

Henry P. Roybal
Commissioner, District 1

Miguel M. Chavez
Commissioner, District 2

Robert A. Anaya
Commissioner, District 3



Kathy Holian
Commissioner, District 4

Liz Stefanics
Commissioner, District 5

Katherine Miller
County Manager

DATE: February 25, 2016

TO: SLDC Hearing Officer

FROM: Jose E. Larrañaga, Development Review Team Leader *JEL*

VIA: Penny Ellis-Green, Growth Management Director *PEG*
Vicki Lucero, Building and Development Services Manager *VL*
Wayne Dalton, Building and Development Services Supervisor *WD*

FILE REF.: CASE # CUP 16-5000 Agua Fria Fire Training Tower

ISSUE:

Santa Fe County, Applicant, requests approval of a Conditional Use Permit to allow the installation of a Modular Fire Fighter Training Tower, 30'6" in height, on 2.15 acres. The site is within the Village of Agua Fria Community District Overlay (VAFCD) and is zoned as Public/Institutional (VACD PI). Under the VAFCD Use Table a Public safety related Facility is allowed as a conditional use. The property is located at 58 Caja de Oro Grant Road, South of N.M. 599, within T17N, R9E, Section 31 (Commission District 2).

Vicinity Map:



SUMMARY:

The Applicant is requesting approval of a Conditional Use Permit (CUP) for the construction and use of a pre-designed/pre-engineered two-story modular Fire Training Tower. The structure consists of three stackable steel containers. Two of the containers are stacked one on top of the other. At the top of the second container is a railing and a climbing tower which is 30' 6" in height from finished grade. The foot print of two of the containers placed side by side is 640 square feet. The containers are designed to replicate different scenarios (a maze, burn room using butane and wood, a climbing tower) for firefighting training. The proposed containers allow for a diverse training in different circumstances. The Applicant proposes that the containers and railing be an earth tone color to minimize the visual impact of the structure. Currently, there are two containers on the site which are already being utilized to simulate a structure fire. The two existing containers will remain on the site. (Exhibits 1 & 2)

The site is within a 2.15 acre area, within a 70.13 acre New Mexico Land Office Patent parcel. The 2.15 acre site currently houses the Agua Fria Fire Station. The 70.13 acre patent is assigned to Santa Fe County and is recorded as Instrument # 280805 in the Santa Fe County Clerk's records dated April 29, 1971.

The site is within the Agua Fria Community District Overlay (VAFCD), as defined by Ordinance 2015-11, Sustainable Land Development Code (SLDC), Chapter 9, Section 12. The established Zoning District within the VAFCD, for this site, is Public/Institutional (PI). Chapter 9, Table 9-12-8 designates a public safety related facility as a conditional use within a PI Zoning District. Table 9-12-5: Dimensional Standards VAFCD PI allows for a maximum height of 48'. (Exhibit 5)

Chapter 9, Section 9.12.4, VAFCD Public/Institutional (VAFCD PI); Purpose states:

The purpose of this district is to allow governmental, educational, and non-profit or institutional uses, including public or community parks and recreation facilities, and public, non-profit, and institutional residential uses, but excluding any such uses of an extensive heavy industrial character. (Exhibit 6)

Chapter 9 (VAFCD), Table 9-12-7, Use Table Labels, states, that a conditional use "is permitted within the zoning district only after review and approval of a Conditional Use Permit (CUP) in accordance with Chapter 14."

Chapter 14, Section 14.9.6.1, Conditional Use Permits, Purpose and Findings:

This section provides for certain uses that, because of unique characteristics or potential impacts on adjacent land uses, are not permitted in zoning districts as a matter of right but which may, under appropriate standards and factors set forth herein be approved. These uses shall be permitted through the issuance of a conditional use permit (CUP). (Exhibit 7)

The Applicant presented the Application to the Technical Advisory Committee (TAC) on January 21, 2016, at the regular scheduled monthly meeting, as required by Chapter 4, Section 4.4.4.3 Pre-application TAC Meeting and Table 4-1. (Exhibit 10)

The Applicant presented the Application to the Agua Fria Village Association on February 1, 2016, at the regular scheduled monthly meeting, as required by Chapter 4, Section 4.4.4.4, Pre-application Neighborhood Meeting. The Applicant submitted an Agenda of the meeting, a list of individuals in attendance, material that was presented by the Applicant, and a summary of discussion from those in attendance. This material is contained in the record. (Exhibit 9)

Notice requirements were met as per Chapter 4, Section 4.6.3., General Notice of Application Requiring a Public Hearing, of the SLDC. In advance of a hearing on the Application, the Applicant provided an affidavit of posting of notice of the hearing, confirming that public notice posting regarding the Application was made for fifteen days on the property, beginning on February 10, 2016. Additionally, notice of hearing was published in the legal notice section of the Santa Fe New Mexican on February 10, 2016, as evidenced by a copy of that legal notice contained in the record. Notice of the hearing was sent to owners of land within 500' of the subject property and a list of persons sent a mailing is contained in the record. (Exhibit 8)

This Application was submitted on January 22, 2016.

This Application was reviewed for the following applicable design standards as per Chapter 7, Sustainable Design Standards of the SLDC:

ACCESS (Section 7.4) and ROAD DESIGN STANDARDS (Section 7.11)

The County Public Works Division reviewed the Application for access and road design standards and states the following:

Caja Del Oro Grant Road (C.R.62) is a County maintained paved road with two eleven foot driving lanes, with three foot shoulders and bar ditches. The Applicant is proposing to utilize the existing driveway and is not proposing any changes to the existing entrance. A Traffic Impact Analysis is not required due to the low traffic volume created by the proposed project. Public works is in support of the project as submitted.

New Mexico Department of Transportation (NMDOT) reviewed the Application for access and road design standards and states the following, "...this development will not impact the State Transportation system. We therefore approve the study."

FIRE PROTECTION (Section 7.5)

The Santa Fe County Fire Department, Fire Prevention Division reviewed the Application and requires compliance with applicable Santa Fe County fire and life safety codes, Ordinances and Resolutions. The project shall comply with Article I, Section 103.3.2-New Construction and Alterations of the 1997 Uniform Fire Code, inclusive to all sub-sections and current standards, practice and rulings of the Santa Fe County Fire Marshal.

All water to be utilized for extinguishing fires during the training exercise will be hauled in to the site by the same tankers utilized for the training.

LANDSCAPING AND BUFFERING (Section 7.6)

There is no existing vegetation on this site. Caja de Oro Grant Road serves as a local road therefore a landscape area ten feet in width shall be provided at the front of the property that abuts the public right of way. The Applicant may submit an alternative landscaping plan to the Administrator as per Section 7.6.8.6.

FENCES/WALLS (Section 7.7)

An existing opaque fence, six foot in height, encompasses approximately one acre of the site where the structure will be placed. The fence is constructed with a non-flammable metal with pipe used for uprights and cross section supports. The Applicant proposes that the containers and railing be an earth tone color to minimize the visual impact of the structure.

LIGHTING (Section 7.8)

The Applicant is proposing outdoor lighting at each entrance to the structure. The outdoor lighting will consist of fixtures mounted on the structure in such a manner that the cones of light will be directed down towards the ground. Cut sheets of proposed outdoor lights shall be submitted with the Development Permit application.

SIGNS (Section 7.9)

No signage is being proposed for this development.

PARKING/LOADING (Section 7.10)

The parking for the facility will be primarily for fire apparatus being utilized in the training operation. All other vehicles will park at the existing Agua Fria Fire Station adjacent to the proposed Facility. The perimeter ground surface around the training tower will be paved.

UTILITIES (Section 7.12)

Electricity will be connected to the structure and the electric line will be placed underground. A propane tank will be placed on the site to provide propane for the burns within the structure.

WATER SUPPLY, WASTE WATER & WATER CONSERVATION (Section 7.13)

All water to be utilized for extinguishing fires during the training exercise will be hauled on to the site by the same tankers utilized for the training. The use of the structure does not require any use of onsite water.

The structure will not have facilities that would create liquid waste. The restroom facilities at the adjacent Agua Fria Fire Station will be utilized during any training operations.

ENERGY EFFICIENCY (Section 7.14)

N/A

OPEN SPACE (Section 7.15)

N/A

PROTECTION OF HISTORIC AND ARCHAEOLOGICAL RESOURCES (Section 7.16)

This project was reviewed by the State of New Mexico Historic Preservation Division (HPD) and states the following:

The Agua Fria Fire Station property was surveyed for cultural resources in 2013, as part of a survey for Romero Park. No archaeological sites were found on the Fire Station property. Based on this information, the proposed training tower will have no effect on historic properties and HPD has no concerns with the proposed development plan.

TERRAIN MANAGEMENT (Section 7.17)

The site is flat with a very slight natural drainage towards the North West corner of the fenced area. A 300 cf retention pond will be constructed on the North West corner of the fenced area, to capture any impervious runoff and water that is generated by the training facility. The Applicant shall submit drawings and calculations of the proposed retention pond with the Development Permit application.

FLOOD PREVENTION AND FLOOD CONTROL (Section 7.18)

The site is not within a FEMA Flood Hazard Area.

SOLID WASTE (Section 7.20)

No solid waste is expected to gather on this site with the exception of debris created from burns utilizing wood. The structure is equipped with a catchment screen to collect the ash and other debris. This waste will be removed and disposed of at an appropriate landfill.

AIR QUALITY AND NOISE (Section 7.21)

The burns are extinguished 15 minutes after ignition of the fire during the training sessions. A training session could last up to an hour with approximately 3 to 4 burns during the session. Due to the duration of the burn(s) very little smoke will be created and will have a minimal impact on the air quality within the area.

The activity during the training session will not create added noise to the area.

VILLAGE OF AGUA FRIA COMMUNITY DISTRICT OVERLAY (VAFCD) (Chapter 9, Section 9.12)

No additional design standards from Chapter 9, Section 9.12 are applicable to this development.

AGENCY REVIEW (Exhibit 3)

<u>Agency</u>	<u>Review Comment</u>
NMDOT	Approval
NMED	No Comment
OSE	No Opinion
SHPO	Approval
County Public Works	Approval
County Fire Marshal	Approval
County Hydrologist	Approval
County Planning Department	Approval

Building and Development Services staff have reviewed this project for compliance with pertinent SLDC requirements and have found that the facts presented support the request for the construction and use of a modular Fire Training Tower: the facility will provide a community service to the County; the use is compatible with the current development; the use will not impact adjacent land uses; and the Application satisfies the submittal requirements set forth in the SLDC.

The review comments from State Agencies and County staff have established findings that this Application for the construction and use of a modular Fire Training Tower is in compliance with State requirements and design standards set forth in the SLDC.

RECOMMENDATION:

Staff recommends approval of a Conditional Use Permit for the construction and use of a pre-designed/pre-engineered two-story modular Fire Training Tower, to be located at 58 Caja de Oro Grant Road with the following conditions:

1. A certified copy of the CUP shall be recorded in the office of the County Clerk in accordance with Chapter 14, Section 14.9.6.8.4.
2. The Applicant shall comply with landscape requirements in accordance with Chapter 7, Section 7.6.
3. The Applicant shall comply with lighting requirements in accordance with Chapter 7, Section 7.8.
4. The Applicant shall comply with terrain management requirements in accordance with Chapter 7, Section 7.17.5.2.
5. All site improvements (paving, retention pond, etc.) shall be completed prior to the facility being utilized.

Staff requests the Hearing Officer memorialize findings of fact and conclusions of law in a written order. The Santa Fe County Planning Commission (SFCPC) will be holding a public hearing on this matter on March 17, 2016.

EXHIBITS:

1. Development Plan Report
2. Proposed Plans
3. Reviewing Agency Responses
4. Aerial Photo of Site
5. Chapter 9, Table 9-12-8 & Table 9-12-5
6. Chapter 9, Section 9.12.4
7. Chapter 14, Section 14.9.6.1
8. Notice
9. Community Meeting Material
10. TAC Summary

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**PUBLIC WORKS DIVISION
MEMORANDUM**

Date: January 22, 2016

To: Jose Larranaga, Land Use Department

From: Ron Sandoval, Project Manager Public Works

Re: Request Approval for the Installation of a Modular Fire Fighter Training Tower Located at the Agua Fria Fire Station, 2020 Caja del Oro Grant Road, Santa Fe, NM 87507.

BACKGROUND:

In early May 2015 the Santa Fe County Fire Department requested bids for the purchase and installation of a pre-designed, pre-engineered, two-story modular Fire Training Tower for the Santa Fe County Fire Department from a qualified licensed CF-7 contractor. The modular containers were required to meet standards in accordance with ISO (International Organization for Standardization), NFPA 1402 guidelines, and other contract documents prepared by Santa Fe County.

On May 29, 2015 a bid was received from Fire Training Structures, LLC (FTS) 3233 E. Corona Ave., Phoenix Arizona 85040 and was awarded the project on June 30, 2015. The work consists of but not limited to delivery and installation of three (3) new stackable steel containers.

Because FTS is located in the state of Arizona the design team is unable to stamp construction drawings within the State of New Mexico. FTS hired a local contractor for pulling permits and to complete the assembling of the training tower.

Santa Fe County's work required hiring a local licensed Engineer to draw up footings plans and stamp for forwarding over to the Santa Fe County Land Use Division and the New Mexico State Construction Industries Division for permitting approval. In addition SFC is responsible for coordinating and hiring a local licensed contractor for the construction of the footings and site preparation for the training tower. This includes, but is not limited to soil work, concrete pads, propane and electrical connections.

ACTION REQUESTED:

Approve the installation of a Fire Training Tower located at the Agua Fria Fire Station, 2020 Caja de Oro Grant Rd., Santa Fe, New Mexico 87501.



Agua Fria Fire Station Training Tower Structure 2020 Caja del Oro Grant Ave.

Additional information:

- The Fire Department has been providing training on this site for over ten years.
- Currently there is a training modular on site.
- The training tower is an upgrade to the existing training modular.
- The training tower is a modern training facility.
- The Fire Department is contacting the local community association to schedule a time to present the project to the community.
- The Fire Department will not use water from the current supply provided by a County owned well for the Agua Fria Station for training. Current trainings are conducted by bringing water on site in the fire trucks from fire hydrants throughout the County.
- A water budget is not needed for this project.
- A retention pond will be installed to contain onsite run-off.
- Clean out hatch in burn room for cleaning out burn materials in room.
- Debris (ash) accumulated from training on burns will be at a minimal with the material collected within structure and disposed of at the local landfill.
- Training activities will not always include burns.
- Training tower includes a clean burn room that utilizes propane fuel.
- A six ft. fence around the perimeter of the property will stay and will screen training tower at ground level.
- The training tower color will blend in with existing colors on the station and fence (light tan to brown).
- Landscaping is not scheduled to be installed. It is not feasible to plant in this area due to the type of training scheduled.
- The perimeter ground surface around the training tower within the fence line is scheduled to be paved draining into new retention pond.
- Exterior lighting is not scheduled to be installed.
- No signage is scheduled to be installed at project site.
- A septic permit and /or Liquid Waste Disposal Plan will not be required for this project.
- The scope of work includes six pads for building foundation
 - One pad for staircase
 - A five ft. sidewalk around the perimeter of the structure.
 - Excavation of a trench for electricity hook ups.
 - Excavation of a trench for propane connection.
- Propane tank is scheduled to be located outside of perimeter fence on the west side of property.

NBA-8

NFPA 1402 & 1403 / OSHA Regs

Rappelling Tower / OSHA

NEW insulated 8'x8.5' x 40' - 14ga. Steel Containers

Undercarriage 5x75" x .125 Channel with weather resistant coating

Unit #1 –Lower FRONT

(class a fuel) Original flooring removed (NFPA) no combustible components in burn room and

Non-slip diamond plate steel welded solid to perimeter of container/welded floor joists,

(permanent non-warping floor)

Diamond plate steel welded together to maintain a flat level floor

Fire blocks installed over the diamond plate steel for a level floor area/drainage weeps under block

Clean out hatch in burn room (clean out burn materials in room)

Walls ceiling will be constructed heavy gauge corrugated steel (?)

And high performance insulation to withstand repeated evolutions up to 1100 degrees (high temperature coating)

Sheets welded with solids weld to keep smoke from getting into void spaces between interior and exterior

Ventilation Hatch

Suspension chains along ceiling and walls for burn material/ burn crib to enable horizontal and vertical burning of pallets

4 zone interior Electronic Temp monitoring system/ reads ambient air temp and relays info to exterior mounted data logger (attached to laptop download graphed results of fire evolution)

Steel tube framed window with locking latch (wheeled enclosure- pull from interior or push from exterior to open) 2 Fire doors will have the same wheeled enclosure system... doors and windows can be locked from interior for security

Doors and windows heavy duty hinges/springs will not warp after repeated use

4x8 wall breach simulator (2x4) studs with 16" centers/siding plywood or sheetrock can also be utilized

Placed in framed opening between unit 1 and unit 2

OSHA compliant guardrail (8'x20') section of roof

(option) 8'x7' Vertical Pitched Roof/ceiling pull prop w/4'x8' chop out area

(option)Void space prop (fire behind wall)

(option) ¾ sprinkler system with 2 sprinkler heads and 1 control valve charged from standpipe connection

NBA-9

UNIT 2 Lower REAR

OSHA compliant interior stairwell w/ handrails and bar gate with step up to Unit 3 (TOP)

2 Steel framed windows

Configurable MAZE System- 360 degree pivoting steel panels for quick layout and re-config of maze

(option) 4-Door forcible entry door prop- 2 interior and 2-exterior w/ 2 vertical and horizontal cutting sections and 1 pry section

(option) 1 two level standpipe connection attached to exterior w/ Siamese connection and gate valve in burn room and roof top

UNIT 3 TOP

Original flooring removed from (same as unit 1) NFPA

Enclose 8'x8'x20 burn room (LPG OPTION)

Ventilation Hatch operated by exterior mounted winch and cable system w/interlocking seal

Clean out hatch

Block lined / weep holes

4 zone temp monitoring

Fire Window

1 3'x6'8" door

(option) 8'x40' active roof top with OSHA compliant guardrail surround perimeter, floor bar grating surface-non-slip walking surface- fire hatch form interior steel stairs/rails

(option) Rappelling platform (TOP) 8'x10'x10' OSHA rated anchors, rings, steel railing enclosed ladder
Exterior stairs

(option) Electrical 100 amp

4 flood lights Unit 3- 2 each side (TOP)

4 flood lights Midpoint 7.5' off ground- independent switches at each light

3 interior outlets

Illuminated interior in unit 2

STORMWATER RUNOFF CALCULATIONS

Peak Rates of Discharge for Small Watersheds- SCS Chapter 2 (revised 2/85)

Site:	Agua Fria Fire Station Training Tower				
Date:	Jan. 25, 2015				
Pre Development					
	Cn		Area (sqft)	Acres (acres)	Cn
Total Roof Area	98		0	0	0
Landscaped Area	69		0	0	0
Paved Surfaces	95		5952	0.137	17.844
Gravel Driveways	85		0	0	0
Sidewalk Areas	95		0	0	0
Deck Areas	90		0	0	0
Undeveloped Areas	80		25736	0.591	64.9735
Total			31688	0.728	82.8175
				Weighted Cn =	82.82
Post Development					
	Cn		Area (sqft)	Acres (acres)	Cn
Total Roof Area	98		640	0.0147	1.9793
Landscaped Area	69		0	0	0
Paved Surfaces	95		5952	0.137	17.844
Gravel Driveways	85		0	0	0
Sidewalk Areas	98		0	0	0
Deck Areas	90		0	0	0
Undeveloped Areas	80		25096	0.576	63.3577
Total			31688	0.728	83.181
				Weighted Cn =	83.2
Time of Conc. (hr.)	0.167	Fig 2.2			
Unit Discharge(cfs/ac-in)	2.3	Fig 2.4			
100 yr. Rainfall (in)	3.22				
			Pre. Devel.	Post Devel.	
Runoff Q (in)			1.61243	1.63876	
Peak Discharge (cfs)			2.69984	2.74394	
Volume Runoff (ac-ft)			0.09782	0.09942	
Volume Runoff (cf)			4261.05949	4330.65344	
Storage Volume Required (cf)		69.593951			
Storage Volume Provided (cf)		300			

NBA-11

NOAA's National Weather Service
Hydrometeorological Design Studies Center
 Precipitation Frequency Data Server (PFDS)

Home Site Map News Organization



NOAA ATLAS 14 POINT PRECIPITATION FREQUENCY ESTIMATES: NM

DATA DESCRIPTION

Data type: Units: Time series type:

SELECT LOCATION

1. Manually:

a) Enter location (decimal degrees, use "-" for S and W) latitude: longitude:
 b) Select station (click here for a list of stations used in frequency analysis for NM):

