34

Google Maps

2889 NM-14

Proposed Building Site



NBA-35

48 Blue Agave
Cernillos NM 87010



MLA
PO Box 237
Cernillos NM 87010

NBA-36

43 Blue Agave
Camillos NM 87010



Mark Schickel
P.O. Box 311
Camillos NM 87010

45 Blue Agave
Camillos NM 87010



Geoffrey Stewart
2845 Hwy 14
Madrid NM 87010

43 Blue Agave
Camillos NM 87010



Ronald Granger
13 Cave Rd
Madrid NM 87010

48 Blue Agave
Camillos NM 87010



Ch. Bowling House
2885 Hwy 14
Madrid NM 87010

Blue Agave
Camillos NM 87010



Quinn's Maple Bakery
2892 Hwy 14
Madrid NM 87010

48 Blue Agave
Camillos NM 87010



Josh Nault
359 Goldmine Rd
Camillos NM 87010

48 Blue Agave
Camillos NM 87010



Jean Fonda
2884 Hwy 14
Madrid NM 87010

48 Blue Agave
Camillos NM 87010

Lisa Conlay
17 Cave Rd
Madrid NM 87010

Blue Agave
Camillos NM 87010



Kay Lynn Brown
c/o General Delivery
Camillos NM 87010

48 Blue Agave
Camillos NM 87010

Nancy Hawthins
3 Grasshopper Rd
Madrid NM 87010

NBA-37

November 28, 2015

Jose Larranaga
SF County Land Use Administrator
PO Box 276
Santa Fe, NM 87504

Dear Jose,

And whomever will need to read this letter:

I am a landowner at 17 Cave Rd., in Madrid, one of the closest properties to Lori and Richard Woodcock With CDRC Case # 15-5240 Madrid Mixed Use.

Lori and Richard came to a meeting of the Madrid Landowners' Association requesting approval of the Development plans for their new property along highway 14 in the historical district of Madrid.

I am an MLA board member, and as I recall, the vote was overwhelmingly supportive of their plans, and we voted to approve, as submitted.

As a community we have tried to keep our town with as many historical guidelines to keep a "flavor", so to speak, and discourage corporations from moving in with inappropriate land use, protecting the integrity of our town, as well as the privacy of our residents. With this in mind, we set up guidelines with the Santa Fe County Development Code to use our covenants as a base and have tried to stick with these guidelines. Lori and Richard have been conscientious about these restrictions and carefully designed their building to be under the 25 foot height restriction. With the ground not at a level, straight through, and to keep the integrity of their structure at the same height throughout, the building must have a few more feet added to the height at the back. This would also enable them to complete their plans of "shop in front" and "living quarters in back".

I am in favor of the variance for height, as well as for the driveway .

(By the way, the adjacent building is 35 feet tall, so their new structure would still "fit in")

Thank you,

Lisa Conley
PO Box 147
Cerrillos, NM 87010

505-473-4945



NBA-38



2. Viewshed Preservation. In order to preserve the unobstructed horizons surrounding Madrid, no portion of a residential, commercial, or any other structure shall be visible above a ridge top when viewed from the centerline of NM 14 at the nearest spot on the highway with a direct view of the proposed structure.

3. Ridgetop Protection. Where a ridgetop measures more than two hundred feet (200') from shoulder to shoulder (a mesa), the ridge top standards and requirements for the architecture and buffers shall apply within two hundred feet (200') of the shoulder of the ridge and setbacks will be directed away from the portion of property most visible from the major roadway as described above.

4. Landscaping and Screening. Evergreen trees at least 5 feet tall shall be used for screening and buffering of structures, cuts and fills in order to maintain year round screening of previously disturbed areas.

a. Cut slopes with a slope or retaining wall closer than 6 feet from the edge of a road or driveway, where the planting area for trees is limited, may be screened with a trellis supporting planted vegetation or other similar means.

