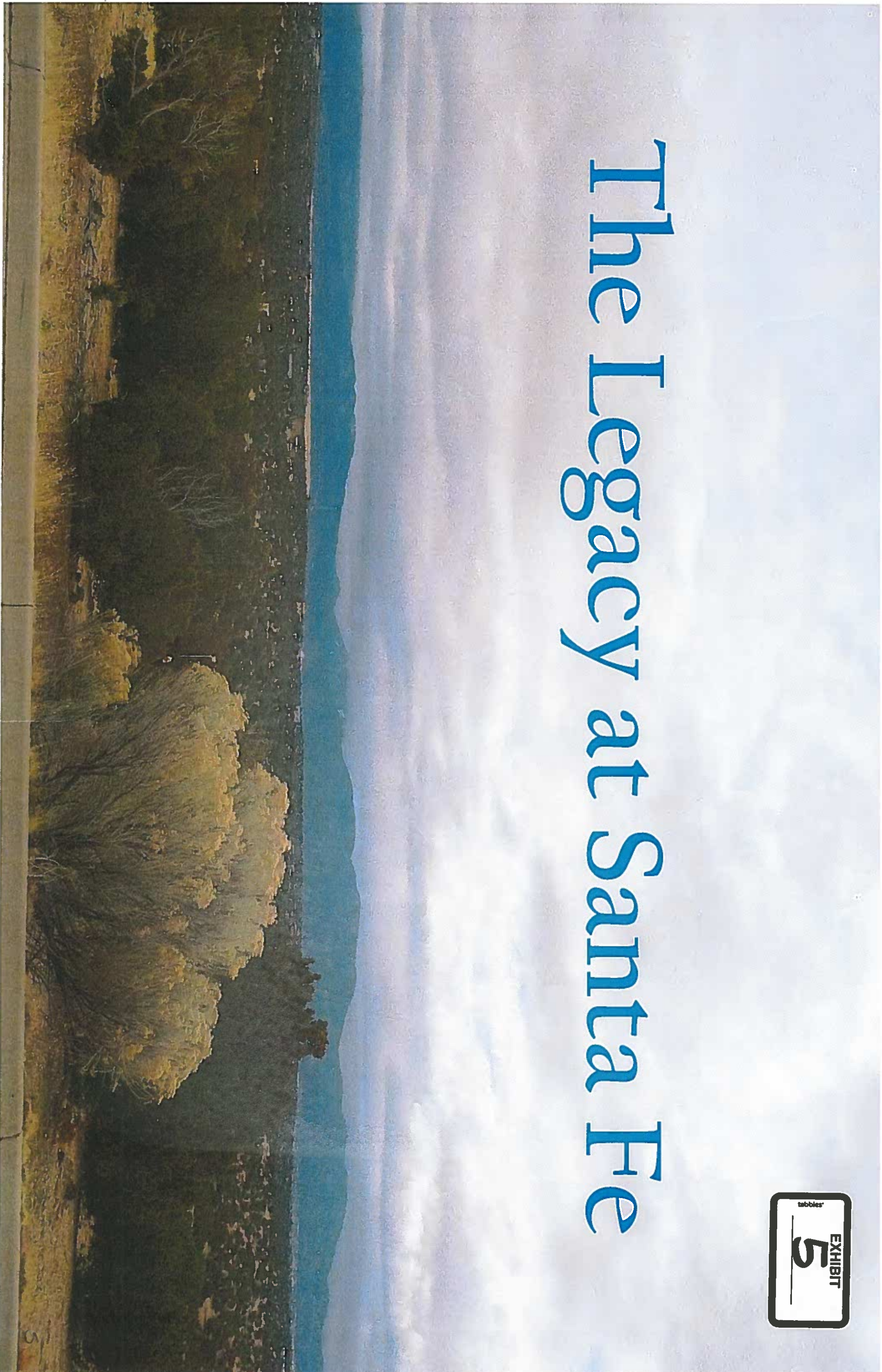


The Legacy at Santa Fe



The Legacy at Santa Fe-Project Overview

- ▶ Approximately 83 units
- ▶ 22 units of memory care
- ▶ 61 units Assisted Living
- ▶ Two stories, approximately 60,000 sf
- ▶ All residents are private pay with no government subsidies or Medicare/Medicaid diversion



Aldea Village Site Map

Aldea de Santa Fe

Step back in time to earlier centuries...