2. Use map:

a) Select location (move crosshair or double click)
 b) Click on station icon (show stations on map)

LOCATION INFORMATION:
 Name: Santa Fe, New Mexico, US*
 Latitude: 35.6613°
 Longitude: -106.0316°
 Elevation: 6572 ft*

* source: Google Maps

POINT PRECIPITATION FREQUENCY (PF) ESTIMATES
 WITH 90% CONFIDENCE INTERVALS AND SUPPLEMENTARY INFORMATION
 NOAA Atlas 14, Volume 1, Version 5

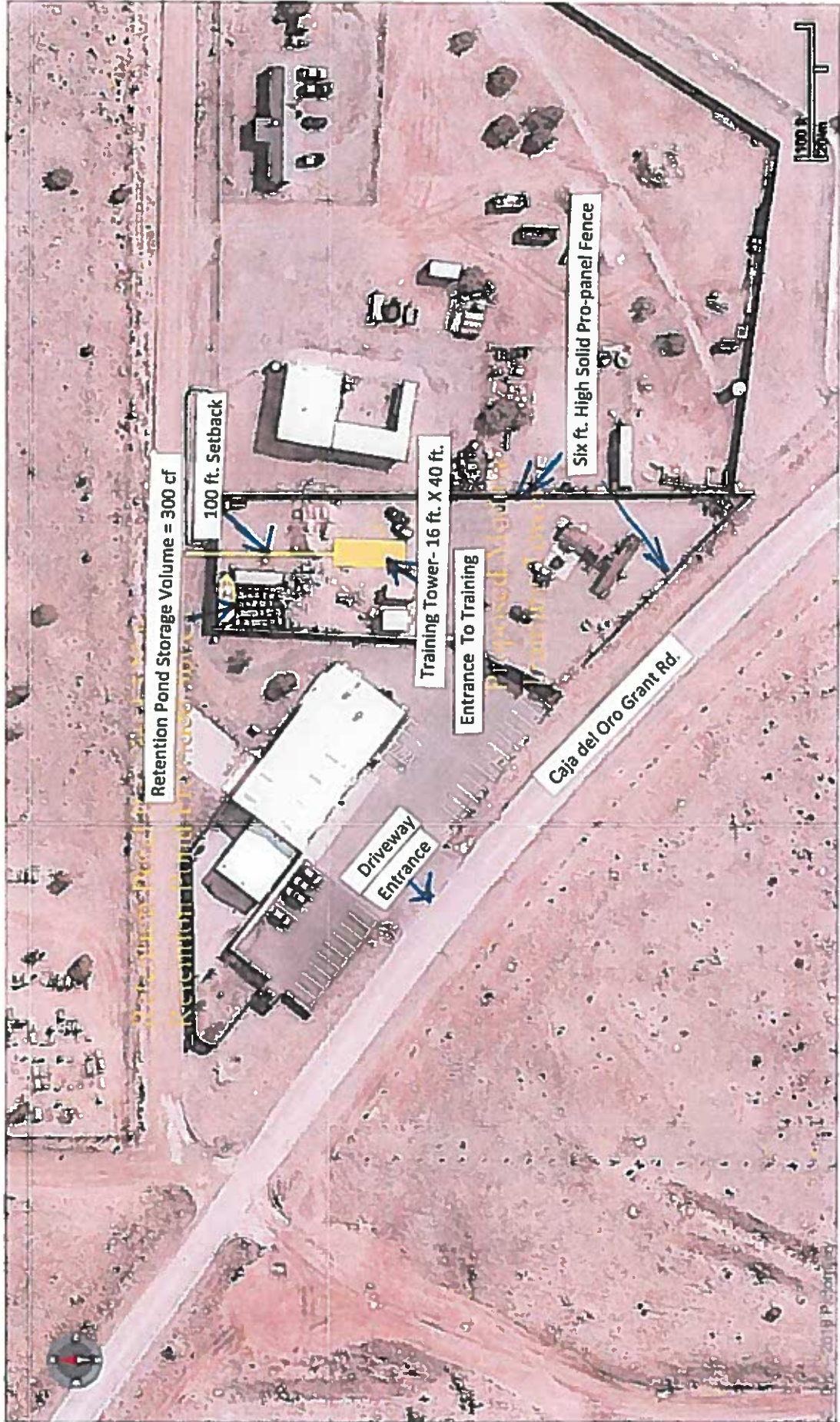
PF tabular PF graphical Supplementary information

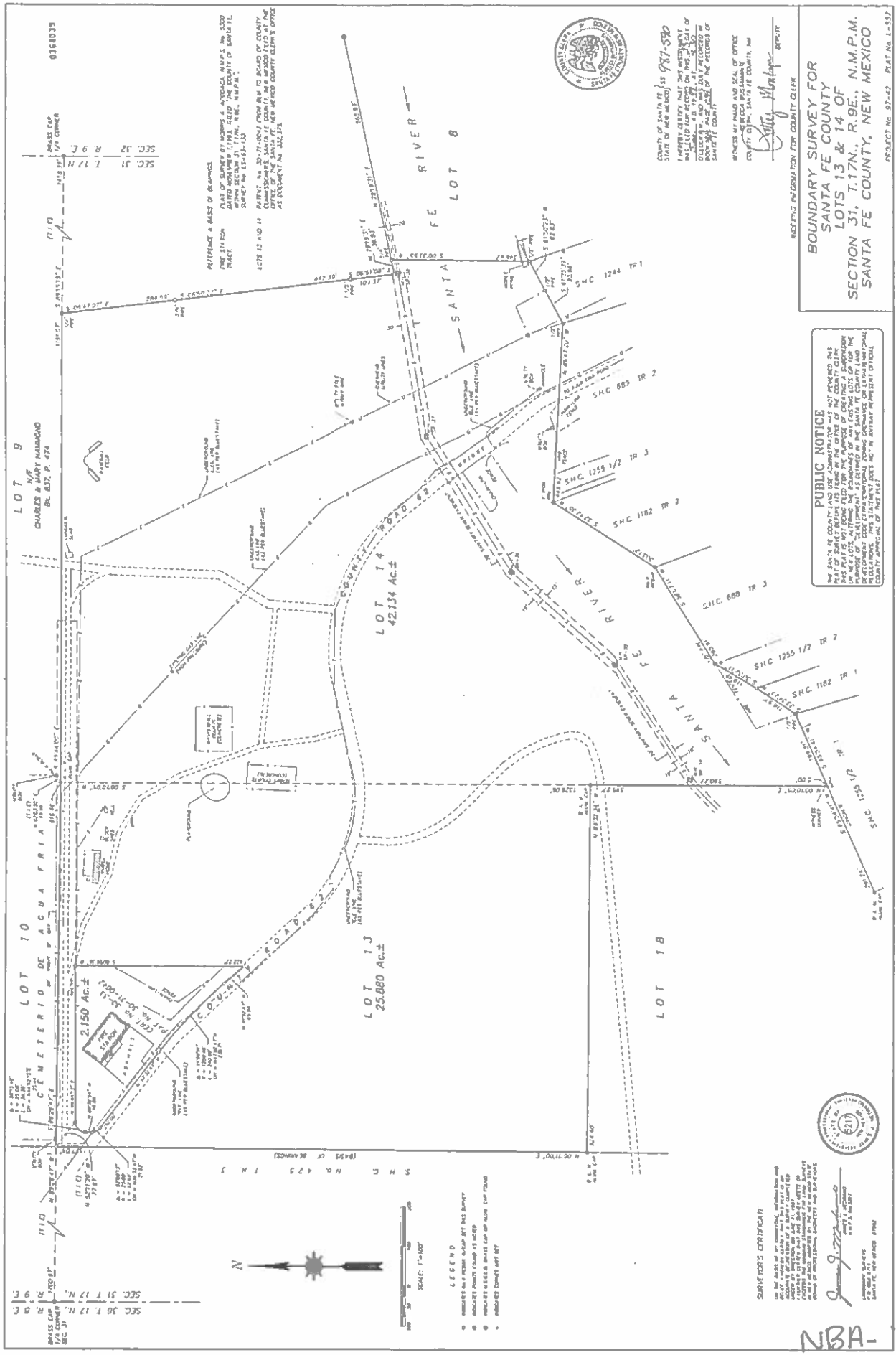
PDS-based precipitation frequency estimates with 90% confidence intervals (in inches)¹

Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	0.198 (0.171-0.228)	0.256 (0.222-0.297)	0.342 (0.295-0.395)	0.407 (0.351-0.470)	0.497 (0.426-0.572)	0.566 (0.483-0.652)	0.640 (0.543-0.736)	0.714 (0.603-0.822)	0.816 (0.682-0.942)	0.899 (0.744-1.04)
10-min	0.301 (0.261-0.347)	0.390 (0.338-0.452)	0.520 (0.450-0.602)	0.619 (0.535-0.715)	0.756 (0.649-0.871)	0.861 (0.736-0.992)	0.974 (0.828-1.12)	1.09 (0.917-1.25)	1.24 (1.04-1.43)	1.37 (1.13-1.58)
15-min	0.373 (0.323-0.430)	0.484 (0.419-0.560)	0.645 (0.557-0.745)	0.767 (0.663-0.887)	0.937 (0.804-1.08)	1.07 (0.912-1.23)	1.21 (1.02-1.39)	1.35 (1.14-1.55)	1.54 (1.29-1.78)	1.70 (1.40-1.96)
30-min	0.503 (0.438-0.580)	0.651 (0.564-0.754)	0.869 (0.751-1.00)	1.03 (0.893-1.19)	1.26 (1.08-1.45)	1.44 (1.23-1.68)	1.63 (1.38-1.87)	1.82 (1.53-2.09)	2.08 (1.73-2.39)	2.28 (1.89-2.64)
60-min	0.622 (0.539-0.717)	0.808 (0.698-0.934)	1.06 (0.929-1.24)	1.28 (1.11-1.48)	1.56 (1.34-1.80)	1.78 (1.52-2.05)	2.01 (1.71-2.31)	2.25 (1.90-2.59)	2.57 (2.15-2.96)	2.83 (2.34-3.28)
2-hr	0.744 (0.637-0.880)	0.949 (0.812-1.13)	1.25 (1.07-1.48)	1.49 (1.27-1.76)	1.82 (1.54-2.15)	2.08 (1.75-2.45)	2.36 (1.97-2.77)	2.65 (2.20-3.11)	3.05 (2.50-3.59)	3.36 (2.74-3.97)
3-hr	0.794 (0.690-0.936)	1.01 (0.872-1.18)	1.31 (1.13-1.54)	1.55 (1.34-1.82)	1.89 (1.62-2.21)	2.16 (1.83-2.53)	2.44 (2.06-2.85)	2.74 (2.29-3.20)	3.16 (2.61-3.68)	3.49 (2.86-4.07)
6-hr	0.914 (0.800-1.06)	1.15 (1.01-1.33)	1.47 (1.28-1.70)	1.72 (1.49-1.98)	2.06 (1.78-2.38)	2.34 (2.00-2.70)	2.62 (2.21-3.02)	2.91 (2.47-3.36)	3.31 (2.77-3.82)	3.64 (3.02-4.20)
12-hr	1.05 (0.929-1.21)	1.32 (1.17-1.51)	1.66 (1.47-1.90)	1.93 (1.70-2.21)	2.30 (2.01-2.63)	2.58 (2.25-2.95)	2.86 (2.49-3.29)	3.18 (2.73-3.63)	3.59 (3.05-4.09)	3.91 (3.30-4.46)
24-hr	1.22 (1.12-1.33)	1.52 (1.40-1.66)	1.89 (1.74-2.07)	2.19 (2.01-2.39)	2.59 (2.37-2.83)	2.90 (2.64-3.16)	3.22 (2.82-3.51)	3.53 (3.20-3.88)	3.98 (3.57-4.34)	4.32 (3.85-4.70)
2-day	1.37 (1.28-1.50)	1.71 (1.57-1.87)	2.13 (1.95-2.32)	2.48 (2.25-2.87)	2.90 (2.66-3.15)	3.24 (2.96-3.53)	3.59 (3.27-3.91)	3.96 (3.57-4.30)	4.42 (3.97-4.81)	4.79 (4.28-5.22)

NBA-12

CONNECTEXPLORER





0364039

PLAT OF SURVEY BY MORGAN & ASSOCIATES, INC. MAP NO. 5320
 MADE IN THE COUNTY OF SANTA FE, N.M., THIS 17TH DAY OF APRIL, 1987.
 SURVEY NO. 15-69-13

1278 13 AND 14 PART OF 30-71-904 FROM NEW TO OLD OF COUNTY
 COMMISSIONER SANTA FE COUNTY AS IMPROVED TO THE
 AT RECORD NO. 122,375

REFERENCE & BASIS OF BEARINGS
 TRUE 211.000
 MAGN. SECTION 31, T.17N., R.9E., N.M.P.M.



COUNTY OF SANTA FE, N.M.
 STATE OF NEW MEXICO, 1987-580

I, JERRY CERRY, CLERK OF SAID COUNTY, DO HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN THE PUBLIC RECORDS OF SAID COUNTY AND WAS DAY RECORDED IN SAID COUNTY OFFICE OF THE RECORDS OF SAID COUNTY.

WITNESSED MY HAND AND SEAL OF OFFICE
 COUNTY OF SANTA FE, N.M.
 JERRY CERRY, CLERK

RECEIVING INFORMATION FOR COUNTY CLERK

BOUNDARY SURVEY FOR
 SANTA FE COUNTY
 LOTS 13 & 14 OF
 SECTION 31, T.17N., R.9E., N.M.P.M.
 SANTA FE COUNTY, NEW MEXICO

PUBLIC NOTICE

THE SANTA FE COUNTY LAND USE ADMINISTRATION HAS NOT REVIEWED THIS PLAT OF SURVEY BEING FILED IN THE OFFICE OF THE COUNTY CLERK FOR THE LOTS 13 & 14 OF SECTION 31, T.17N., R.9E., N.M.P.M. OF THE COUNTY OF SANTA FE COUNTY, NEW MEXICO. THE CLERK'S OFFICE DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE STATEMENT DOES NOT IN ANY MANNER REPRESENT OFFICIAL COUNTY APPROVAL OF THIS PLAT.

SEC 36 T 17 N R 9 E
 SEC 37 T 17 N R 9 E
 SEC 38 T 17 N R 9 E
 SEC 39 T 17 N R 9 E
 SEC 40 T 17 N R 9 E
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 SEC 58 T 17 N R 9 E
 SEC 59 T 17 N R 9 E
 SEC 60 T 17 N R 9 E

LOT 9
 CHARLES & MARY HAMBROG
 BL. 12, P. 475

LOT 10
 CETERIO DE AGUA FRIA

LOT 13
 25.880 Ac.±

LOT 14
 42.134 Ac.±

LOT 18

SHC 1244 TR 1
 SHC 689 TR 2
 SHC 1255 1/2 TR 3
 SHC 1162 TR 2
 SHC 688 TR 1
 SHC 1255 1/2 TR 2
 SHC 1162 TR 1

C.O.U. ROAD

SANTA FE RIVER

SCALE: 1"=100'

LEGEND

- BOUNDARY SURVEY POINTS
- BOUNDARY POINTS
- BOUNDARY POINTS
- BOUNDARY POINTS

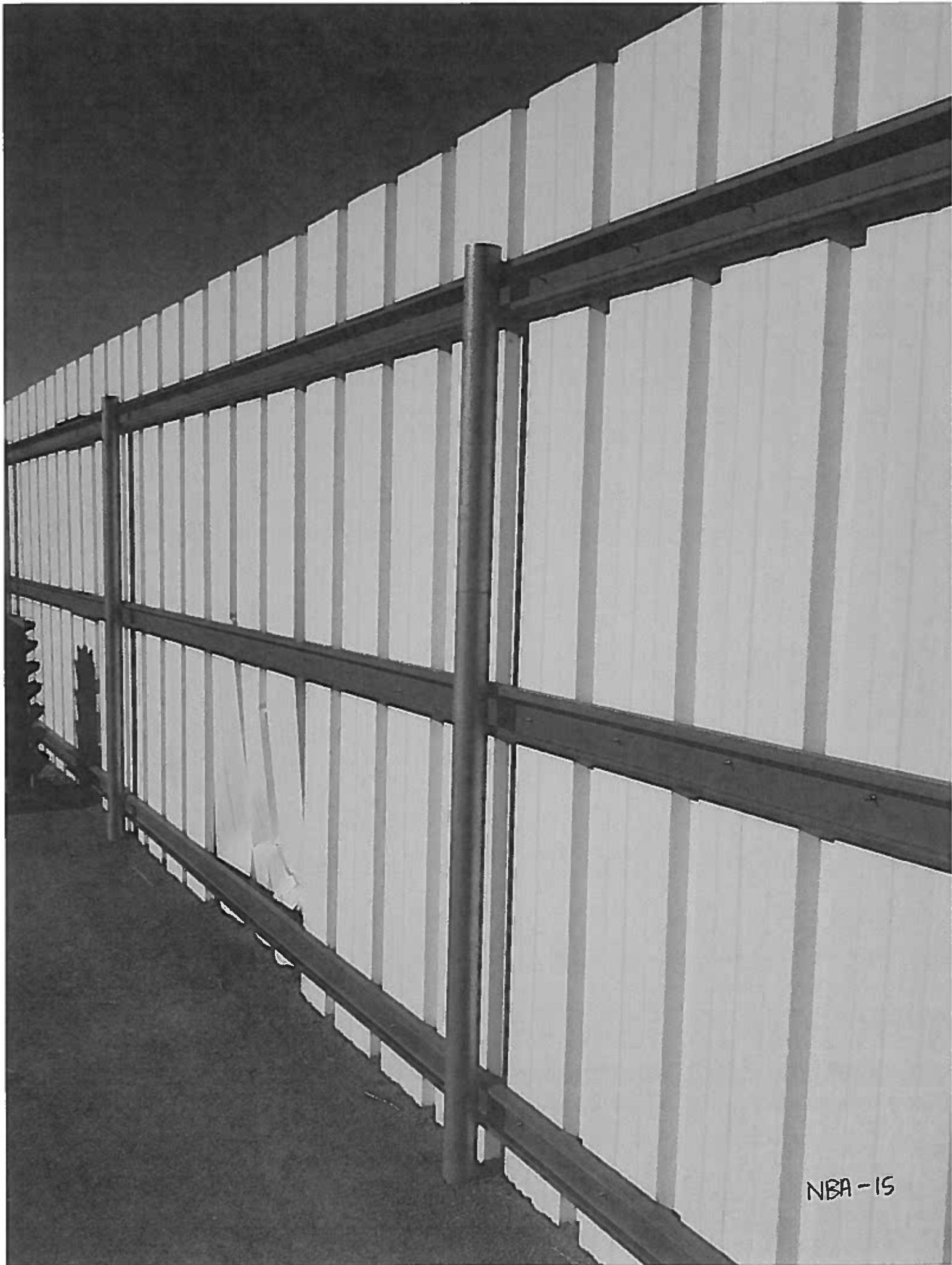
SURVEYOR'S CERTIFICATE

I, JERRY CERRY, CLERK OF SAID COUNTY, DO HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN THE PUBLIC RECORDS OF SAID COUNTY AND WAS DAY RECORDED IN SAID COUNTY OFFICE OF THE RECORDS OF SAID COUNTY.