9.6.2.5. Special Protection of Riparian Areas. The standards shall be regulated as identified in Chapter 7 of this Code with the following exceptions:

1. Native vegetation endemic to riparian areas is exempted from the xeriscape requirements set forth in Chapter 7 of this Code.

9.6.2.6. Greenbelt Traffic Restrictions. All motorized vehicular traffic in the MCD greenbelt area, as identified in Appendix C: SLDC Official Map Series, Map 5 "Open Space and Trails" shall be prohibited with the exception of traffic on existing road easements and uses such as emergency purposes and water cooperative maintenance.

9.6.2.7. Wildlife Corridors. The standards shall be regulated as identified in Chapter 7 of this Code with the following exceptions:

1. In all instances where wildlife corridors are identified, development shall be adjusted to avoid disturbance.

9.6.2.8. Density Transfer. Whenever density transfers are used to create open space in perpetuity by easement or other legal means, and when new lots are created, maximum lot coverage shall increase to 50% and shall be calculated based on each individual new development lot.

9.6.3. Establishment of Zoning Districts. The development standards of Chapter 8 of this Code shall be applicable to all development, except as otherwise specified herein.

9.6.3.1. Generally. The MCD Overlay modifies the underlying base zoning districts in order to address special siting, use, and compatibility issues requiring regulations that supplement or supplant the underlying zoning districts. If an overlay zone



NBA-39

Table 4-1: Procedural Requirements by Application Type



Application Type	Discretionary Review?	Application Requirements			Review/Approval Process				
		Pre-application TAC meeting	Pre-application neighborhood meeting	Studies, reports, assessments	Agency review	Approval by Administrator	Hearing Required?		
							Hearing Officer	Planning Commission	BCC
Development permit: Residential	no	no	no	no	as needed	yes	no	no	no
Development permit: non-residential, mixed use & multi-family	no	yes	as needed	see Table 6-1	as needed	yes	no	no	no
Land divisions, subdivision exemptions and other plat reviews	no	no	no	no	as needed	yes	no	no	no
Family transfer	no	no	no	no	as needed	yes	no	no	no
Temporary use permit	no	no	no	no	as needed	yes	no	no	no
Minor subdivision - final plat, 5 or fewer lots	no	yes	no	see Table 6-1	as needed	yes	no	no	no
Minor subdivision - final plat, more than 5 lots	yes	yes	no	See Table 6-1	As needed	no	no	no	yes
Major subdivision - preliminary plat	yes	yes	yes	see Table 6-1	yes	no	no	no	yes
Major subdivision final plat	yes	yes	No	no	no	no	no	no	yes
Conceptual plan for subdivision - phased or over 24 lots, phased MU, I, IL, CG, CN	yes	yes	Subdivision - yes Others - no	See Table 6-1	As needed	no	no	no	yes
Conceptual plan PDD, CCD	yes	yes	yes	See Table 6-1	yes	no	yes	yes	yes
Vacation of subdivision plat	yes	no	no	no	as needed	no	no	no	yes
Conditional use permit	yes	yes	as needed	see Table 6-1	as needed	no	yes	yes	no
DCI Conditional use permit	yes	yes	yes	yes	yes	no	yes	yes	no
Variance	yes	yes	as needed	no	as needed	no	yes	yes	no
Time Extension	yes	no	no	As needed	As needed	No	No	No	yes
Planned development district	yes	yes	yes	see Table 6-1	yes	no	yes	yes	yes
Overlay zones	yes	yes	yes	no	as needed	no	yes	yes	yes
DCI overlay zones	yes	yes	yes	yes	yes	no	yes	yes	yes
Zoning map amendment (rezoning)	yes	yes	yes	see Table 6-1	as needed	no	yes	yes	yes
Text amendment	yes	yes	no	no	as needed	no	no	yes	yes
Area, District Community Plan, or Plan Amendment	yes	yes	yes	no	as needed	no	no	yes	yes
Beneficial use determination	yes	yes	no	no	no	no	yes	no	yes
Appeals	See Sec. 4.5	no	no	no	no	no	no	See Sec. 4.5	See Sec. 4.5