Aldea was home to a small Indian Pueblo and later a Spanish Colonial structure. On this land, rich in tri-cultural history, fourteen local families committed 3+5 pristine acres of land to a vision of a traditional, pedestrian-friendly village with a central plaza. World renowned architect and planner Andres Durny was engaged to utilize neo-traditional planning concepts to create Aldea de Santa Fe. His design integrates individual neighborhoods with picturesque parks and large open space preserves connected by trails and walkways. The village features a variety of distinct housing types. As Aldea Plaza grows, it will provide convenient commercial and retail services.

An invitation to a lifestyle that echoes the spirit of historic Santa Fe.



Aldea Home Owners Association 424-3901

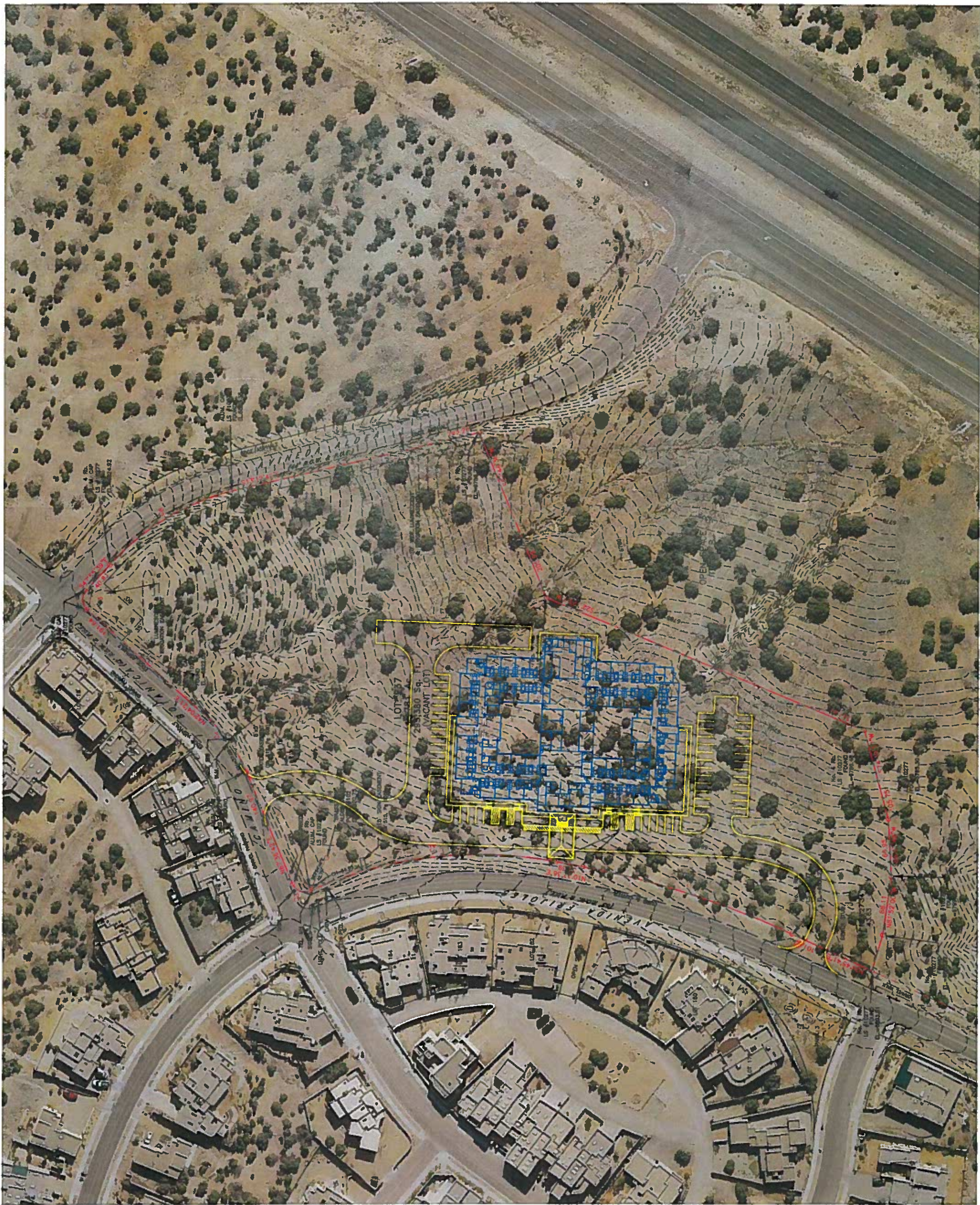
This site plan is an artistic illustration of Aldea de Santa Fe and is subject to change.