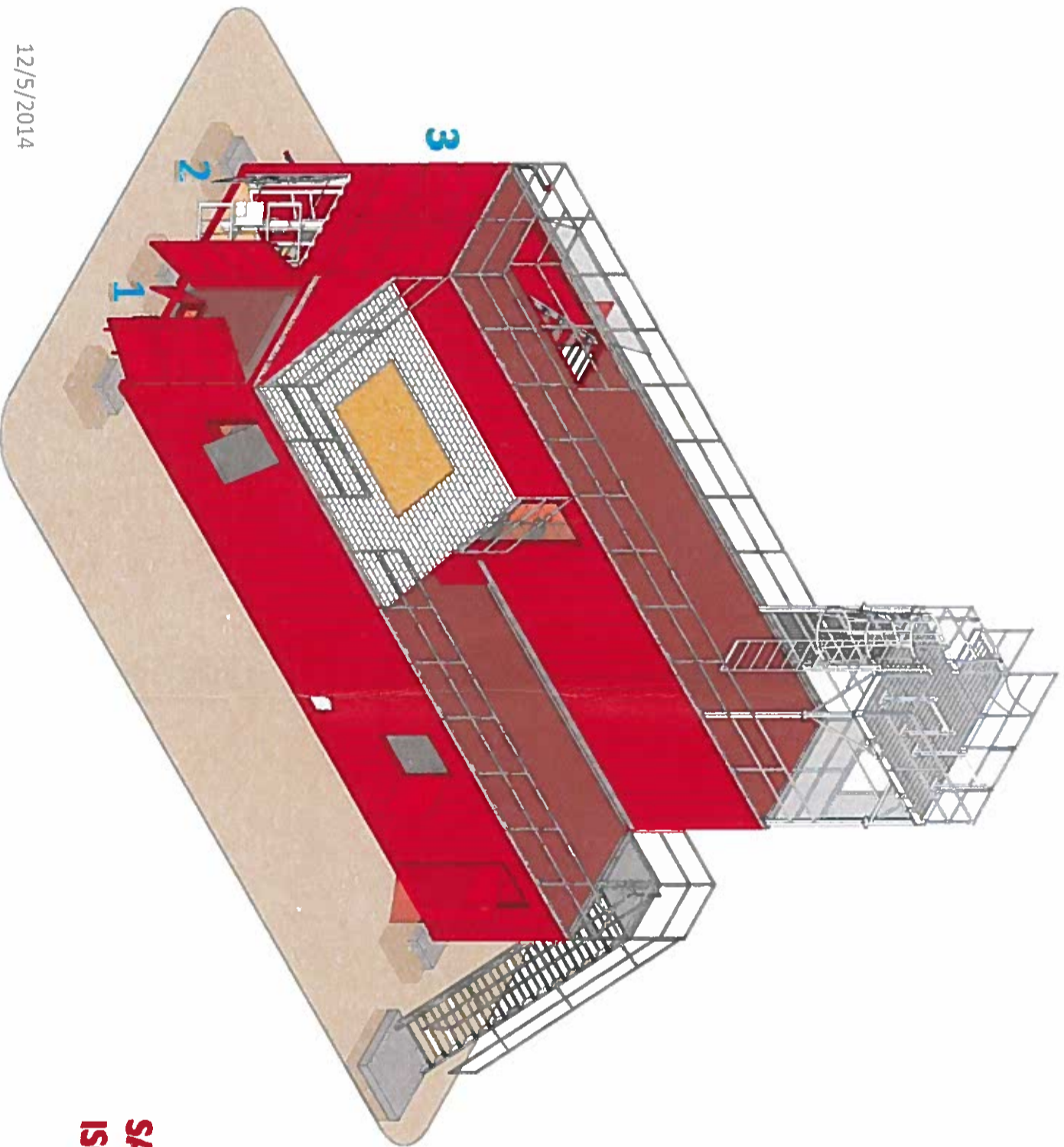
WITNESSED MY HAND AND SEAL OF OFFICE
 COUNTY OF SANTA FE, N.M.
 JERRY CERRY, CLERK



NBA-114



NBA-15



12/5/2014



- 3 - 40' CONTAINERS
- 2 - BURN ROOMS
- TEMPERATURE MONITORING SYSTEM
- RECONFIGURABLE SCBA MAZE
- SHORING PROP
- WALL BREACH PROP
- INTERIOR STAIRS
- EXTERIOR STAIRS
- ACTIVE ROOF
- OSHA COMPLIANT GUARDRAIL SYSTEM
- RAPPELLING TOWER
- STANDPIPE SYSTEM
- SPRINKLER SYSTEM
- PITCHED ROOF PROP
- FORCED ENTRY DOOR
- PERSONNEL DOORS
- DENVER WINDOW

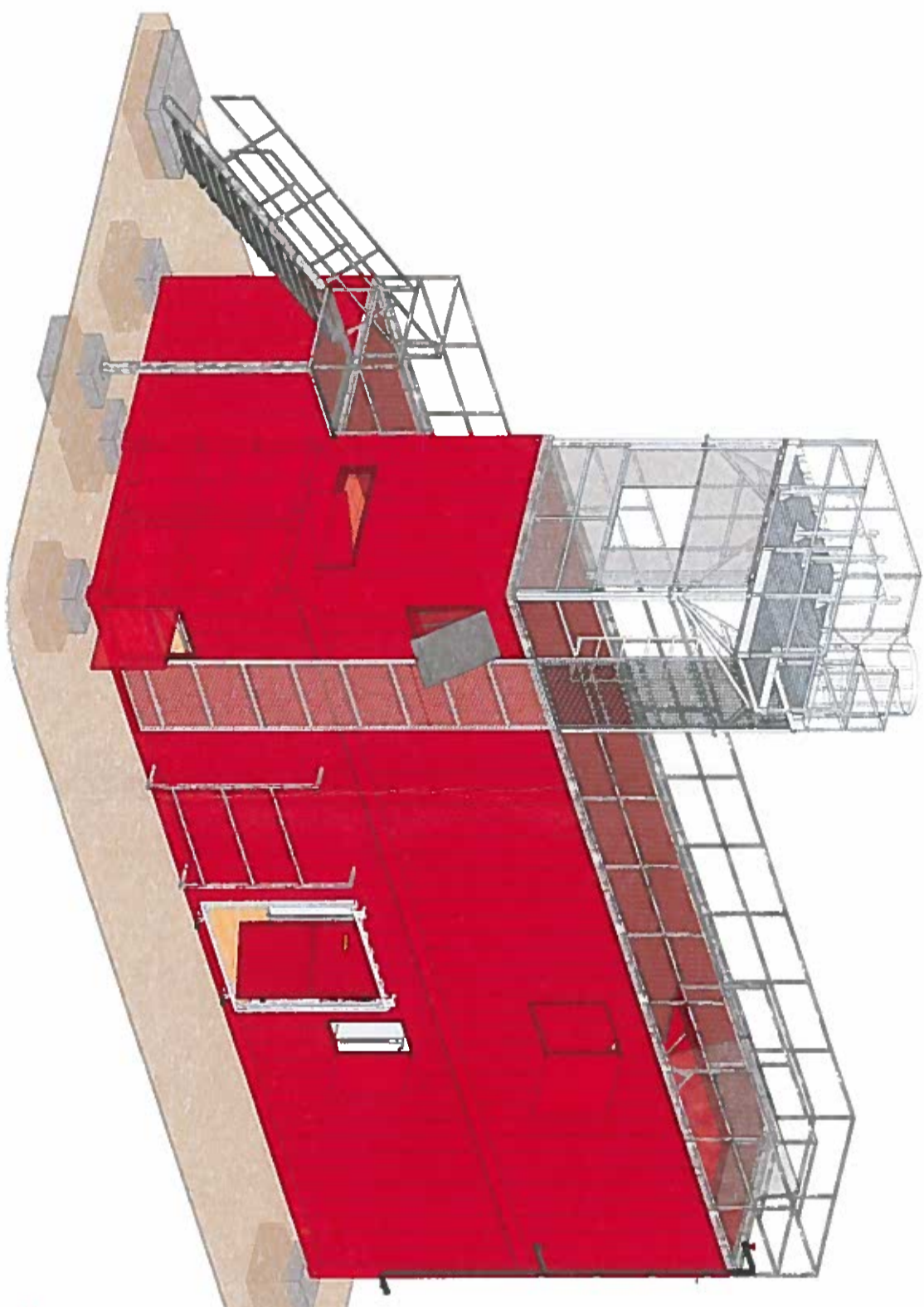
**SABLE SYSTEM
ISOMETRIC VIEW**





- 3 - 40' CONTAINERS
- 2 - BURN ROOMS
- TEMPERATURE MONITORING SYSTEM
- RECONFIGURABLE SCBA MAZE
- SHORING PROP
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- SPRINKLER SYSTEM
- PITCHED ROOF PROP
- FORCED ENTRY DOOR
- PERSONNEL DOORS
- DENVER WINDOW

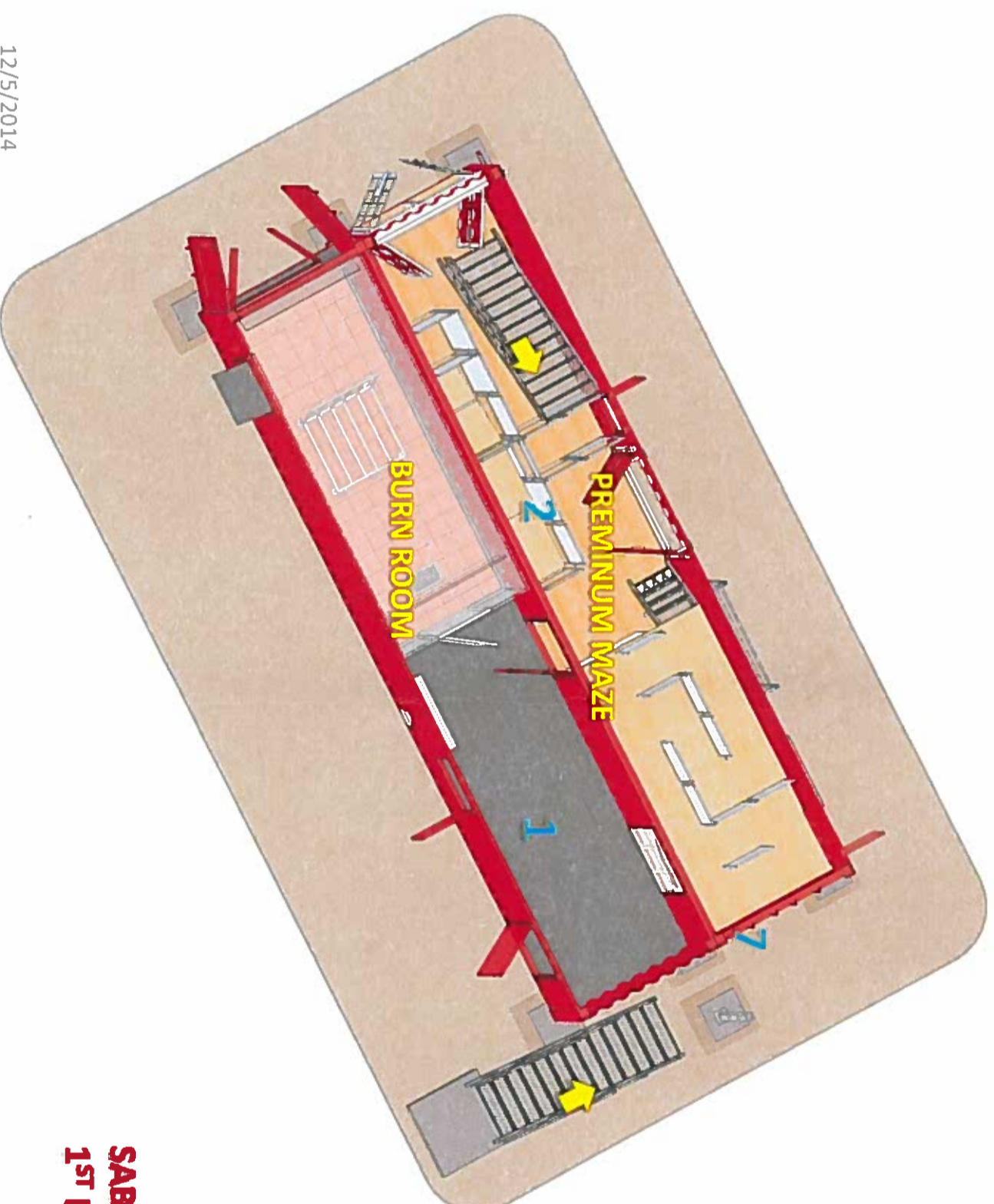
**SABLE SYSTEM
REAR VIEW**



12/5/2014



- 3 - 40' CONTAINERS
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- TEMPERATURE MONITORING SYSTEM
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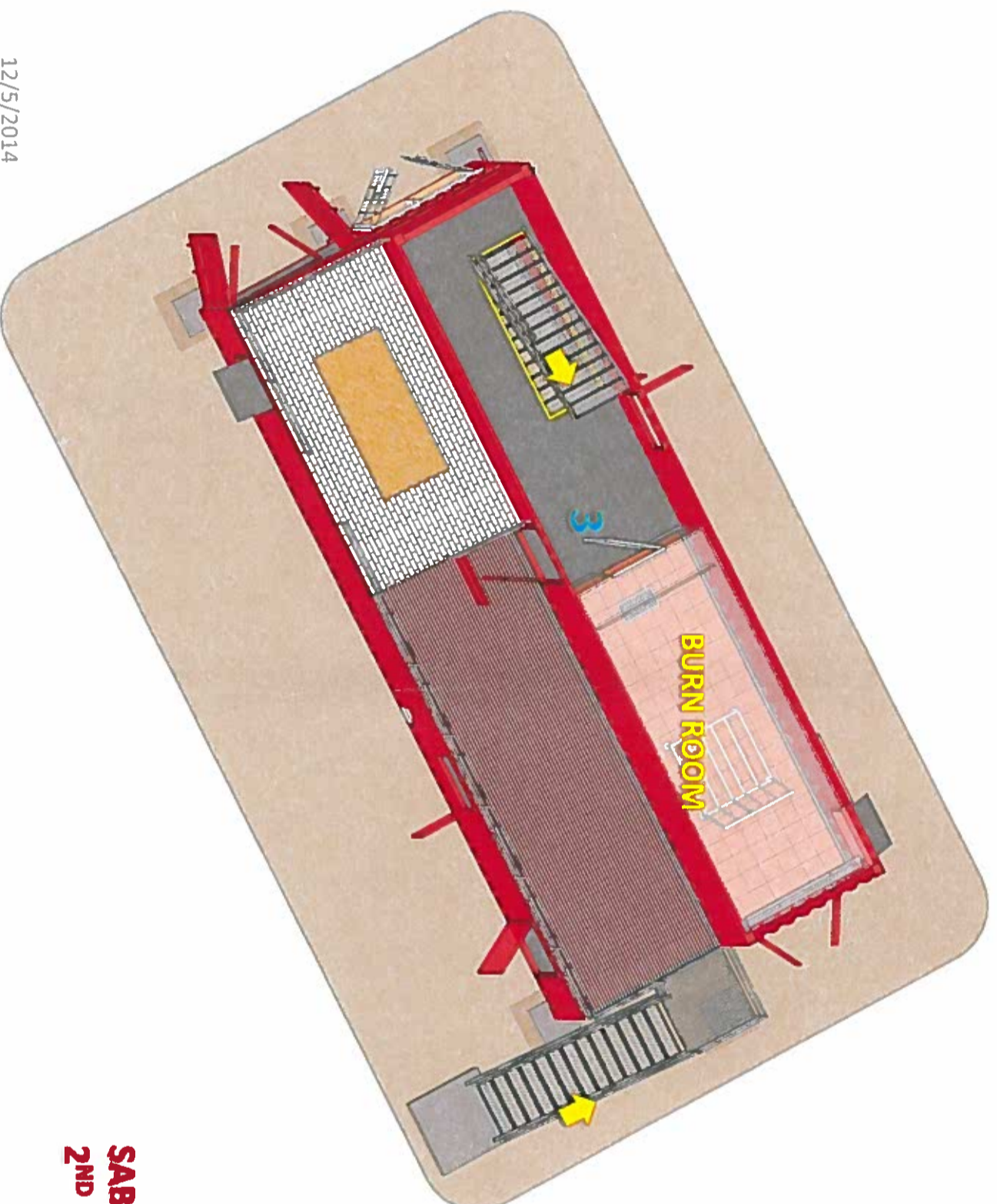


**SABLE SYSTEM
1ST FLOOR PLAN**

12/5/2014

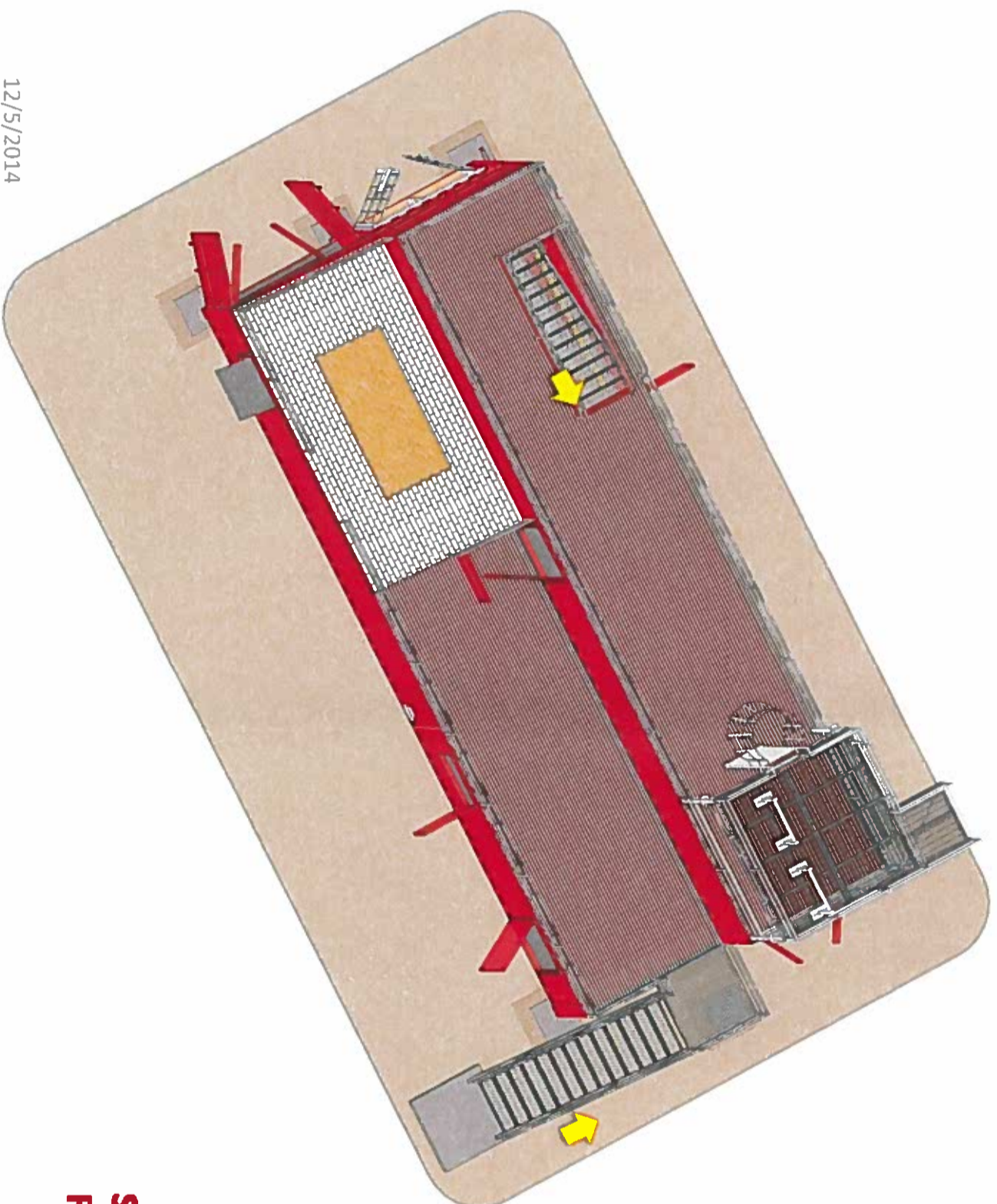


- 3 - 40' CONTAINERS
- 2 - BURN ROOMS
- TEMPERATURE MONITORING SYSTEM
- RECONFIGURABLE SCBA MAZE
- SHORING PROP
- WALL BREACH PROP
- INTERIOR STAIRS
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- PITCHED ROOF PROP
- FORCED ENTRY DOOR
- PERSONNEL DOORS
- DENVER WINDOW



**SABLE SYSTEM
2ND FLOOR PLAN**

12/5/2014



12/5/2014



- 3 - 40' CONTAINERS
- 2 - BURN ROOMS
- TEMPERATURE MONITORING SYSTEM
- RECONFIGURABLE SCBA MAZE
- SHORING PROP
- WALL BREACH PROP
- INTERIOR STAIRS
- EXTERIOR STAIRS
- ACTIVE ROOF
- OSHA COMPLIANT GUARDRAIL SYSTEM
- RAPPPELLING TOWER
- STANDPIPE SYSTEM
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- PITCHED ROOF PROP
- FORCED ENTRY DOOR
- PERSONNEL DOORS
- DENVER WINDOW

**SABLE SYSTEM
ROOF PLAN**

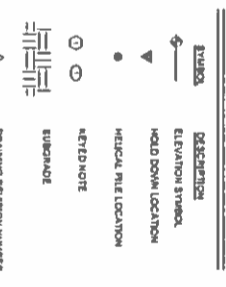
STRUCTURAL FOUNDATION PLANS SANTA FE COUNTY AGUA FRIA FIRE & RESCUE STATION NO. 1 FIRE TRAINING FACILITY

58 COUNTY ROAD 62, SANTA FE, NM 87507

ABBREVIATIONS

Per	Per	EQS	Edge of Slab	MEP	Mechanical/Electrical/Plumbing
AB	Architectural Bolt	EQ SP	Equally Spaced	MIL(S)	Millimeter(s)
ADONL	Architectural Detail Only Noted	EQUIP	Equipment	MIN	Minimum
ADN	Architectural Detail Only Noted	EV	Each Way	MIR	Mirrored
Af	Above Finish Floor	EXP ALMCH	Expansion Anchor	MINR	Manufacturer
ALT	Alternative	EXP	Expansion	MO	Masonry Opening
APA	American Plywood Association	EXT	Exterior	MTL	Metal
APPROX	Approximate	FAB	Fabricate	N	North
ARCH	Architect or Architectural	FF	Finished Floor	NF	Not in Finish or Near Side
B / B.O.	Bottom of Backlog	FG	Flange	NI	Not in Contact
B/LDG	Building Blotting	FL	Floor	NDL	Nominal
BLDG	Building	FDN	Foundation	NDS	Nominal
BM	Beam	FDN	Foundation	NTS	Not To Scale
BND	Boundary Noted	FO	Face Of	NWC	Normal Weight Concrete
BND or B	Boundary Noted	FP	Face Penetration	OAC	On Approved Equipment
BOF	Bottom of Footing	FS	Fastener	OC	On Center
BOS	Bottom of Steel	FT	Foot or Feet	OD	Outside Diameter
BRS	Rebar	FIG	Footing	OF	Outside Face
BSMT	Basement	FV	Field Verify	ON	Opening
BTVN	Between	GA	Gage or Gage	OP	Opening
CC	Center to Center	GALV	Galvanized	OPR	Opening
CG	Center of Gravity	GI	Gib-stem	PAF	Powder Activated Fastener
CP	Cent in Place	GR	Grade	PC	Precast
CJ	Control Joint	GB	Grade Beam	PCB	Precast Concrete Block
CJP	Complete Joint Penetration	GR BM	Grade Beam	PEN	Penetration
CL	Centerline	HAS	Hardwood Anchor Stud	PH	Pipe
CLG	Centerline	HDG	Hot Dipped Galvanized	PIF	Pipe per Linear Foot
CLH	Clear	HK	Hook	PREFAB	Prefabricated
CMU	Concrete Masonry Unit	HORIZ	Horizontal	PRELIM	Preliminary
COL	Column	HT	Height	PS	Reinforced Per Square Foot
CONC	Concrete	HVIC	Heating, Ventilating and A/C	P5	Reinforced Per Square Foot
CONJ	Conjunction	ID	Inside Diameter	P1	Reinforced Per Square Inch
CONT	Continuous or Continuous	I.F.	Inside Face	PT	Pressure Treated
COORD	Coordinate	IN	Inch	QTY	Quantity
CS	Construction Joint	INT	Interior	RAD or R	Radius
CTR(D)	Center(s)	INT	Interior	RC	Reinforced Concrete
D	Diameter	IT	Interior	REF	Reference
DBL	Double	IT	Interior	RET	Return
DLG	Degree	IT	Interior	REQD	Required
DIA or Ø	Diameter	IT	Interior	REQD(S)	Required(s)
DIAG	Diagonal	IT	Interior	RD	Rough Dimension
DN	Down	IT	Interior	RO	Rough Opening
DP	Drilled Pier	IT	Interior	SCHED	Schedule
DT (S)	Detail(s)	L or LG	Length	SCHD	Schedule
DW(S)	Down(s)	LI (S)	Line Load	SEC	Section
EXIST	Existing	LIH	Long Leg Horizontal	SAM	Shank
EA	Each	LIV	Long Leg Vertical	SHH	Short Leg Horizontal
EC	Each End	LOC (S)	Location(s) or Locate	SHV	Short Leg Vertical
EE	Each Face	LONG	Longitudinal	SP	Space
EF	Expansion Joint	LTD	Limited	SP @	Space at
EG	Each Face	LTV	Light Weight Concrete	SP #	Space #
EI	Embedded	LTV	Light Weight Concrete	SP (S)	Space(s)
EN	Edge Noted	LVC	Light Weight Concrete	SPTS	Specifications
ENGR	Engineer	LWC	Light Weight Concrete	SPRT	Support
EOR	Engineer-of-Record	MAS	Masonry	SS	Stainless Steel
		MEN	Masonry	STD	Standard
		MEC	Mechanical	STW	Structural Steel
		MCS	Masonry Control Joint	STW	Structural Steel
				SW	Shervell

LEGEND



PLAN SET INDEX



LUCHINI & TRUJILLO
STRUCTURAL ENGINEERS, INC.
1919 FIFTH STREET SUITE N • SANTA FE, NM 87505
801 S. SHOSHONE RD. NE • ALBUQUERQUE, NM 87110
(505) 424-3252 • INFO@LTSENG.COM • LTSENG.COM

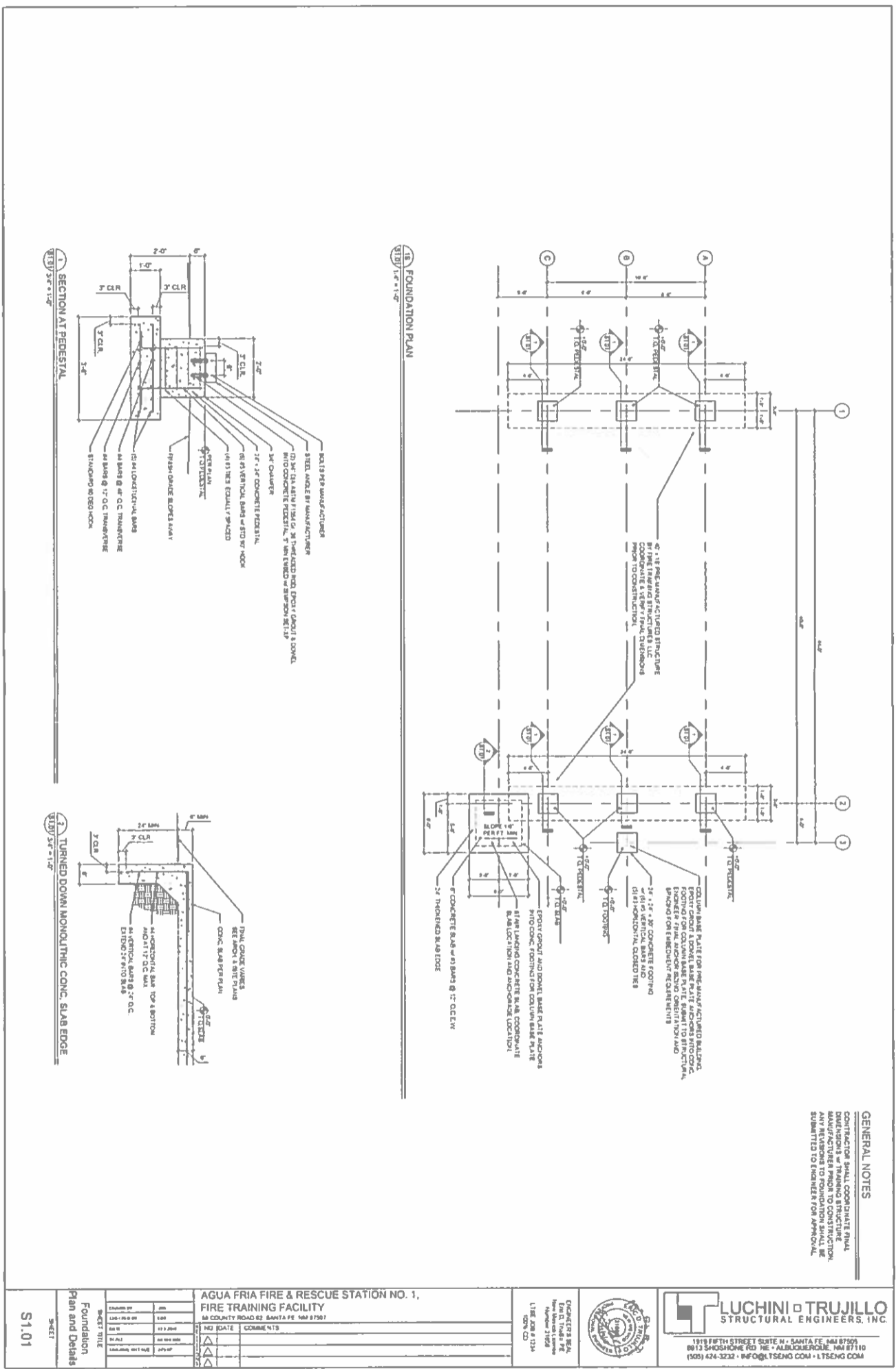
ENGINEER: M.A.
Luis Trujillo
License No. 1734
State of New Mexico
1/28/07

NO.	DATE	COMMENTS
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AGUA FRIA FIRE & RESCUE STATION NO. 1,
FIRE TRAINING FACILITY
58 COUNTY ROAD 62, SANTA FE, NM 87507

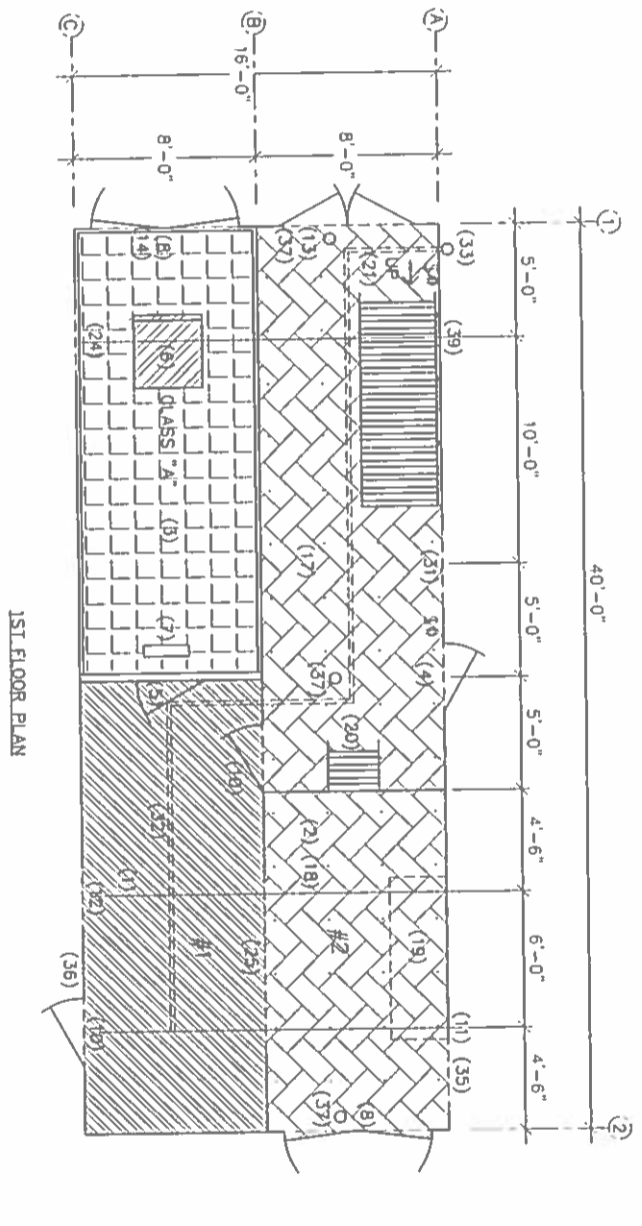
PROJECT: S-001
SHEET: Abbreviations, Legend and Plan Set Index

NBA-21



NBA-22

1. 8" FT CONCRETE WITH REIN. FLOOR.
2. 8" FT CONCRETE WITH REIN. FLOOR.
3. 2" POLYSTYRENE INSULATION WITH 1" POLYSTYRENE INSULATION AND 1" POLYSTYRENE INSULATION.
4. STAINLESS STEEL, 304, 1/2" THICK.
5. (2) 1/2" ALUMINUM, BRUSHED CHROME AT CEILING/ROOFLINE FROM LINED FLOOR AND PLUMBING.
6. 1" ALUMINUM.
7. 1" ALUMINUM.
8. 1" ALUMINUM.
9. (1) 1/2" ALUMINUM, BRUSHED CHROME AT CEILING/ROOFLINE FROM LINED FLOOR AND PLUMBING.
10. 1" ALUMINUM.
11. 1" ALUMINUM.
12. 2" FT 2" FT FINE SAND.
13. 4" DOOR FORCED ENTRY AND OTHER DOOR.
14. 1" ALUMINUM.
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43. 1" ALUMINUM.
44. 1" ALUMINUM.



1ST FLOOR PLAN

1. 8" FT CONCRETE WITH REIN. FLOOR.

2. 8" FT CONCRETE WITH REIN. FLOOR.

3. 2" POLYSTYRENE INSULATION WITH 1" POLYSTYRENE INSULATION AND 1" POLYSTYRENE INSULATION.

4. STAINLESS STEEL, 304, 1/2" THICK.

5. (2) 1/2" ALUMINUM, BRUSHED CHROME AT CEILING/ROOFLINE FROM LINED FLOOR AND PLUMBING.

6. 1" ALUMINUM.

7. 1" ALUMINUM.

8. 1" ALUMINUM.

9. (1) 1/2" ALUMINUM, BRUSHED CHROME AT CEILING/ROOFLINE FROM LINED FLOOR AND PLUMBING.

10. 1" ALUMINUM.

11. 1" ALUMINUM.

12. 2" FT 2" FT FINE SAND.

13. 4" DOOR FORCED ENTRY AND OTHER DOOR.

14. 1" ALUMINUM.

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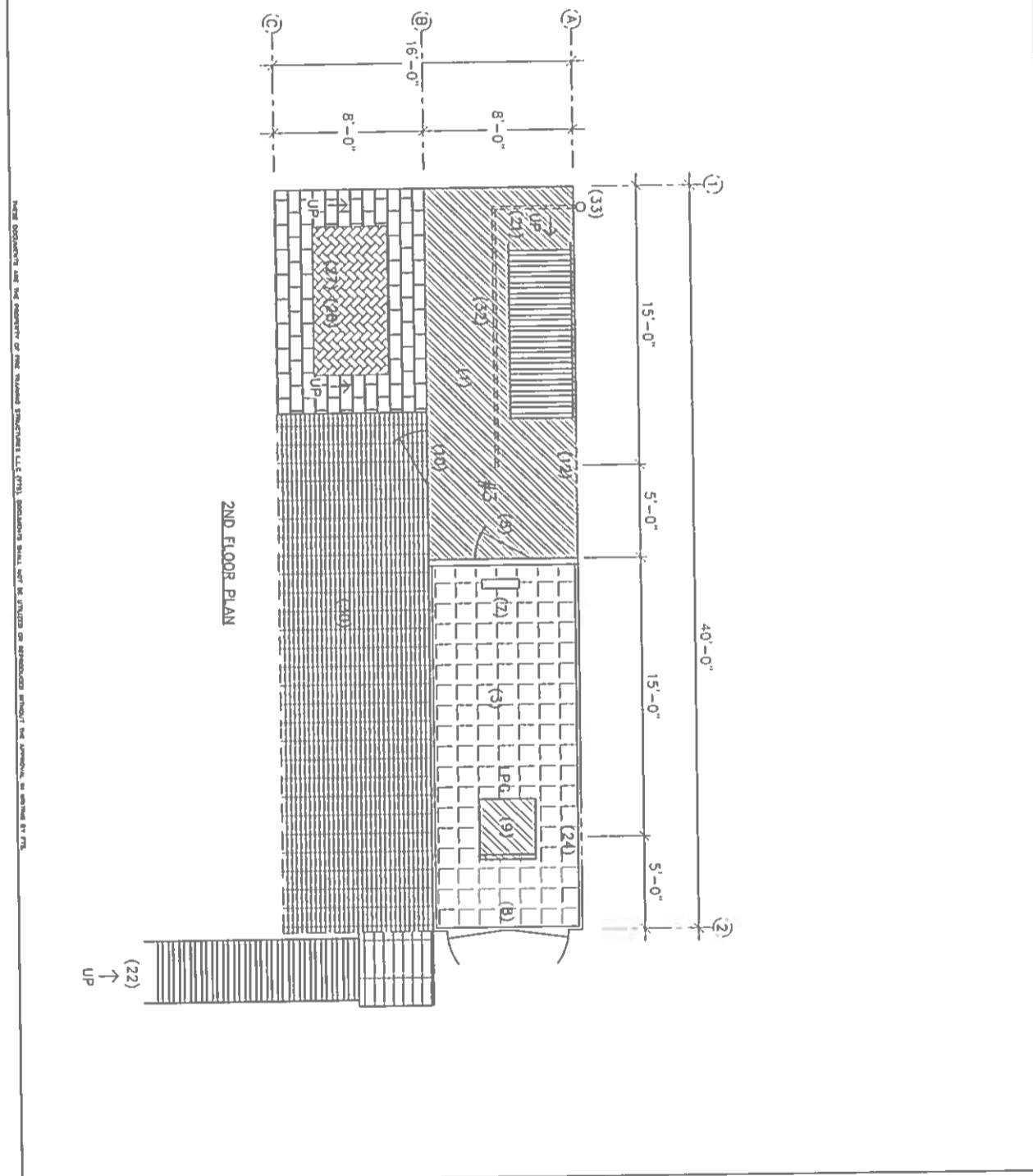
44. 1" ALUMINUM.

THESE DOCUMENTS ARE THE PROPERTY OF FIRE TRAINING STRUCTURES L.L.C. (F.T.S.). DOCUMENTS SHALL NOT BE UNLAWFULLY REPRODUCED WITHOUT THE APPROVAL IN WRITING OF F.T.S.