Trails are for the enjoyment of Aldea homeowners. Use trails at your own risk. Horseback riding in equestrian easements only.



NOTE: Some trails are natural walking trails and are not land or defined on the ground.







No. 4 RD.
ALUM. CAP
LS #10277
FOUND
EL. 6784.92

AVENIDA FRIJOLE
CALLE Y BULEVARD

CAMINO BOTANICA
42' ROW & PUE

AVENIDA ALDEA

BRASS ALDEA CONTROL POINT #10277 EL. 6820.00
5' x 15' SIGN EASEMENT (Bk. 2-5 Pg. 28)

No. 4 RD.
LS #10277
FOUND
EL. 6788.98



THE LEGACY AT SANTA FE

11-03-08



SCALE 1"=30'

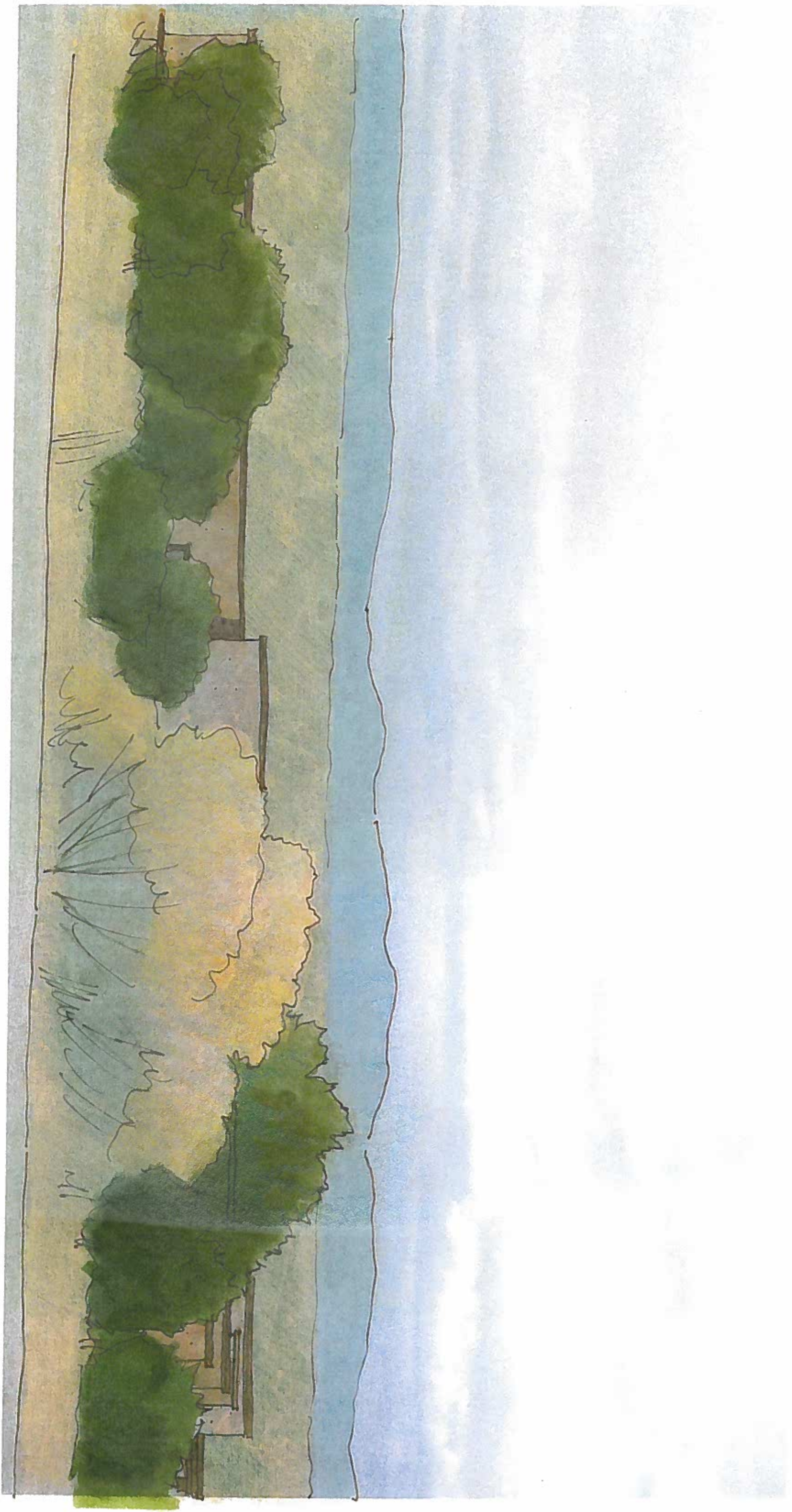


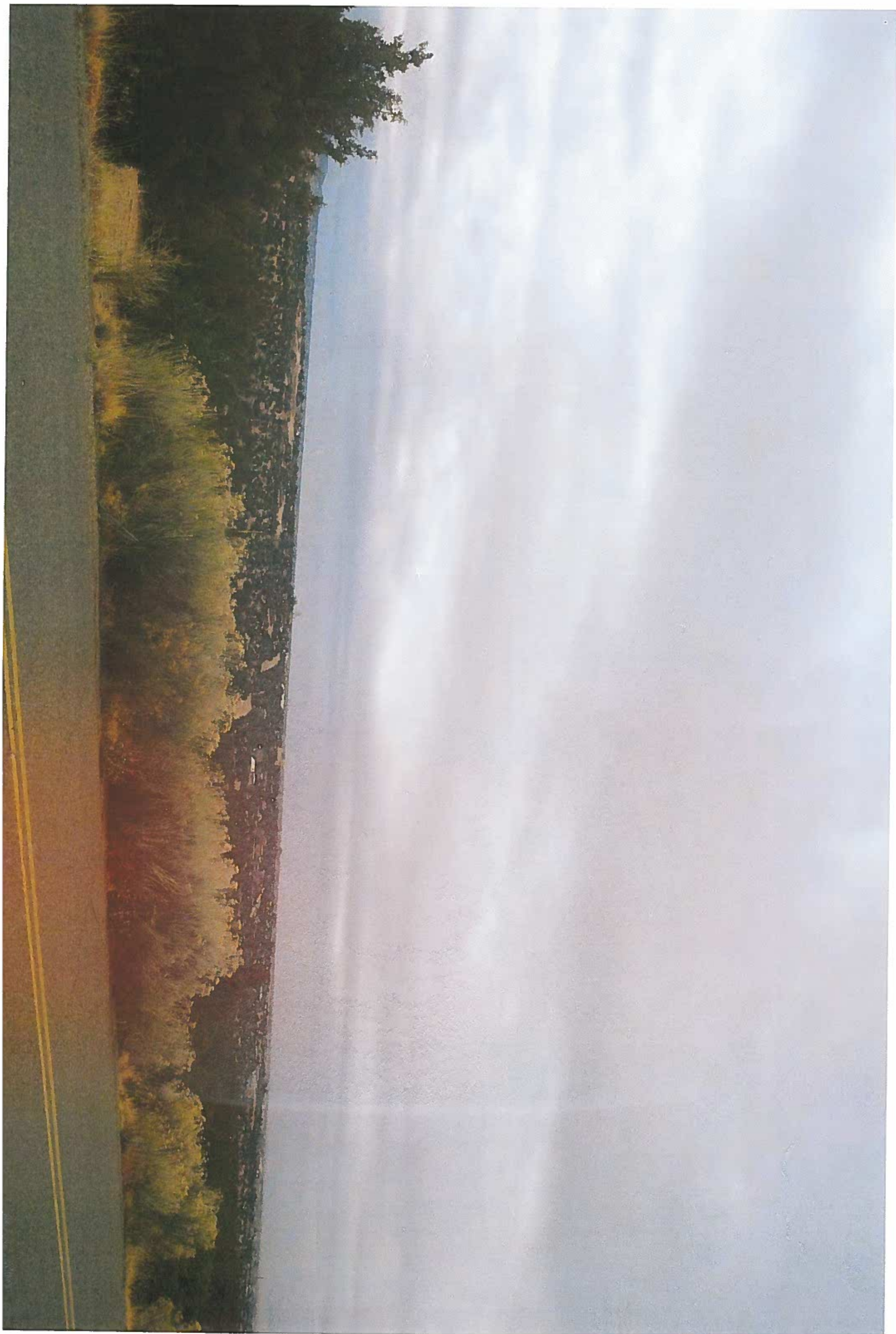
THE LEGACY AT SANTA FE
VIEW FROM SOUTH EAST