PLAN FAB-1	PROJECT SANTA FE COUNTY, NM FIRE TRAINING TOWER	FIRE TRAINING STRUCTURES L.L.C. 3233 E. CORONA AVENUE PHOENIX, AZ 85040 T: (602) 268-6156 WWW.MOBILEFIREUNITS.COM		
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NBA-24

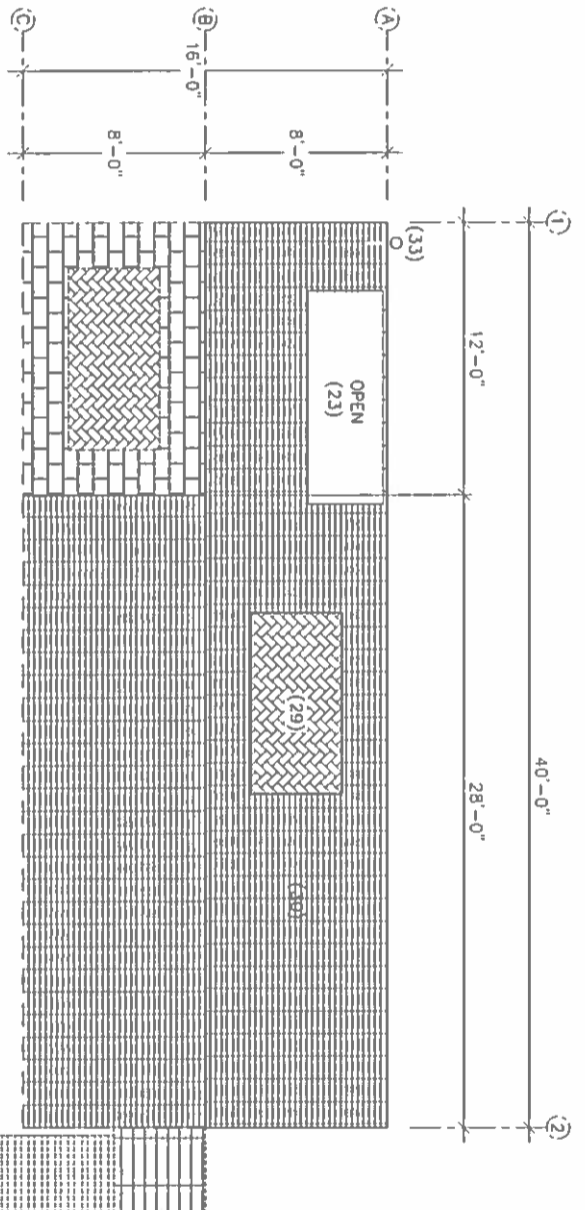
- PLAN NOTES
1. UPT CONTAINED WITH STEEL FLOOR.
 2. UPT CONTAINED WITH WOOD FLOOR.
 3. 2" RTI INSULATED CONCRETE SLAB WITH 2" POLYURETHANE INSULATION SYSTEM WITH 2" POLYURETHANE INSULATION SYSTEM AND 2" POLYURETHANE INSULATION SYSTEM.
 4. STAIRWELL ELEVATED ROOM.
 5. STAIRWELL ROOM AND WALL AT BATH ROOM.
 6. (1) STAIRWELL STAIRWELL CHAIRS AT STAIR/PALLET, BATH ROOM FLOOR AND PALLET ROOM ROOM.
 7. FLOOR FINISH.
 8. CLASH ROOM.
 9. (2) UPT FLOOR FINISH, (1) CEILING FINISH.
 10. (2) UPT FLOOR FINISH, (1) CEILING FINISH.
 11. LOCATION OF UPT WALL FOR DISTANCE CONNECTION TO ON-SITE UPT SYSTEM.
 12. UPT & RTI FINISH.
 13. 4 ROOM FINISH CHAIR AND OUTLINE ROOM SYSTEM.
 14. CEILING OUT FINISH.
 15. BALCONY FINISH AT RECEPTION TOWER.
 16. BALCONY FINISH.
 17. REPAIRS RECOMMENDED FOR UPT SYSTEM WITH REPAIR AND UPT SYSTEM REPAIRS.
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PROJECT SANTA FE COUNTY, NM FIRE TRAINING TOWER	FIRE TRAINING STRUCTURES L.L.C. 3233 E. CORONA AVENUE PHOENIX, AZ 85040 T: (602) 268-6156 WWW.MOBILEFIREUNITS.COM	DATE: 11-20-2015 DRAWN BY:	CHECKED BY:
		DATE: 11-20-2015 DRAWN BY:	CHECKED BY:
TITLE: PLAN SCALE: 1/8" = 1'-0"	SHEET: FAB-2		

NBA-21

- PLAN NOTES
1. ALL CORNERS WITH STEEL FLOOR
 2. ALL CORNERS WITH ROOF FLOOR
 3. 2" X 4" JOIST BAYS WITH 1/2" GYPSUM BOARD
 4. 2" X 4" JOIST BAYS WITH 1/2" GYPSUM BOARD
 5. 2" X 4" JOIST BAYS WITH 1/2" GYPSUM BOARD
 6. 2" X 4" JOIST BAYS WITH 1/2" GYPSUM BOARD
 7. FLOOR SLAB
 8. (1) USE FIELD JOIST (1) USE CORNER JOIST
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ROOF PLAN

12'-0"

8'-0"

16'-0"

8'-0"

40'-0"

28'-0"

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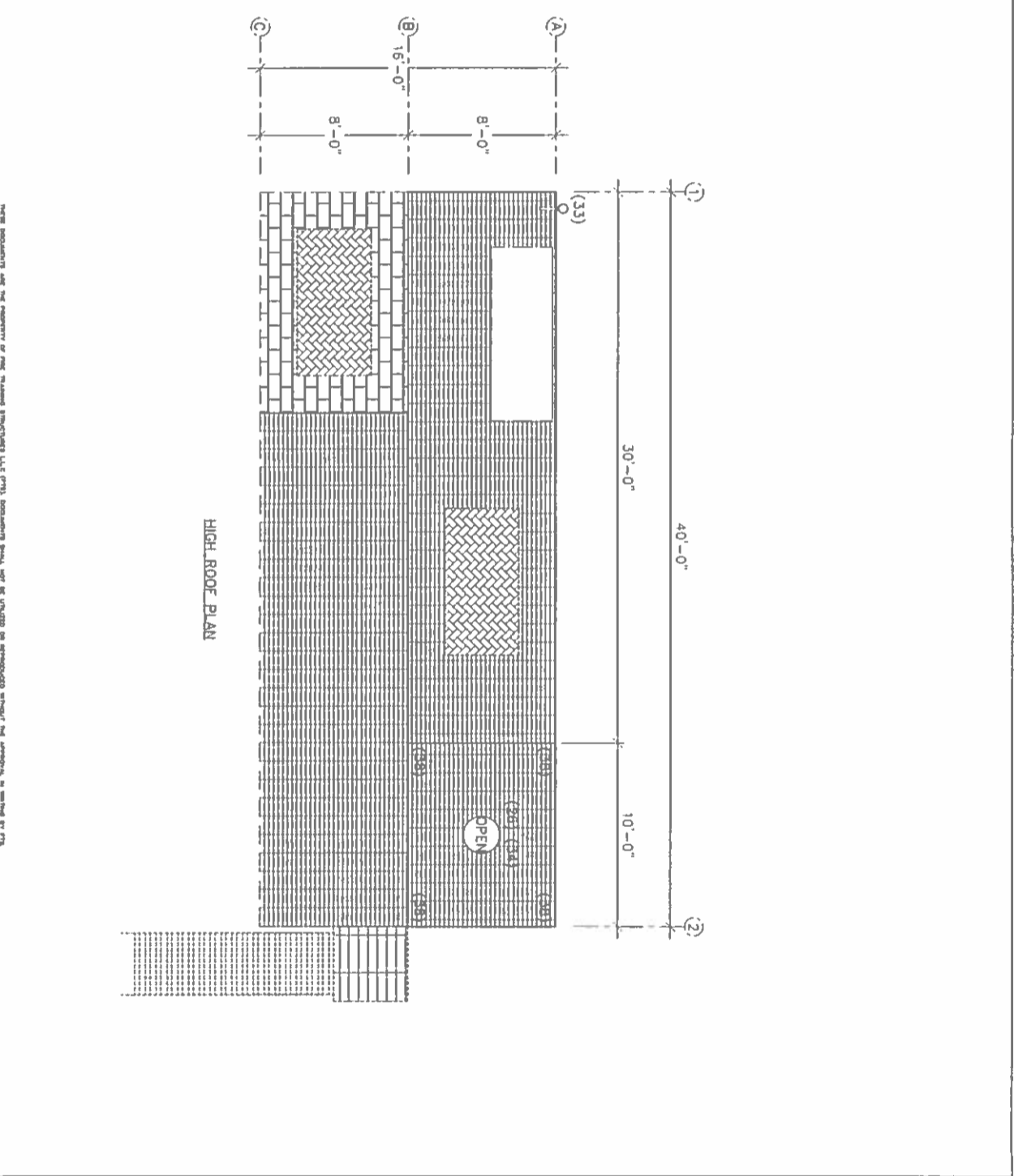
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<p>PROJECT</p> <p>SANTA FE COUNTY, NM</p> <p>FIRE TRAINING TOWER</p>	<p>FIRE TRAINING STRUCTURES L.L.C.</p> <p>3233 E. CORONA AVENUE</p> <p>PHOENIX, AZ 85040</p> <p>T: (602) 268-6156</p> <p>WWW.MOBILEFIREUNITS.COM</p>	<p>DATE</p> <p>12-08-2014</p> <p>SCALE</p> <p>1/8" = 1'-0"</p> <p>PROJECT</p> <p>FAB-3</p>
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NBA-210

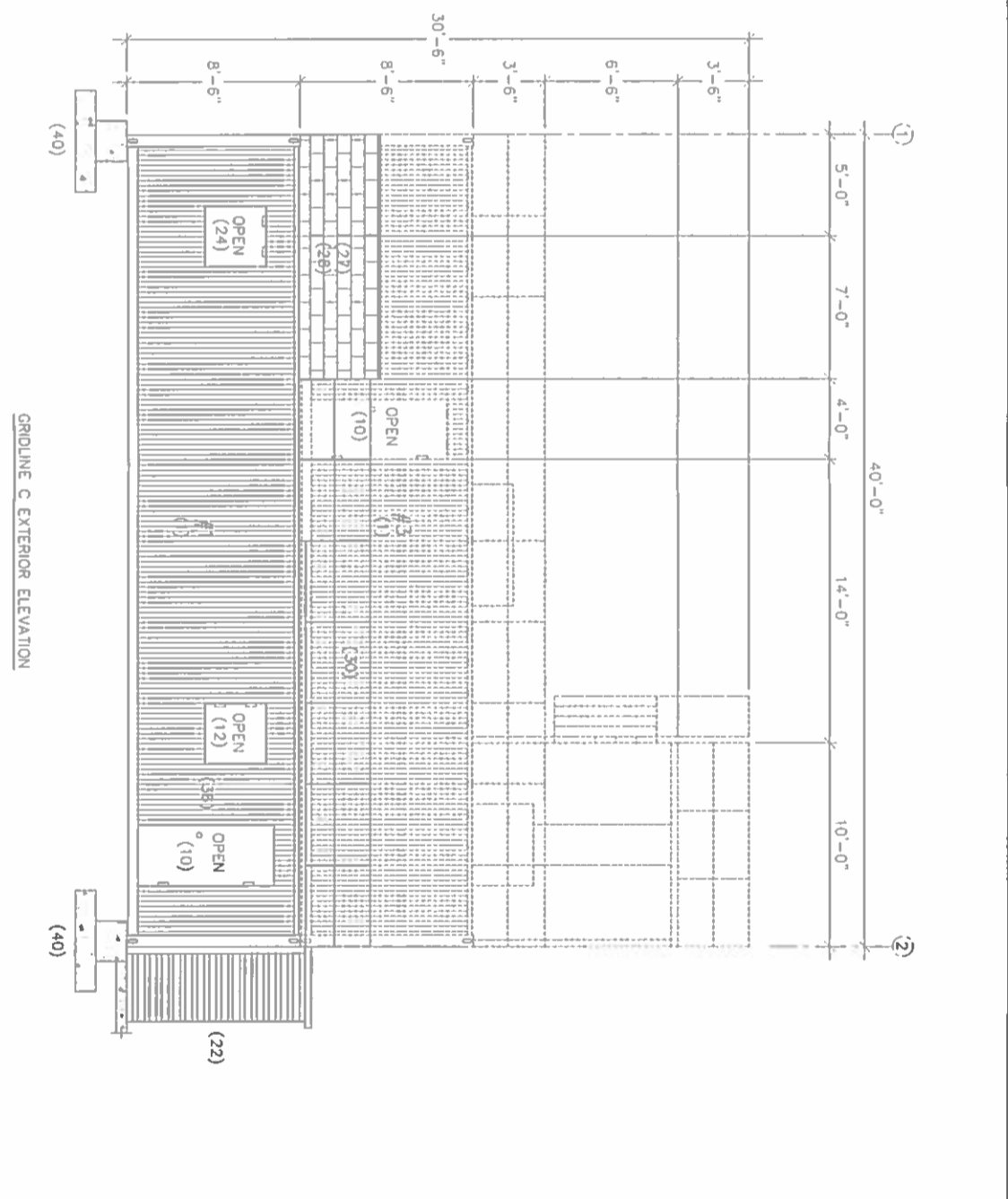
- PLAN NOTES
1. ROOF CONTIGUOUS WITH STEEL FRAME.
 2. ROOF CONTIGUOUS WITH SECOND FLOOR.
 3. ROOF VENTILATED WITH 1/2" AIR SPACE UNDER ROOF DECK. PROVIDE 1/2" AIR SPACE UNDER ROOF DECK WITH 3" MINIMUM LEADED BRASS ROOF VENTILATORS. PROVIDE 1/2" AIR SPACE UNDER ROOF DECK WITH 3" MINIMUM LEADED BRASS ROOF VENTILATORS.
 4. PROVIDE 1/2" AIR SPACE UNDER ROOF DECK WITH 3" MINIMUM LEADED BRASS ROOF VENTILATORS.
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 40. PROVIDE 1/2" AIR SPACE UNDER ROOF DECK WITH 3" MINIMUM LEADED BRASS ROOF VENTILATORS.



PROJECT SANTA FE COUNTY, NM FIRE TRAINING TOWER	FIRE TRAINING STRUCTURES L.L.C. 3233 E. CORONA AVENUE PHOENIX, AZ 85040 T: (602) 268-6156 WWW.MOBILEFIREUNITS.COM
	DATE: 12-28-2013 DRAWN BY: JTB CHECKED BY: JTB SCALE: 1/8" = 1'-0" SHEET: FAB-4 PLAN

NBA-27

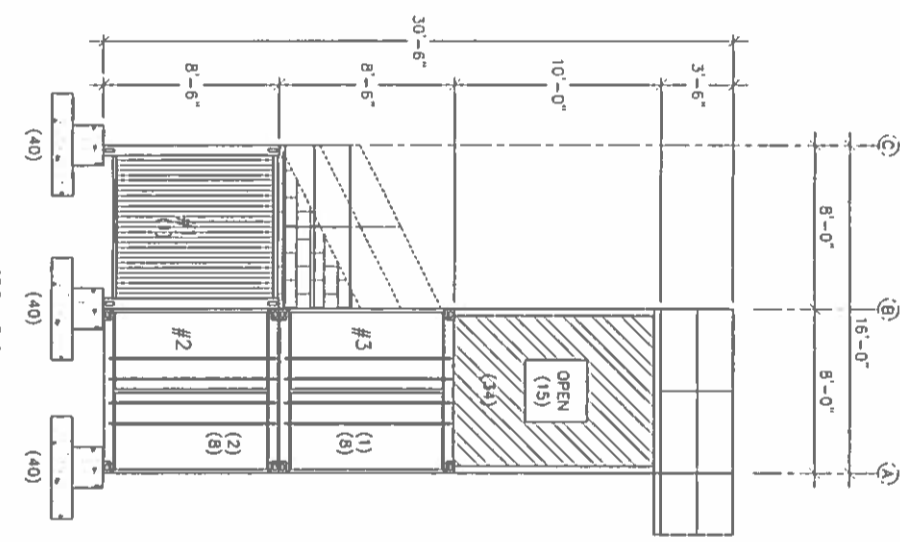
- PLAN NOTES**
1. 40FT CONTAINER WITH STEEL FLOOR
 2. 40FT CONTAINER WITH WOOD FLOOR
 3. 20FT MODULAR BATH ROOM WITH STAIRCASE
 4. 20FT MODULAR BATH ROOM WITH STAIRCASE
 5. 20FT MODULAR BATH ROOM WITH STAIRCASE
 6. 20FT MODULAR BATH ROOM WITH STAIRCASE
 7. FLOOR PLAN
 8. 12" JET FUELLED HEAVY (1) GRADE INSULATED
 9. 12" JET FUELLED HEAVY (1) GRADE INSULATED
 10. 12" JET FUELLED HEAVY (1) GRADE INSULATED
 11. 12" JET FUELLED HEAVY (1) GRADE INSULATED
 12. 2" X 4" FINE WOODWORK
 13. 4 DOOR FINISHED DRIVE AND OFFICE ROOM
 14. 4 DOOR FINISHED DRIVE AND OFFICE ROOM
 15. 4 DOOR FINISHED DRIVE AND OFFICE ROOM
 16. 4 DOOR FINISHED DRIVE AND OFFICE ROOM
 17. 12" JET FUELLED HEAVY (1) GRADE INSULATED
 18. 12" JET FUELLED HEAVY (1) GRADE INSULATED
 19. 12" JET FUELLED HEAVY (1) GRADE INSULATED
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PROJECT SANTA FE COUNTY, NM FIRE TRAINING TOWER	OWNER FIRE TRAINING STRUCTURES L.L.C. 3233 E. CORONA AVENUE PHOENIX, AZ 85040 T: (602) 268-6156 WWW.MOBILEFIREUNITS.COM	DATE 12-28-2023	SCALE 1/8" = 1'-0"	PROJECT FAB-5

NBA-28

- PLAN NOTES**
1. GFT CONTIGUOUS WITH STEEL FLOOR.
 2. GFT CONTIGUOUS WITH ROOF FLOOR.
 3. GFT VERTICAL BRACING SHALL BE PROVIDED WITH BRACING MEMBERING SYSTEM WITH 2 MEMBERS LOCATED WITHIN EACH BAY. MEMBERS LOCATED OUTSIDE THE BAY SHALL BE PROVIDED WITH 2 MEMBERS LOCATED OUTSIDE THE BAY.
 4. STRAINING MEMBERING MEMBER.
 5. UNSTAYED ROOF AND WALL AT BAY AREA.
 6. (1) VERTICAL BRACING MEMBER AT CHANGING WALLS, SHOW UNSTAYED ROOF AND PALLET BAYS SHALL BE ONE.
 7. FLOOR SLAB.
 8. (1) USE FLOOR JOIST (1) LOCATE MEMBER TO BE BRACED WITH A CHANGING WALL MEMBERING SYSTEM, UNSTAYED ROOF AND PALLET BAYS SHALL BE ONE.
 9. GFT VERTICAL BRACING MEMBER WITHIN BAY SHALL BE ONE.
 10. GFT VERTICAL BRACING MEMBER WITHIN BAY SHALL BE ONE.
 11. LOCATION OF UNSTAYED ROOF AND PALLET MEMBERING TO ONE SIDE OF BAY SHALL BE ONE.
 12. GFT VERTICAL BRACING MEMBER WITHIN BAY SHALL BE ONE.
 13. A CORNER MEMBER ENTRY AND OUTING BAY SHALL BE ONE.
 14. COLUMN OUT INLET.
 15. BALCONY MEMBER AT EXTERIOR CORNER SHALL BE ONE.
 16. BALCONY MEMBER SHALL BE ONE.
 17. MEMBER CONNECTIONS SHALL BE ONE SHALL BE ONE AND ONE CONNECTIONS SHALL BE ONE SHALL BE ONE.
 18. MEMBER CONNECTION SHALL BE ONE SHALL BE ONE.
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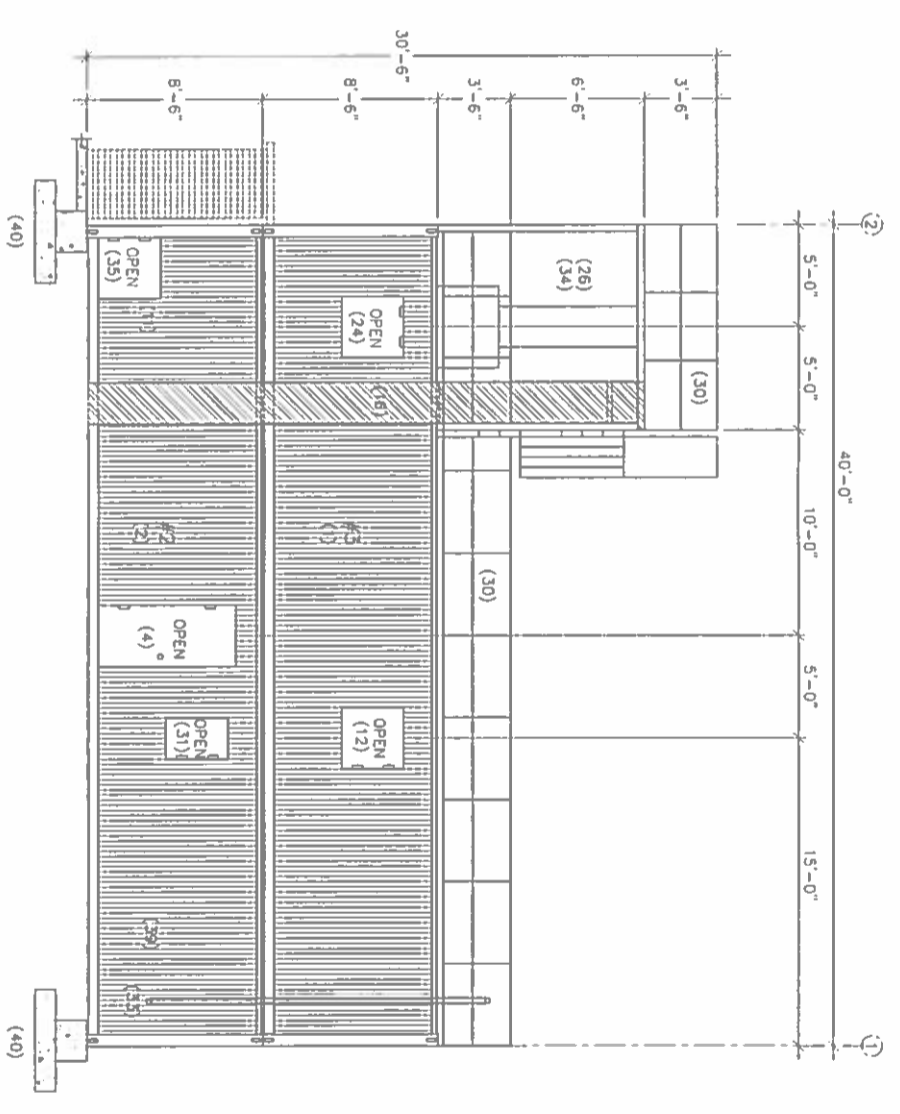
REVISION

PROJECT
 SANTA FE COUNTY, NM
 FIRE TRAINING TOWER

FIRE TRAINING STRUCTURES L.L.C.
 3233 E. CORONA AVENUE
 PHOENIX, AZ 85040
 T: (602) 268-6156
 WWW.MOBILEFIREUNITS.COM

DATE	1-2-2014
DESIGNER	JTB
CHECKER	JTB
SCALE	1/8"=1'-0"
TITLE	ELEVATION
PROJECT	FAB-6

- PLAN NOTES
1. CORNER CONNECTION WITH STEEL FLOOR.
 2. CORNER CONNECTION WITH WOOD FLOOR.
 3. 20FT MODULAR BATH ROOM WITH 30MINUTE BATHROOM KIT - THE TOILET AND SINK SHALL BE INSTALLED IN THE BATH ROOM AND 3 MINUTE LOCATED OUTSIDE THE BATH ROOM.
 4. FINISHED FLOORING TO BE DETERMINED BY OWNER.
 5. FINISHED FLOOR TO BE DETERMINED BY OWNER.
 6. (1) UNO FLOORING (1) CEILING FINISHED TO BE DETERMINED BY OWNER. (2) UNO FLOORING TO BE DETERMINED BY OWNER. (3) UNO FLOORING TO BE DETERMINED BY OWNER. (4) UNO FLOORING TO BE DETERMINED BY OWNER.
 7. FLOOR DATA.
 8. CEILING DATA.
 9. (1) UNO FLOORING (1) CEILING FINISHED TO BE DETERMINED BY OWNER. (2) UNO FLOORING TO BE DETERMINED BY OWNER. (3) UNO FLOORING TO BE DETERMINED BY OWNER. (4) UNO FLOORING TO BE DETERMINED BY OWNER.
 10. 20FT MODULAR BATH ROOM WITH 30MINUTE BATHROOM KIT - THE TOILET AND SINK SHALL BE INSTALLED IN THE BATH ROOM AND 3 MINUTE LOCATED OUTSIDE THE BATH ROOM.
 11. UNO FLOORING TO BE DETERMINED BY OWNER.
 12. UNO FLOORING TO BE DETERMINED BY OWNER.
 13. UNO FLOORING TO BE DETERMINED BY OWNER.
 14. CEILING DATA.
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GRIDLINE A EXTERIOR ELEVATION

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PROJECT
 SANTA FE COUNTY, NM
 FIRE TRAINING TOWER

OWNER
 FIRE TRAINING STRUCTURES L.L.C.
 3233 E. CORONA AVENUE
 PHOENIX, AZ 85040
 T: (602) 268-6156
 WWW.MOBILEFIREUNITS.COM

DATE
 08/14/24

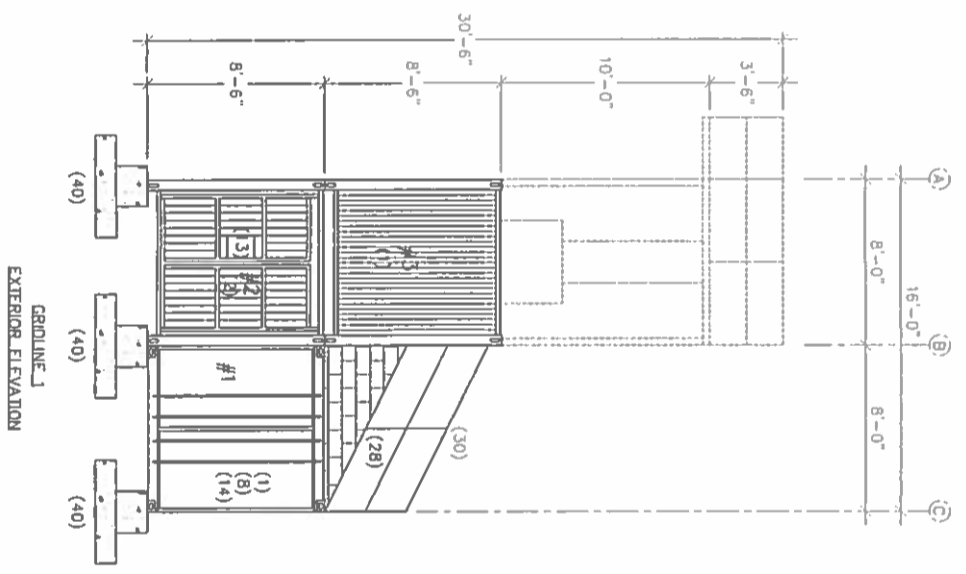
SCALE
 1/8" = 1'-0"

SHEET
 FAB-7

ELEVATION

NBA-30

- PLAN NOTES**
1. 40FT CONTAINER WITH STEEL COLUMN
 2. 40FT CONTAINER WITH STEEL COLUMN
 3. 40FT CONTAINER WITH STEEL COLUMN
 4. STAIRS TO BE LOCATED AT THE EAST END OF THE CONTAINER WITH 100% OVERHEAD CLEARANCE TO THE CONTAINER ABOVE
 5. STAIRS TO BE LOCATED AT THE EAST END OF THE CONTAINER WITH 100% OVERHEAD CLEARANCE TO THE CONTAINER ABOVE
 6. STAIRS TO BE LOCATED AT THE EAST END OF THE CONTAINER WITH 100% OVERHEAD CLEARANCE TO THE CONTAINER ABOVE
 7. STAIRS TO BE LOCATED AT THE EAST END OF THE CONTAINER WITH 100% OVERHEAD CLEARANCE TO THE CONTAINER ABOVE
 8. (1) USE TYPICAL SECTION (1) FOR CONNECTIONS TO BE MADE TO THE CONTAINER WALLS AND FLOOR
 9. (2) USE TYPICAL SECTION (2) FOR CONNECTIONS TO BE MADE TO THE CONTAINER WALLS AND FLOOR
 10. (3) USE TYPICAL SECTION (3) FOR CONNECTIONS TO BE MADE TO THE CONTAINER WALLS AND FLOOR
 11. (4) USE TYPICAL SECTION (4) FOR CONNECTIONS TO BE MADE TO THE CONTAINER WALLS AND FLOOR
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 46. (39) USE TYPICAL SECTION (39) FOR CONNECTIONS TO BE MADE TO THE CONTAINER WALLS AND FLOOR
 47. (40) USE TYPICAL SECTION (40) FOR CONNECTIONS TO BE MADE TO THE CONTAINER WALLS AND FLOOR



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REVISION

PROJECT
SANTA FE COUNTY, NM
FIRE TRAINING TOWER

FIRE TRAINING STRUCTURES L.L.C.
 3233 E. CORONA AVENUE
 PHOENIX, AZ 85040
 T: (602) 268-6156
 WWW.MOBILEFIREUNITS.COM

DATE: 11-28-2013
 ORDER: FTS
 SCALE: 1/8" = 1'-0"
 SHEET: FAB-8
 ELEVATION



New Mexico DEPARTMENT OF
TRANSPORTATION

Feb 02, 2016

Jose E. Larranaga,
Development Review Team Leader
Santa Fe County
102 Grant Avenue
Santa Fe, NM 87504-0276

RE: Site Development Plan/Conditional Use, Case #SDP 16-5000 Agua Fria Fire
Training Tower

Dear Mr. Larranaga:

The New Mexico Department of Transportation (NMDOT) District 5 Traffic Section has reviewed the Application for an Agua Fria Fire Training Tower. The proposed development is within the County of Santa Fe, New Mexico and consists of several types of Land uses off our roadway system.

We are in agreement with your findings and recommendations that this development will not impact our State transportation system. We therefore approve the study.

Please feel free to contact me at (505)995 7802 if you have any questions.

Sincerely

M S JAWADI, P.E.
District 5 Asst. Traffic Engineer
NMDOT; Santa Fe, NM 87502

Cc: Paul Brasher, Acting District Engineer
Ernest Armijo, District 5 Traffic Engineer



Susana Martinez
Governor

Tom Church
Cabinet Secretary

Commissioners

Ronald Schmeits
Chairman
District 4

Dr. Kenneth White
Secretary
District 1

David Sepich
Commissioner
District 2

Keith Mortensen
Commissioner
District 3

Butch Mathews
Commissioner
District 5

Jackson Gibson
Commissioner
District 6

NBA-32



STATE OF NEW MEXICO

OFFICE OF THE STATE ENGINEER

CONCHA ORTIZ Y PINO BUILDING, 130 SOUTH CAPITOL, SANTA FE, NM 87501

TELEPHONE: (505) 827-6091

FAX: (505) 827-3806

TOM BLAINE, P.E.
STATE ENGINEER

February 5, 2016

Mailing Address:
P.O. Box 25102
Santa Fe, NM 87504-5102

Jose E. Larrañaga
Development Review Team Leader
Santa Fe County
P.O. Box 276
Santa Fe, NM 87504-0276

CERTIFIED MAIL
RETURN RECEIPT
REQUESTED

Reference: Agua Fria Fire Training Tower Development Plan

Dear Mr. Larranaga:

On January 26, 2016, the Office of the State Engineer (OSE) received a request to review the Agua Fria Fire Training Development Plan for technical accuracy and for compliance with the Santa Fe County Sustainable Land Development Code.

The proposal provides a request for the installation of a prefabricated Fire Training Tower at the Agua Fria Fire Station located at 2020 Caja de Oro Grant Road in Santa Fe. According to the proposal "*The Fire Department will not use water from the current supply provided from the County owned well for the Agua Fria Station for training. Current trainings are conducted by bringing water on site in fire trucks from fire hydrants throughout the County*".

This proposal was reviewed pursuant to the Santa Fe County Land Development Code (Code) and the New Mexico Subdivision Act.

When a subdivision proposal is received by the OSE, the developer's water demand analysis is reviewed to determine if it is technically correct and reasonable. The OSE also verifies that the appropriate conservation measures are reflected in the analysis. Further, data in the water demand analysis is compared with the data and statements included in the disclosure statement and in the restrictive covenants to make sure that they are consistent with each other. Since the aforementioned documents are not provided with the applicant's submittal, the technical analysis described above was not performed.

Section 4.4.7 of the Code allows the Santa Fe County Land Use staff to refer applications as appropriate to state agencies for review. The OSE recognizes the proactive actions on behalf of the County to solicit the technical opinion of the OSE on this development plan. However, because the proposed development is not formally covered under the New Mexico Subdivision

NBA - 33

Agua Fria Fire Training Tower Development Plan
February 5, 2016
Page 2 of 2

Act, the OSE declines to provide an opinion at this time. We appreciate the opportunity to review the Agua Fria Fire Training Tower Development Plan submittal.

If you have any questions, please call Julie Valdez at 505-827-6790.

Sincerely,

A handwritten signature in black ink that reads "Molly Magnuson". The signature is written in a cursive, flowing style.

Molly Magnuson, P.E.
Water Use & Conservation Bureau Chief

cc: OSE Water Rights Division, Santa Fe Office

NBA-34



SUSANA MARTINEZ
Governor
JOHN A. SANCHEZ
Lieutenant Governor

NEW MEXICO
ENVIRONMENT DEPARTMENT

2540 Camino Edward Ortiz
Santa Fe, NM 87507
Phone (505) 827-1840 Fax (505) 827-1839
www.env.nm.gov



RYAN FLYNN
Cabinet Secretary
BUTCH TONGATE
Deputy Secretary

February 9, 2016

Jose Larrañaga, Development Review Team Leader
Planning and Development Division
Santa Fe County
P.O. Box 276
Santa Fe, NM 87504-0276

**RE: Site Development Plan/Conditional Use
Case # SDP 16-5000 Agua Fria Fire Training Tower**

Dear Mr. Larrañaga:

I have reviewed the correspondence you provided concerning the referenced development and have no comments relating to on-site treatment and disposal of liquid waste.

Please contact me with any questions or if you need additional information.

Sincerely,

Bill Brown
Liquid Waste Specialist
New Mexico Environment Department

NBA-35



Susana Martinez
Governor

STATE OF NEW MEXICO
DEPARTMENT OF CULTURAL AFFAIRS
HISTORIC PRESERVATION DIVISION

BATAAN MEMORIAL BUILDING
407 GALISTEO STREET, SUITE 236
SANTA FE, NEW MEXICO 87501
PHONE (505) 827-6320 FAX (505) 827-6338

February 17, 2016

Jose E. Larrañaga
Development Review Team Leader
County of Santa Fe
102 Grant Avenue
P.O. Box 276
Santa Fe, NM 87504-0276

RE: Site Development Plan/Conditional Use, Case # SDP 16-5000, Agua Fria Fire Training Tower

Dear Mr. Larrañaga:

I am writing in response to the request for review of the proposed modular fire fighter training tower. The site development plan was received at the Historic Preservation Division (HPD) on January 26, 2016.

A review of our records shows that the Agua Fria Fire Station property was surveyed for cultural resources in 2013 as part of a survey for Romero Park. No archaeological sites were found on the Fire Station property. Based on this information, the proposed training tower will have **No Effect on Historic Properties** and HPD has no concerns with the proposed development plan.

Please do not hesitate to contact me if you have any questions. I can be reached by telephone at (505) 827-4064 or by email at michelle.ensey@state.nm.us.

Sincerely,

A handwritten signature in black ink, appearing to read "Michelle M. Ensey".

Michelle M. Ensey
Archaeologist

Log: 102950

NBA-36

Jose Larranaga

From: Gerard A. Schoeppner
Sent: Thursday, February 18, 2016 10:05 AM
To: Jose Larranaga
Cc: Claudia I. Borchert; Robert J. George; Sandra J. Ely; Phyllis Bustamante
Subject: Site Development Plan - Agua Fria Fire Training Tower

Jose:
I reviewed the submittal for the Agua Fria Fire Training Tower project as requested. The project proposes to install a pre-designed, pre-engineered, two-story modular Fire Training Tower at the existing Agua Fria Fire Station. The application states that the project will not use water from the current supply provided by a County owned well which supplies the Agua Fria Fire Station for training and therefore, a water budget was not submitted. Current trainings are conducted by delivering water in fire trucks which originate from fire hydrants throughout the County. Additionally, landscaping is not proposed to be planted due to the type of training at the facility.

Because Utilities will not provide water service to the project, an analysis of water availability and the water budget is not required. Please contact me if you have any questions.

Jerry

*Jerry Schoeppner, P.G.
Santa Fe County Utilities Division
Physical address: 424 Hwy 599 New Mexico Frontage Road, Santa Fe, NM, 87507;
Mailing address: P.O. Box 276, Santa Fe, NM 87504
Office: 505-992-9871
Mobile: 505-231-2346*

[Link to Google Map of our Office Location](#)

NBA-37

Henry P. Roybal
Commissioner, District 1

Miguel Chavez
Commissioner, District 2

Robert A. Anaya
Commissioner, District 3



Kathy Holian
Commissioner, District 4

Liz Stefanics
Commissioner, District 5

Katherine Miller
County Manager

Santa Fe County Fire Department Fire Prevention Division

Official Development Review

Date	2/5/2016		
Project Name	Agua Fria Fire Training Tower		
Project Location	5232 Agua Fria Park Rd		
Description	Training Tower	Case Manager	Jose Larranaga
Applicant Name	Santa Fe County Fire Department	County Case #	SDP16-5000
Applicant Address	35 Camino Justicia Santa Fe, NM 87508	Fire District	Agua Fria
Applicant Phone	505-995-3079		
Review Type:	Commercial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Sprinklers <input type="checkbox"/> Hydrant Acceptance <input type="checkbox"/>	Inspection <input type="checkbox"/> Lot Split <input type="checkbox"/> Wildland <input type="checkbox"/> Variance <input type="checkbox"/> Zone No. _____	
Project Status:	Approved <input checked="" type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denial <input type="checkbox"/>		

The Fire Prevention Division/Code Enforcement Bureau of the Santa Fe County Fire Department has reviewed the above submittal and requires compliance with applicable Santa Fe County fire and life safety codes, ordinances and resolutions as indicated.

Fire Department Access

Shall comply with Article 9 - Fire Department Access and Water Supply of the 1997 Uniform Fire Code inclusive to all sub-sections and current standards, practice and rulings of the Santa Fe County Fire Marshal

- **Fire Access Lanes**

Section 901.4.2 Fire Apparatus Access Roads. (1997 UFC) When required by the Chief, approved signs or other approved notices shall be provided and maintained for fire apparatus access roads to identify such roads and prohibit the obstruction thereof or both.

- **Roadways/Driveways**

Shall comply with Article 9, Section 902 - Fire Department Access of the 1997 Uniform Fire Code inclusive to all sub-sections and current standards, practice and rulings of the Santa Fe County Fire Marshal.

Roads meet the minimum County standards for fire apparatus access roads of a minimum 12' wide all-weather driving surface and an unobstructed vertical clearance of 13' 6" within this type of proposed development. If a gate is proposed it shall be minimum 14' wide.

- **Street Signs/Rural Address**

Section 901.4.4 Premises Identification (1997 UFC) Approved numbers or addresses shall be provided for all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property.

Section 901.4.5 Street or Road Signs. (1997 UFC) When required by the Chief, streets and roads shall be identified with approved signs.

- **Slope/Road Grade**

Section 902.2.2.6 Grade (1997 UFC) The gradient for a fire apparatus access road shall not exceed the maximum approved.

The driveway/fire access does not exceed 11% slope and shall have a minimum 28' inside radius on curves.

- **Restricted Access/Gates/Security Systems**

Section 902.4 Key Boxes. (1997 UFC) When access to or within a structure or an area is unduly difficult because of secured openings or where immediate access is necessary for life-saving or firefighting purposes, the chief is authorized to require a key box to be installed in an accessible location. The key box shall be of an approved type and shall contain keys to gain necessary access as required by the chief.

To prevent the possibility of emergency responders being locked out, all access gates should be operable by means of a key or key switch, which is keyed to the Santa Fe County Emergency Access System (Knox Rapid Entry System). Details and information are available through the Fire Prevention office.

- **Fire Extinguishers**

Article 10, Section 1002.1 General (1997 UFC) Portable fire extinguishers shall be installed in occupancies and locations as set forth in this code and as required by the chief. Portable fire extinguishers shall be in accordance with UFC Standard 10-1.

General Requirements/Comments

- **Inspections/Acceptance Tests**

Shall comply with Article 1, Section 103.3.2 - New Construction and Alterations of the 1997 Uniform Fire Code, inclusive to all sub-sections and current standards, practice and rulings of the Santa Fe County Fire Marshal.

- **Permits**

As required

Final Status

Recommendation for Final Development Plan approval with the above conditions applied.

Buster Patty



Fire Marshal

2-5-16
Date

Through: David Sperling, Chief

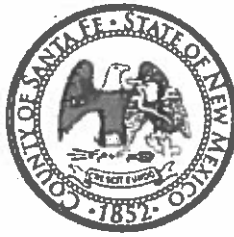
File: DevRev/Agua Fria/Agua Fria Fire Training Tower/2.5.16

Cy: Jose Larranaga, Land Use
Applicant
File

Henry P. Roybal
Commissioner, District 1

Miguel M. Chavez
Commissioner, District 2

Robert A. Anaya
Commissioner, District 3



Kathy Holian
Commissioner, District 4

Liz Stefanics
Commissioner, District 5

Katherine Miller
County Manager

**PUBLIC WORKS DIVISION
MEMORANDUM**

Date: February 2, 2016

To: Jose Larranaga, Land Use Department

From: Paul Kavanaugh, Engineering Associate Public Works *R*
Johnny P. Baca, Traffic Manager Public Works *JP*

Re: CASE # SDP 16-5000 Agua Fria Fire Training Tower

The referenced project has been reviewed for compliance of the Santa Fe County Sustainable Land Development Code (SLDC), and shall conform to roads and driveway requirements of Sustainable Design standards **Chapter 7.4 (Access and Easements) and Chapter 7.11 (Road Design Standards)**. The referenced project is located within the Traditional Community of Agua Fria, approximately 0.3 miles northeast of the South Meadows Road / NM 599 Veterans Memorial Highway intersection, and approximately 0.23 miles southeast of Alameda Frontage Road / Caja Del Oro Grant Road (C. R. 62) intersection, within Section 9, Township 17 North, Range 31 East. The applicant is requesting an approval for the installation of a Modular Fire Fighter Training Tower.

Access:

Caja Del Oro Grant Road (C. R. 62) is a county maintained paved road with two (2) eleven (11') feet driving lanes, with three (3') feet shoulders and bar ditches. The applicant is proposing to use the existing driveway and is not planning any changes to the existing entrance.

A Traffic Impact Analysis is not required due to the low volume created by the proposed project.

Conclusion:

Public Works has reviewed the submittal and feels that they can support the above mentioned project as proposed.

NBA - 41

Memorandum

To: Jose Larrañaga – Development Review Team Leader
CC: Robert Griego – Planning Manager
From: Planning Staff
Date: 2/19/2016
Re: **Site Development Plan/Conditional Use, Case #SDP 16-5000 Agua Fria Fire Training Tower**

Background: The Agua Fria Fire Station is located at 58 Caja de Oro Grant Road. The application is seeking approval to construct a new training tower on the site. Zoning for the property is VACD PI and the use is conditional.

The Sustainable Land Development Code (SLDC), was implemented January 15, 2016. VACD PI is section 9.12 of the SLDC and is the zoning section used to review the application design and development requirements. Village of Agua Fria's Use Table is Table 9-12-8.

Planning Review: The Sustainable Growth Management Plan (SGMP), which was updated and adopted by Resolution 2015-155 will be used to determine if the application is in line with Chapter 2: Land Use Element. Along with the SGMP, Community Plans will be reviewed if the application is within a community overlay.

The application falls within the Village of Agua Fria Overlay District an area that is under the Village of Agua Fria Community Plan and 2015 Village of Agua Fria Community Plan Update.

- The Future Land Use Map in the 2015 Village of Agua Fria Plan Update categorized the application parcel as Public Institutional to accommodate governmental uses. The proposed use would fit with the Future Land Use Map for the Village of Agua Fria.
- An issue identified in the Agua Fria Community 2015 Plan Update was the availability of water. The application states that water for training proposes will be trucked in and there will not be additional well pumping for the use.

- An additional community concerns over traffic and inappropriate development review from the community are listed in the 2015 Plan Update. The public meeting with the Agua Fria Village Association took place on February 1, 2016 and the applicant notes that the comments were positive for this development.

Open Space Review:

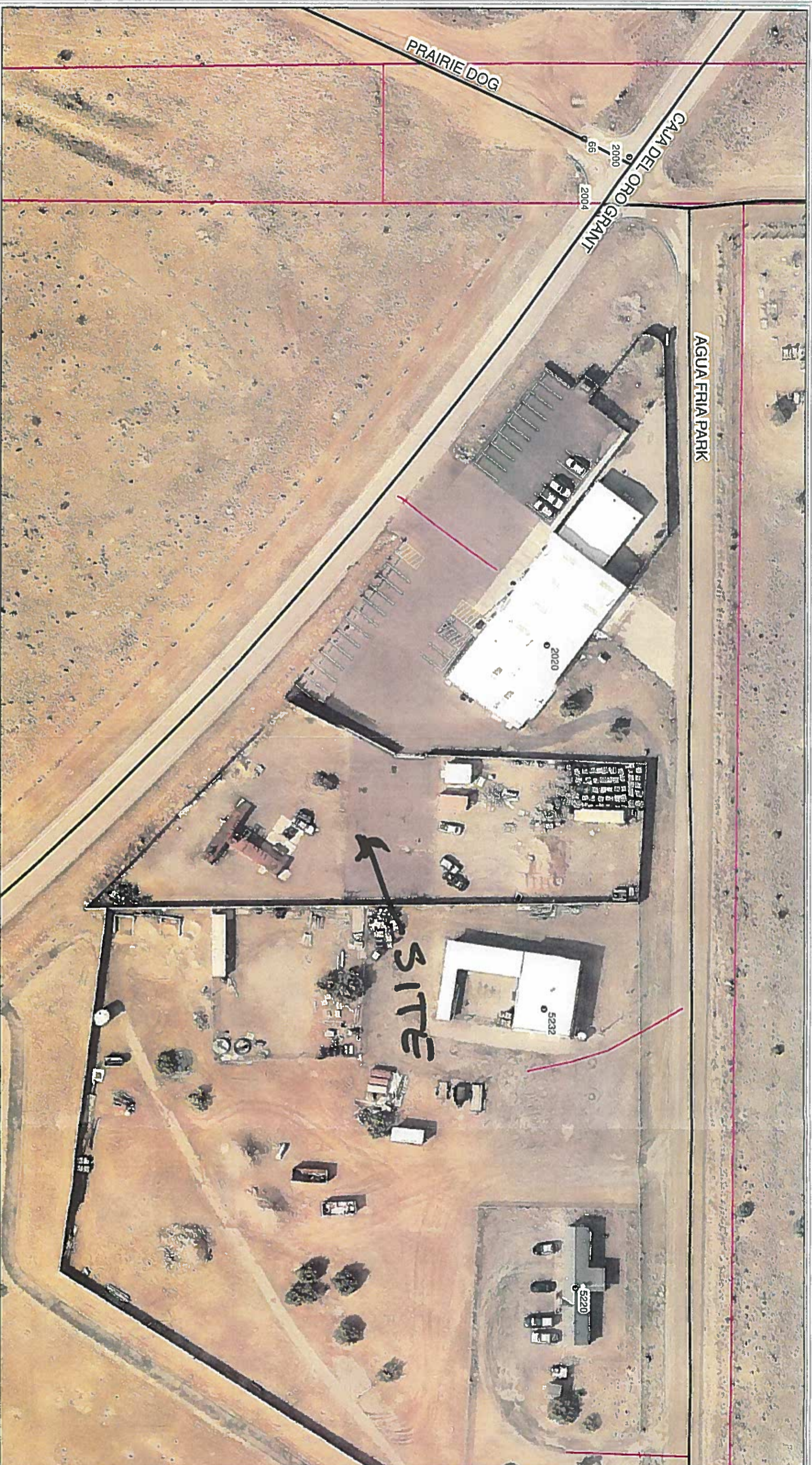
- The SGMP Chapter 6 and the Agua Fria Community Plan and 2015 Update prioritize development of the Santa Fe River Greenway as the primary open space corridor to enhance the community's identity and sense of place by providing a unique recreational area and a safe route for non-motorized transportation.
- The Romero Park Master Plan was approved in 2014 to guide the development of the 82 acre parcel on which the fire station is also sited
- The Proposed training facility is within the existing Fire Station's facility footprint and does not appear to pose a negative impact on the adjoining park facility.

Transportation Planning Review: SGMP Chapter 10: Transportation will be used to determine if the application is consistent with Comprehensive Plan for Santa Fe County.

- The construction and use of this training tower is not expected to have a significant impact on the road network. The site is within a SDA-2 area; the recommended Level of Service (LOS) for transportation facilities is D. Any additional traffic that would be generated from the use of the tower is not expected to impact the LOS for the road network.

Staff Recommendation:

Staff Recommends Approval of the Site Development Plan/Conditional Use, Case #SDP 16-5000 Agua Fria Fire Training Tower.

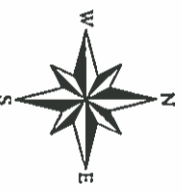


- Legend**
- ROADS
 - DEVELOPMENTS
 - 0.2 % Annual Chronic Flood Hazard
 - 2011 Zone A (No SFEs Element)
 - 2011 Zone AE
 - 2011 Floodways
 - 2011 Zone AD
 - 2011 Zone D
 - 100 YR FEMA
 - 500 YR FEMA
 - PARCELS



1:720
1 inch represents 60 feet

0 12.525 50 75 100 Feet



2015 Imagery
2 FOOT CONTOURS

This information is for reference only.
Santa Fe County assumes no liability for errors associated with the use of these data.
User are solely responsible for confirming data accuracy.



January 19, 2016
NBA-44



Use	Function	Structure	Activity	VAFC D RES-E	VAFC D TC	VAFC D CN	VAFC D PI	Special Conditions
Movie Ranch				X	X	C	C	
Camps, camping, and related establishments	5400			X	X	C	C	
Exhibitions and art galleries		4410		X	X	C	C	
Performing arts or supporting establishment	5100			X	X	C	C	
Theater, dance, or music establishment	5101			X	X	C	C	
Institutional or community facilities								
Community center		2200		C	C	P	P	
Hospitals		4110		X	X	C	P	
Medical clinics		4120		C	C	C	P	
Social assistance, welfare, and charitable services (not otherwise enumerated)	6560			C	C	C	C	
Child and youth services	6561			X	X	C	C	
Child care institution (basic)	6562			P	P	P	P	
Child care institution (specialized)	6562			P	P	P	P	
Day care center	6562			P	P	P	P	
Community food services	6563			X	X	C	C	
Emergency and relief services	6564			X	X	C	P	
Other family services	6565			X	X	C	C	
Services for elderly and disabled	6566			X	X	C	C	
Animal hospitals	6730			X	X	C	P	
School or university (privately owned)		4200		P	P	P	P	
Grade school (privately owned)		4210		P	P	P	P	
College or university facility (privately owned)		4220		P	P	P	P	
Technical, trade, and other specialty schools	6140	4230		C	C	C	C	
Library		4300		C	C	P	P	
Museum, exhibition, or similar facility	5200	4400		C	C	P	P	
Planetarium		4420		X	X	C	C	
Aquarium		4430		X	X	C	C	
Zoological parks		4450		X	X	C	C	
Public safety related facility			4500	X	X	C	C	
Fire and rescue station			4510	X	X	C	C	
Police station			4520	X	X	C	C	
Emergency operation center			4530	X	X	C	C	*
Correctional or rehabilitation facility			4600	X	X	X	X	*
Cemetery, monument, tombstone, or mausoleum			4700	C	C	C	C	
Funeral homes			4800	X	X	C	X	
Cremation facilities			4800	X	X	X	X	
Public administration		6200		X	X	C	C	



EXHIBIT
5

NBA-45

Table 9-12-5: Dimensional Standards VAFCD PI (Public/Institutional).

PI Zoning District	PI
Density	2.5*
Frontage (minimum, feet)	40
Lot width (minimum, feet)	n/a
Lot width (maximum, feet)	n/a
Height (maximum, feet)	48
Lot coverage (maximum, percent)	80



* Density shall be 1 acre if the surrounding zoning district is RC, reduced to 0.75 acres if the surrounding zoning district is TC.

5. VAFCD Planned Development District (VAFCD PDD); Generally. In order to recognize existing approvals, PDDs identified on the initial zoning map may be built out in accordance with their approved master plans.

a. Expansion of existing PDDs. Non-residential structures within an existing PDD may expand up to twenty-five (25%) under a conditional use permit.

9.12.4. Supplemental Zoning Standards. The standards of Chapter 10 of this Code shall be applicable to all development, except as otherwise specified herein.

9.12.4.1. Home Occupations. The standards for Home Occupations shall be as identified in Chapter 10 of this Code with the following exceptions:

1. There shall be no Medium Impact Home Occupations in the VAFCD.

(b) New commercial development shall be set back no less than 10 feet from the front property line, 5 feet from rear and side property lines.

(c) If a property does not have 100 feet on one or more sides the setback may be 0 feet from that property line.

3. VAFCD Commercial Neighborhood (VAFCD CN); Purpose. The purpose of this district is to allow for low-rise low-intensity convenience retail and personal services, as well as office uses, which are intended to serve and are in close proximity to individual residential neighborhoods. In the Village of Agua Fria parcels designated Commercial Neighborhood have previously received masterplan approval for a commercial use on the property. The size of neighborhood commercial districts will typically be between one and twenty contiguous acres.

a. Use Regulations. Uses shall be permitted, conditional and prohibited as identified in Chapter 8 and Appendix B of this Code, with exceptions identified on the VAFCD Use Table.

i. Bicycle, motorcycle, all-terrain vehicle dealers:

(a) This use shall be permitted for bicycle dealers only.

b. Dimensional Standards. As regulated in Chapter 7 and 8 of this Code except as prescribed in Table 9-12-4.

Table 9-12-4: Dimensional Standards VAFCD CN (Commercial Neighborhood).

CN Zoning District	CN
Density	2.5*
Frontage (minimum, feet)	50
Lot width (minimum, feet)	n/a
Lot width (maximum, feet)	n/a
Height (maximum, feet)	24
Lot coverage (maximum, percent)	80
Maximum size of individual establishments (sq. ft.)	5,000

*Density shall be reduced to 0.75 acres if the surrounding zoning district is TC.

c. Setbacks. Non-residential developments shall be set back no less than 25 feet from the property line of existing residential properties.



4. VAFCD Public/Institutional (VAFCD PI); Purpose. The purpose of this district is to allow governmental, educational, and non-profit or institutional uses, including public or community parks and recreation facilities, and public, non-profit, and institutional residential uses, but excluding any such uses of an extensive heavy industrial character.

a. Use Regulations. Uses shall be permitted, conditional and prohibited as identified in Chapter 8 and Appendix B of this Code, with exceptions identified on the VAFCD Use Table.

b. Dimensional Standards. As regulated in Chapter 7 and 8 of this Code except as prescribed in Table 9-12-5.



NBA-46

~~14.8.4.5. Lot Consolidation Plats. A development permit will be issued to authorize a lot consolidation that has been approved pursuant to the SLDC, together with any conditions.~~

~~14.8.5. Family Transfers. For approval of a property transfer to a family member in accordance with § 5.4.3.2.~~

~~14.8.6. Temporary Use Permits. To permit certain temporary uses pursuant to Chapter 10.~~

~~14.9. DEVELOPMENT APPROVALS REQUIRING A HEARING.~~

~~14.9.1. Plans and Plan Amendments. For adoption or amendment of certain plans (see Chapter 2) in accordance with the procedures established in Chapter 1.~~

~~14.9.2. SLDC Text Amendments. For an amendment to the text of the SLDC pursuant to Chapter 1.~~

~~14.9.3. Map Amendments and Rezoning. For an amendment to the zoning map (rezoning) pursuant to Chapters 1, 4 and 8.~~

~~14.9.4. Developments of Countywide Impact. A separate development permit will be issued to authorize each development of county-wide impact (DCI) following the creation of any necessary floating zone (as applicable) pursuant to Chapter 11.~~

~~14.9.5. Subdivisions. For approval of major subdivision plans in accordance with Chapter 5.~~

~~14.9.6. Conditional Use Permits. For approval of certain conditional uses as set forth in the Use Matrix and elsewhere in the SLDC, pursuant to this subsection.~~



14.9.6.1. Purpose and Findings. This section provides for certain uses that, because of unique characteristics or potential impacts on adjacent land uses, are not permitted in zoning districts as a matter of right but which may, under appropriate standards and factors set forth herein, be approved. These uses shall be permitted through the issuance of a conditional use permit (CUP).

14.9.6.2. Applicability. The provisions of this section apply to any application for approval of a CUP as required by the Use Matrix. Conditional uses are those uses that are generally compatible with the land uses permitted by right in a zoning district but that require individual review of their location, design and configuration, and the imposition of conditions or mitigations in order to ensure the appropriateness of the use at a particular location within a given zoning district. Only those uses that are enumerated as conditional uses in a zoning district, as set forth in the use matrix may be authorized by the Planning Commission. No inherent right exists to receive a CUP. Concurrent with approval of a CUP, additional standards, conditions and mitigating requirements may be attached to the development order. Additionally, every CUP application shall be required to comply with all applicable requirements contained in the SLDC. Additionally, every CUP application shall be required to comply with all applicable requirements contained in the SLDC.

14.9.6.3. Application. An applicant may apply for a CUP by filing an application for discretionary development approval with the Administrator. A site development plan is required for a CUP and shall include any SRAs required pursuant to Table 6-1 in Chapter 6.

NBA-47



14.9.6.4. Review. The application shall be referred to the Planning Commission for the holding of a quasi-judicial public hearing.

14.9.6.5. Approval Criteria. Before any conditional use permit may be approved, it shall appear that the use for which the permit is requested will not:

1. Be detrimental to the health, safety and general welfare of the area;
2. Tend to create congestion in roads;
3. Create a potential hazard for fire, panic, or other danger;
4. Tend to overcrowd land and cause undue concentration of population;
5. Interfere with adequate provisions for schools, parks, water, sewerage, transportation or other public requirements, conveniences or improvements;
6. Interfere with adequate light and air;
7. Be inconsistent with the purposes of the property's zoning classification or in any other way inconsistent with the spirit and intent of the SLDC or SGMP.

14.9.6.6. Conditions. In approving any CUP, the Planning Commission may:

1. Impose such reasonable standards, conditions, or mitigation requirements, in addition to any general standard specified in the SLDC or the SGMP, as the Planning Commission may deem necessary. Such additional standards, conditions, or mitigation requirements may include, but are not be limited to:

- a. financing and availability of adequate public facilities or services;
- b. reservations and dedications;
- c. payment of development fees;
- d. establishment of assessment and public improvement districts;
- e. adoption of restrictive covenants or easements;
- f. special buffers or setbacks, yard requirements, increased screening or landscaping requirements;
- g. area requirements;
- h. development phasing;
- i. standards pertaining to traffic, circulation, noise, lighting, hours of operation, protection of environmentally sensitive areas, or preservation of archaeological, cultural and historic resources; and
- j. provision of sustainable design and improvement features, solar, wind or other renewable energy source, rainwater capture, storage and treatment or other sustainability requirements.

NBA-48

2. Require that a payment and performance guaranty be delivered by the owner/applicant to the Administrator to ensure compliance with all conditions and mitigation measures as are set forth in the development order; and

3. Encourage that a voluntary development agreement be entered into between the owner/applicant and the County to carry out all requirements, conditions and mitigation measures.

14.9.6.7. Scope of Approval. The CUP approval applies only to the project as presented and approved at the hearing. If the project changes in any way it will be subject to the major/minor amendments provisions of §14.9.6.8.

14.9.6.8. Amendments. An amendment is a request for any enlargement, expansion, greater density or intensity, relocation, decrease in a project's size or density, or modification of any condition of a previously approved and currently valid CUP.

1. Minor Amendments. Shifts in on-site location and changes in size, shape, intensity, or configuration of less than five percent (5%), or a five percent (5%) or less increase in either impervious surface or floor area over what was originally approved, may be authorized by the Administrator, provided that such changes comply with the following criteria:

a. No previous minor amendment has been previously granted pursuant to this section;

b. Nothing in the currently valid CUP precludes or otherwise limits such expansion or enlargement; and

c. The proposal conforms to the SLDC and is consistent with the goals, policies and strategies of the SGMP.

2. Minor Amendments Causing Detrimental Impact. If the Administrator determines that there may be any detrimental impact on adjacent property caused by the minor amendment's change in the appearance or use of the property or other contributing factor, the owner/applicant shall be required to file a major amendment.

3. Major Amendments. Any proposed amendment, other than minor amendments provided for in §14.9.6.8.1, shall be approved in the same manner and under the same procedures as are applicable to the issuance of the original CUP development approval.

4. Recording Procedures. A certified copy of the approved CUP shall be recorded at the expense of the applicant in the office of the County Clerk, and another certified copy filed in the office of the Administrator.

14.9.6.9. Expiration of CUP. The development order granting a CUP shall expire after twenty-four (24) months, but may be renewed by the Planning Commission for up to twelve (12) additional months, unless substantial construction or operation of the building, structure or use authorized by the CUP has commenced. No further extension shall be granted under any circumstances, and any changes in the requirements of the SLDC, or federal or state law shall apply to any new CUP development approval application.

NIBA-49

CERTIFICATION OF POSTING

I herby certify that the public notice posting regarding a Site Development Plan Case # SDP 16-5000 was posted for 15 days on the property beginning the 10th day of February, 2016. **


Signature

*Photo of posting taken from a public road must be provided with affidavit.

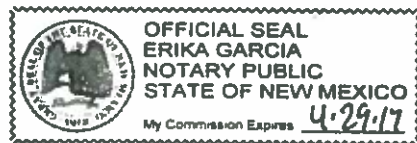
**PLEASE NOTE: Public notice is to be posted on the most visible part of the property. Improper legal notice will result in re-posting for an additional 15 days. It is the Applicant's responsibility to ensure that the notice is on the property for the full 15 days. Posted notice shall be removed no later than seven (7) days after a final decision has been made on the application.

STATE OF NEW MEXICO }
 }
COUNTY OF SANTA FE }

The foregoing instrument was acknowledged before me this 10th day of February, 2016, By Ron Sandone


Notary Public

My Commission Expires:
4/29/2017



NBA-50

PUBLIC NOTICE

Notice is hereby given that an application has been filed with Santa Fe County for THE INSTALLATION OF A MODULAR FIRE FIGHTER TRAINING TOWER, 30' IN HEIGHT ON 2.15 ACRES. THE SITE IS WITHIN THE VILLAGE OF AGUA FRIA DISTRICT OVERLAY (VAFCD) AND IS ZONED AS PUBLIC/INSTITUTIONAL (VACD PI). UNDER THE VAFCD USE TABLE A PUBLIC SAFETY RELATED FACILITY IS A CONDITIONAL USE.

Name of Applicant SANTA FE COUNTY

Address of Request 58 CASA DE ORO GRANT ROAD

Legal Description: Section _____ Township _____

Range _____ NMPM Santa Fe County, New Mexico.

A PUBLIC HEARING will be held/ ~~at~~ at the

Old Santa Fe County Courthouse, corner of Palace and Grant Avenues, Santa Fe, New Mexico on/ ~~the~~ the 25th day of

FEBRUARY, 2010, at 3pm before the SANTA FE COUNTY

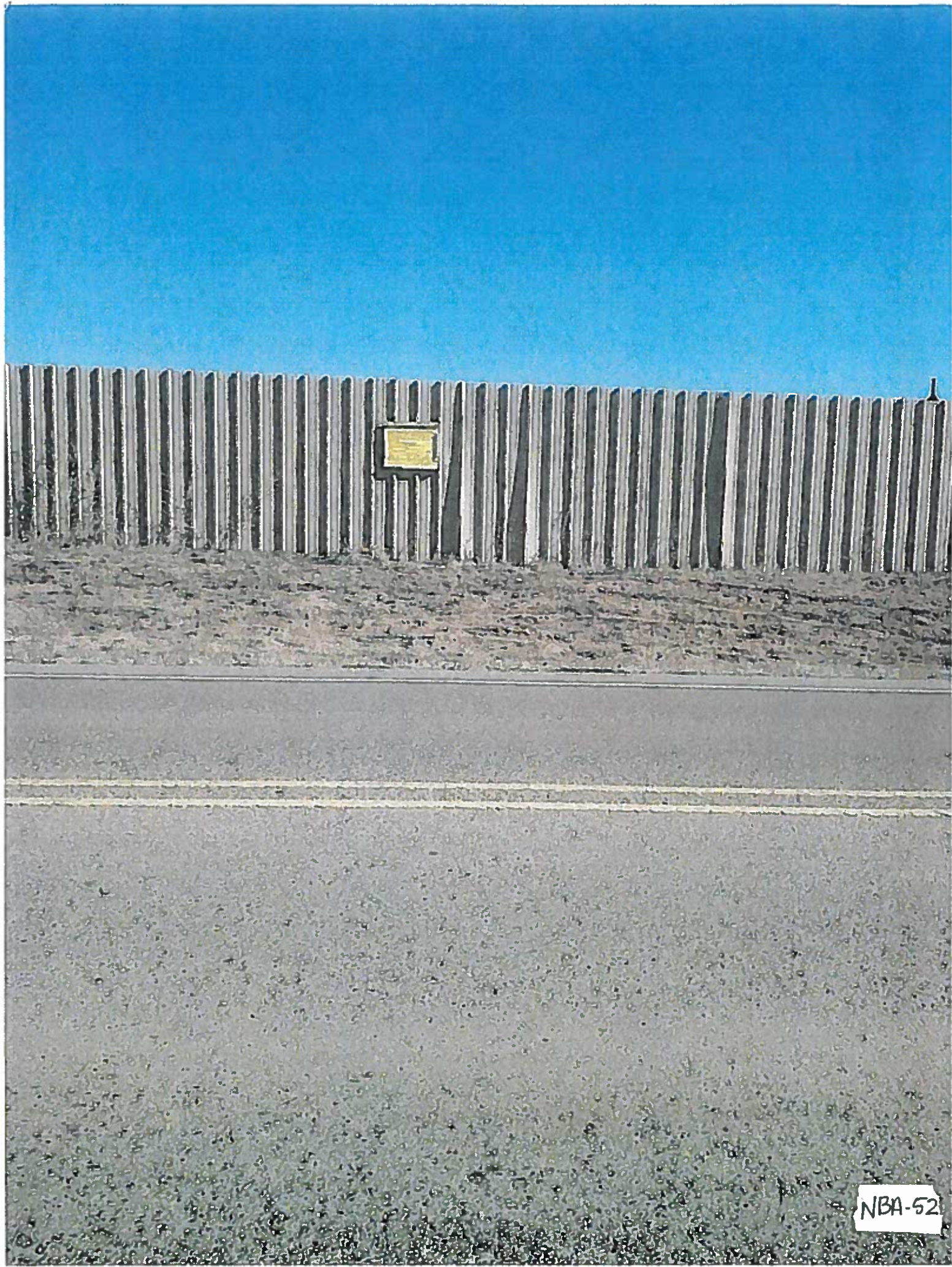
HEARING OFFICER & ON MARCH 17, 2010 AT 4pm BEFORE THE SFC PLANNING

Further information can be obtained by contacting, COMMISSION

the Land Use Department, P.O. Box 276, Santa Fe, NM 87504

Phone (505)986-6225. Development Permit # 10-5000

N3A-51



NBA-52

SANTA FE NEW MEXICAN

Ad Proof / Order Confirmation / Invoice

LEGAL# 80623

CASE # SDP 16-5000
Agua Fria Fire Training Tower

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held to consider a request by Santa Fe County, to allow the installation of a Modular Fire Fighter Training Tower, 30'6" in height, on 2.15 acres. The site is within the Village of Agua Fria District Overlay (VAFCO) and is zoned as Public/Institutional (VACD PI). Under the VAFCO Use Table a Public safety related Facility is a conditional use. The property is located at 58 Caja de Oro Grant Road, South of N.M. 599, (Commission District 2).

A public hearing will be held in the County Commission Chambers of the Santa Fe County Courthouse, corner of Grant and Palace Avenues, Santa Fe, New Mexico on the 25th day of February 2016, at 3 p.m. on a petition to the Santa Fe County Hearing Officer and on March 17, 2016 at 4 p.m. on a petition to the Santa Fe County Planning Commission.

Please forward all comments and questions to the County Land Use Administration Office at 986-6225.

All interested parties will be heard at the Public Hearing prior to the Hearing Officer/Planning Commission taking action.

All comments, questions and objections to the proposal may be submitted to the County Land Use Administrator in writing to P.O. Box 276, Santa Fe, New Mexico 87504-0276; or presented in person at the hearing.

Please forward affidavit of publication to the County Land Use Administrator, P.O. Box 276, Santa Fe, New Mexico 87504-0276.

Written verification of the publication shall

Account Number

2438

Ad Order Number

0000158201

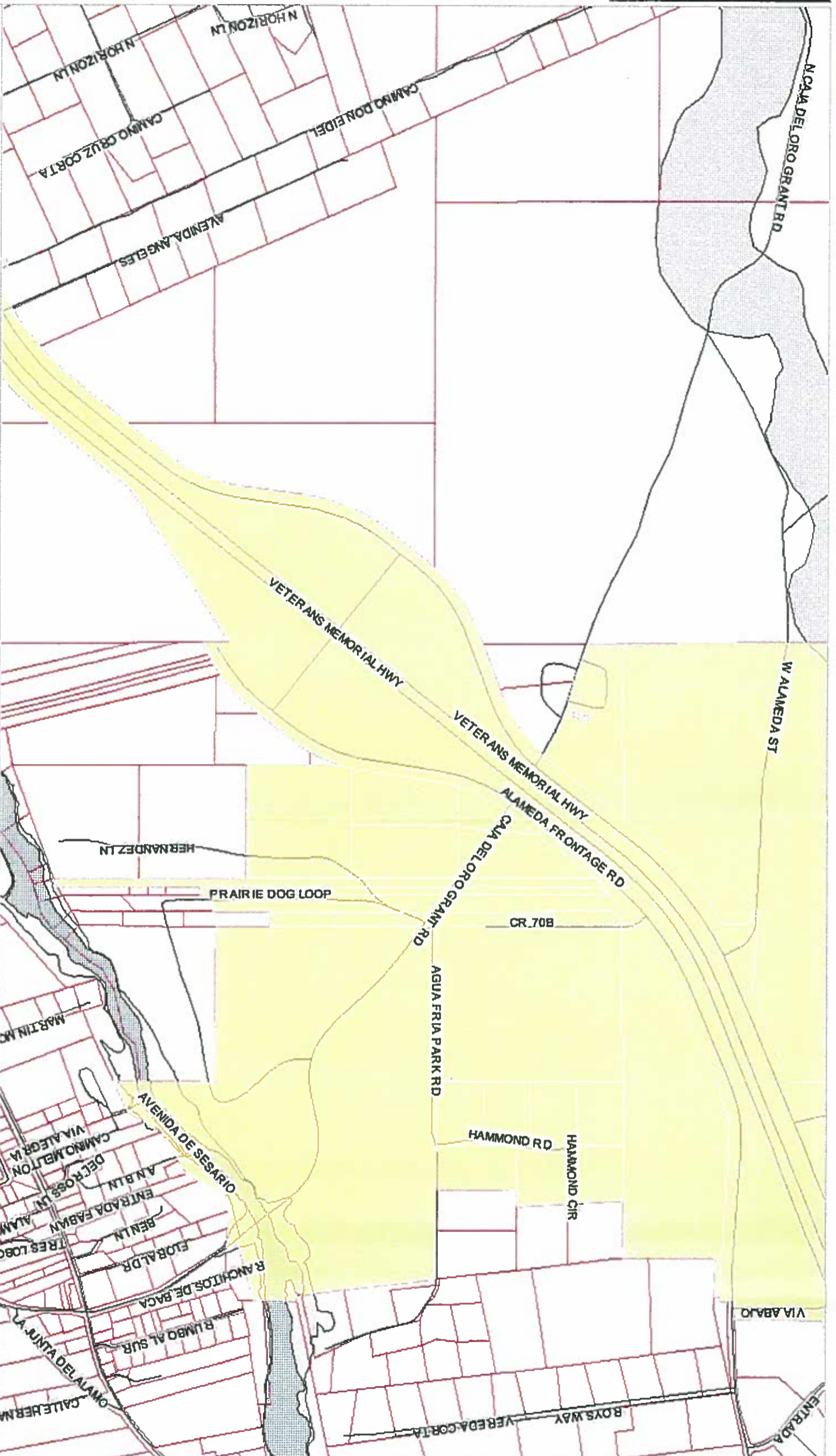
SF COUNTY

NBA-53



Santa Fe County
Government
www.santafecounty.org

Parcels within Santa Fe County



- Layers**
- Visible Active
 - Towns and Villages
 - Santa Fe County
 - Boundary
 - Streets, Roads and Highways
 - Eldorado Water & Sanitation District
 - Parcels (Draft Status)
 - Incorporated Areas
 - Flood Zones
 - Traditional Communities
 - 2007 Hydrologic Zone Boundaries
 - FEMA Panel Index

Refresh Map

Parcels (Draft Status)

Rec	UPCSEC	UPCX	UPCY	MAPAC	CORECPT	PRCSUB	PRCTRT	PRGBLK	PRCLOT	PRCBP	PRCALT	ACCT_NUM	UPC	LOCATE_ZIP	PROP_CODE	TAX_DIST	ST_DIR	ST_SUF	ST_NAME	ST_NUM	PLT_BKPG	DEED
1	1048096	357	237	0	-9999	-9999	-9999	-9999	-9999	-9999	0	124337013								0	0	0
2	1049097	106	465	69	-9999	-9999	-9999	-9999	-9999	-9999	54044032	1125086241	87505	VAC	CO				UNASSIGNED	0	382/003	69
3	1049097	286	404	21	-9999	-9999	-9999	-9999	-9999	-9999	0	1125266180								0	0	0
4	1049097	218	321	0	-9999	-9999	-9999	-9999	-9999	-9999	0	1125198097								0	0	0

Select Rectangle

NPA-54

RE APT_NUM	PARCEL_DAT	OWNER_NAME	OWNER_ADD1	OWNER_ADD2	OWNER_CITY	OWN_STATE	MAIL_ZIP	LEGAL1	LEGAL2
0		ARCHDIOCESE OF SF FOUNDATION	C/O MARY DUNN	2201 SAN PEDRO NE STE 211	ALBUQUERQUE	NM	87110	T17N R 9E S31 69.49 AC	TR A-1
0		JARAMILLO, DARRELL S &	BERNADETTE B HERRERA	1785 HAMMOND RD	SANTA FE	NM	87507384	T17N R 9E S31 2.50 AC	TRACT 1-D
0		GARCIA-CARRERA, BRENDA G &	CATANO, OSCAR M	5171 HAMMOND CIRCLE	SANTA FE	NM	87507	T17N R 9E S31 2.500 AC	TRACT 2A
1080222		COUNTY ROAD 62 LLC	PO BOX 38		ESPAÑOLA	NM	87532	T17N R 9E S31 3.98 AC	LOT 11 TR 1
0		GREAT WESTERN INVESTORS	PO BOX 309		SANTA FE	NM	875040309	T17N R 9E S31 5.410 AC LOT 11	SHC 5874
0		REESE, LILY S OR PHILLIP	3501 JUAN TABO BLVD NE UNIT C6		SANTA FE	NM	871115113	T17N R 9E S31 750 AC TR 388B	
990324		LOPEZ, ANTHONY D	2116 AVENIDA DE LAS ALTURAS		SANTA FE	NM	87505	T17N R 9E S31 .832 AC	PORTION E 1/2 S H C 544
0		CAPLING, CHARLOTTE TRUSTEE	MONTOVA GRANCHILDREN TRUST	PO BOX 309	SANTA FE	NM	87504309	T17N R 9E S31 3.000 AC	W 1/2 S H C 544 TR 4
0		GREAT WESTERN DEV CO	PO BOX 309		SANTA FE	NM	875040309	T17N R 9E S31 4.24 AC	LOT B
1001207		GONZALES, RITA & VICTOR	MAARTINEZ	PO BOX 29062	SANTA FE	NM	87592	T17N R 9E S31 2.500 AC	TRACT 1-C
1001207		BACA, ALEJANDRO D	PO BOX 23493		SANTA FE	NM	87502	T17N R 9E S31 2.500 AC	TRACT 3-A
0		HURTADO, MARY E	1349 CALLE CORAZZI		SANTA FE	NM	87507	T17N R 9E S31 2.774 AC	PORTION OF SHC 425 TRACT 3
0		GREAT WESTERN DEV CO	PO BOX 309		SANTA FE	NM	875040309	T17N R 9E S31 1.39 AC	LOT A
1001207		SPENCER, WILLIAM R & ROBBYN	GARDEN & MARLYN KEPES	1895 HAMMOND RD	SANTA FE	NM	87505	T17N R 9E S31 2.500 AC	TRACT 1-B
1001207		GARCIA, JOE RAY	1950 HAMMOND RD		SANTA FE	NM	87507	T17N R 9E S31 2.719 AC	TRACT 4-A
1040511		GONZALES MIGUEL A & MARCELA	809 CAMINO DE MONTE REY		SANTA FE	NM	87501	T17N R 9E S31 2.00 AC TR 4	BLK 1 PORT
1001207		MAEZ, ORLANDO	14 TRANQUOL TRAIL		SANTA FE	NM	87505	T17N R 9E S31 2.500 AC	TRACT 1-A
0		GREAT WESTERN DEV CO	GREAT WESTERN DEV CO	PO BOX 309	SANTA FE	NM	875040309	T17N R 9E S31 4.04 AC LOT C	
0		GREAT WESTERN DEV CO	GREAT WESTERN DEV CO	PO BOX 309	SANTA FE	NM	87505	T17N R 9E S31 5 AC LOT D	
0		SANTA FE COUNTY	4250 AIRPORT RD		SANTA FE	NM	87505	T17N R 9E S31 LOTS 13 & 14	SANTA FE COUNTY PROPERTY TAX EXEM
0		ESPARZA, OSCAR T & EMMA S	3716 GUNNISON RD		SANTA FE	NM	87507	T17N R 9E S31 .897 AC	
0		GREAT WESTERN DEV CO	PO BOX 309		SANTA FE	NM	875040309	T17N R 9E S31 10 AC TR 3	

WILLIAM MEE - AGUT FRIA VILLAGE 20977 CAMINO SAMUEL - MONTORA SANTA FE, NM 87505
 ASSOCIATION

Duplicate

these records

*Agua Fria Village Association
Meeting Agenda, Monday, February 1, 2016 at 6:00 p.m.
Nancy Rodriguez Community Center*

1. Call to Order.
2. Roll Call of Officers.
3. Invocation.
4. Recognition of Guests.
5. Perfection of Agenda.
6. Treasurer's Report.

Business Portion of meeting:

7. New Business.

A. Nichoe Lichen of Banking on New Mexico (the Public Banking entity at website: <http://bankingonnewmexico.org>.)

B. Charlie Velarde, Assistant Fire Chief, Santa Fe County Fire Department and former Chief of the Agua Fria Fire Department. We might also have the Fire Chief David Sperling and the wild lands fire coordinator Mike Fueller. They will also talk on the updating of the training site on Caja del Oro Road with the acquisition of two pods that are welded together and a fire is set inside for training purposes.

C. We will discuss starting a Community Organization for Agua Fria based on the email from the County finalizing the Sustainable Land Development Code (SLDC) and Zoning Map on January 15, 2016. The program will allow the Planning Committee to request to be recognized as a CO, which allows for added notification on developments and community involvement. If you have any questions please feel free to contact: Santa Fe County Planning; Amy M. Rincon amrincon@santafecountynm.gov or (505) 995-2717.

D. Setting up a meeting new Public Works Director Michael Kelley, Public Works Director (505) 992-3023 or mkkelley@santafecountynm.gov; like we did with old Director Adam Leigland. One idea was a petition for "Local Traffic Only" signs.

8. Old Business.

Update on Issues: West Santa Fe River Corridor Master Plan planning committee; Agua Fria Beautification plan; Calendar events from Community Update; Other.

9. Business from the Floor.

10. Adjournment.

2016 schedule: Usually the first Monday of the month unless noted. March 7, 2016; Tuesday April 5 (NCAA Playoffs are Monday the 4th); May 2; June 6; Second Monday July 11, 2016 (First Monday is July 4th); August 1; Second Monday September 12, 2016 (First Monday is Labor Day); October 3; Second Monday November 14, 2016 (First Monday is Election Eve); December 5, 2016.



NBA-56

Santa Fe County Fire Department

Memorandum

Date: February 02, 2016

To: Ron Sandoval , Project Manager-Santa Fe County

From: Charlie Velarde- Assistant Fire Chief, Operations and Training Division

Re: Agua Fria Community Meeting 1-1-16



Ron, here is a brief summary and attached agenda for the meeting attended last night at the Nancy Rodriguez Community Center regarding the Agua Fria Training Tower.

In attendance from Santa Fe County Fire Department:

Fire Chief David Sperling

Fire Chief Assistant Charlie Velarde-Operations and Training

Fire Captain Mike Feulner-Wildland Division

Aaron Western-Wildland Division

Approximately 20 Agua Fria Community members in attendance to include these *board members:

*William and Louis Mee

*Charlie Gonzlaes

*Rubel Gallegos

Gil Tercero

Ramon Olguin also in attendance that I recognized

Presented group with aerial photos of site and 4 pages of the Isometric view from the Fire Training Structures (schematic drawings) pointing out the construction, box sizes, assorted fire training props, locations of the 2 burn rooms, placement and position on site, and use by career and volunteer firefighters.

Photos of current (pods) burn buildings on site that are used for current and past fire burn trainings and pointing out the reason for the update from the current metal pods to the new modular burn building pods, railing and tower.

Questions from group:

1. How many times utilized a month?

Answer- approximately once a week for scheduled monthly trainings and sometimes on weekends for career and volunteer academies.

2. How long will burn structures (pods) last?

Answer- Depends on use and they are also modular which means that one of the burn pods can be replaced when it's met its usable life without having to replace all 3 units.

3. Burn materials to be used for training?

Answer: Wood pallets in lower burn room and propane for upper burn room.

At no time was there any opposition from the group.

Numerous positive comments expressing their appreciation and support of Santa Fe County Fire Fighters and our service to the community.

SANTA FE COUNTY
TECHNICAL ADVISORY COMMITTEE

January 25, 2016

Re: Agua Fria Fire Training Tower

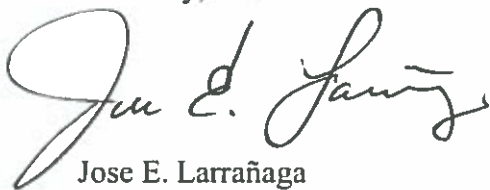
Ron Sandoval:

Thank you for presenting the above mentioned project at the pre-application Technical Advisory Committee (TAC) meeting on January 21, 2016. Below is a summary of relevant issues that were discussed at the TAC meeting:

- The design and use of the proposed structure
- Applicable requirements of the SLDC (water use, setbacks, height, environmental issues, visibility, access, Community Meeting)
- The procedure to be followed as a Conditional Use
- Schedule for review and hearing(s)
- Notice requirements

If you have any questions, please do not hesitate to contact this office at 986-6296.

Sincerely,



Jose E. Larrañaga
Development Review Team Leader