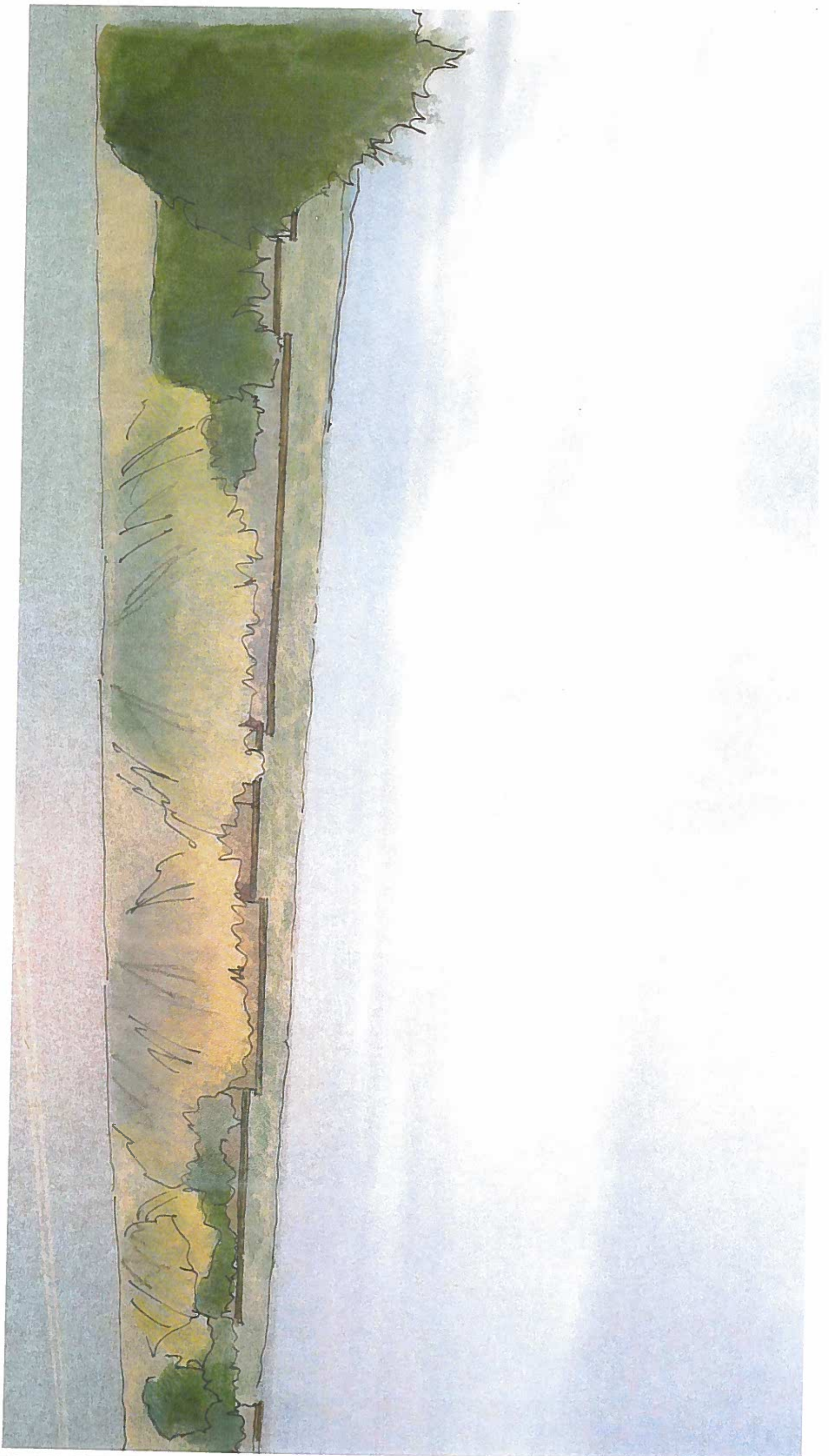


THE LEGACY AT SANTA FE
VIEW FROM SOUTH WEST









LOT 183

LOT 182

EN SPACE

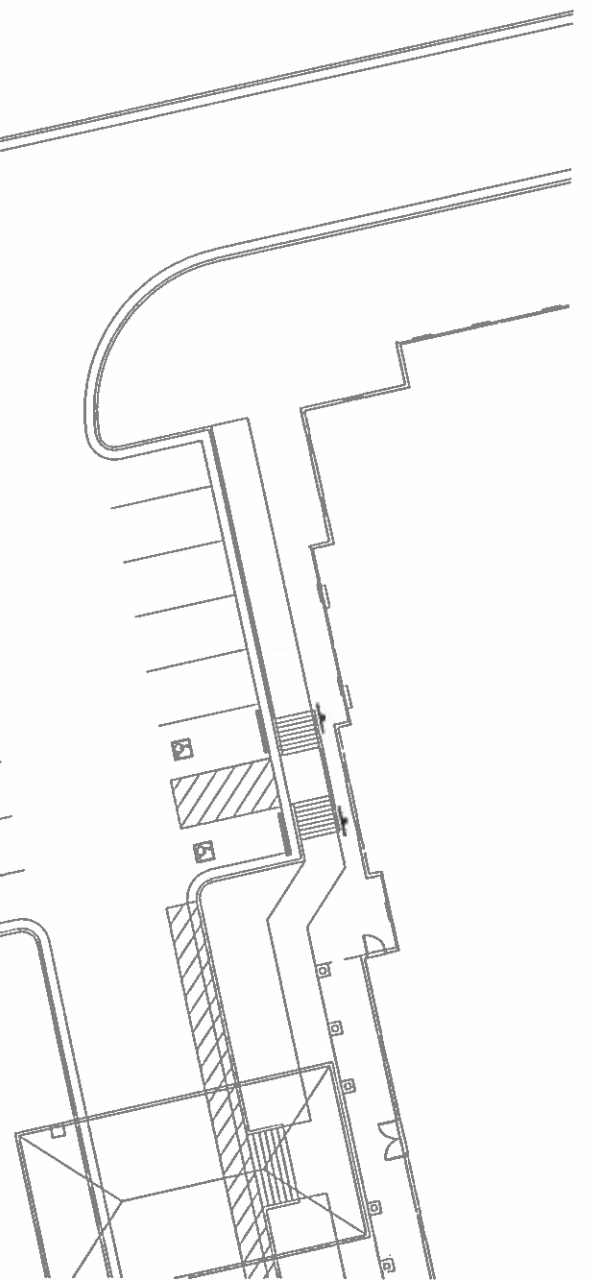
181

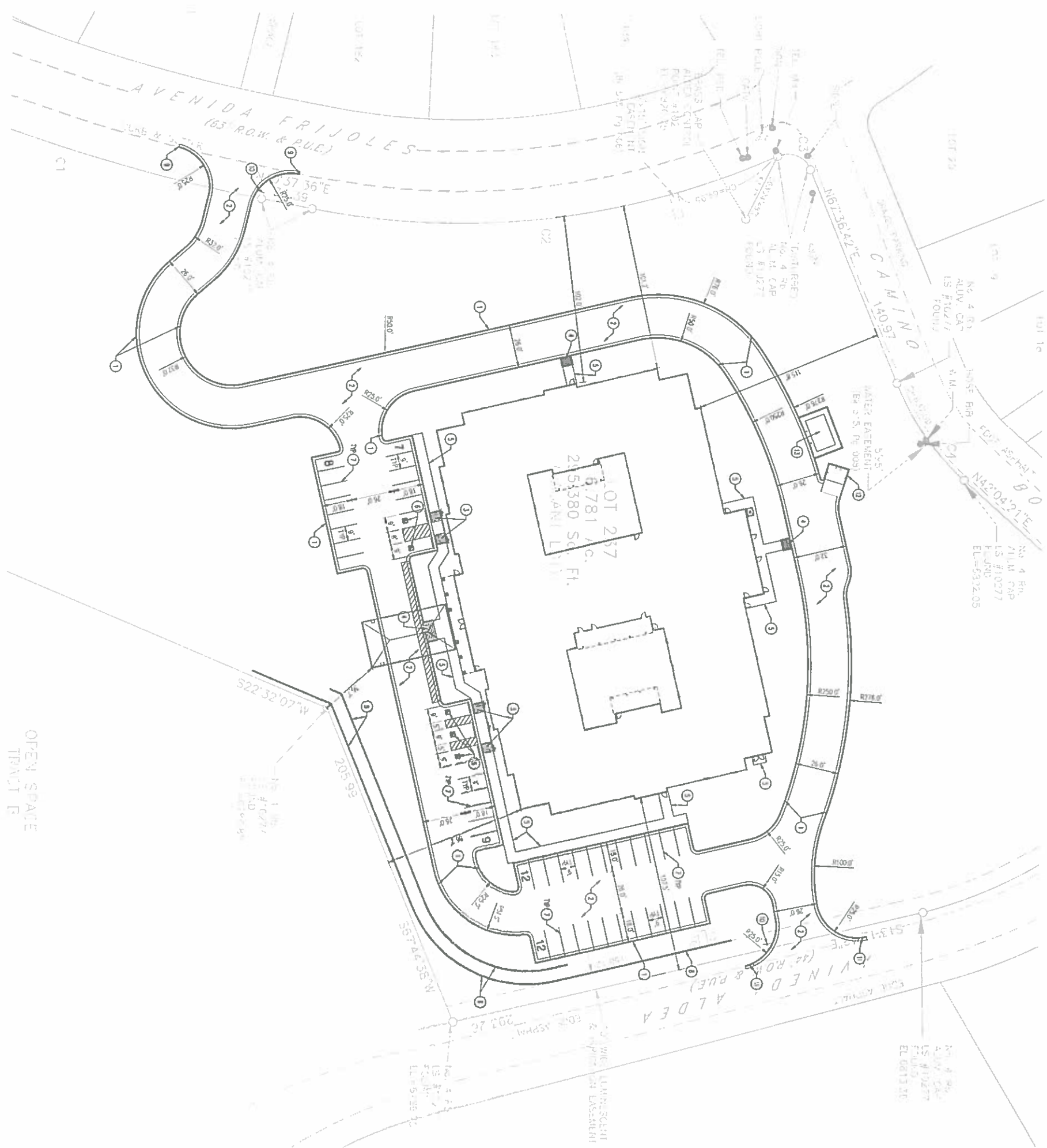
AVENIDA FRIJOLES
(63' R.O.W. & P.U.E.)

CURB & GUTTER

N 10° 37' 36" E
31.39

No. 4 Rb.
ALUM. CAP
LS #10277
FOUND





KEYED NOTES

1. CONSTRUCT CONCRETE CURB & GUTTER PER 1/C110.
2. INSTALL ASPHALT PAVEMENT PER 3/C110.
3. CONSTRUCT CONCRETE CURB RAMP PER 1/C110.
4. CONSTRUCT CONCRETE CURB RAMP PER 1/C110.
5. CONSTRUCT CONCRETE SIDEWALK PER 2/C110.
6. ACCESSIBLE PARKING SEE DETAILS 5/C111 & 6/C110.
7. PAINT 4" WIDE SOLID WHITE STRIPE.
8. RETAINING WALL. SEE STRUCTURAL PLANS FOR DETAILS.
9. MATCH EXISTING CURB & GUTTER HORIZONTALLY & VERTICALLY.
10. INSTALL POST MOUNTED STOP SIGN. SEE SIGN FACE DETAIL 4/C110.
11. CONSTRUCT 5' RAISED CURB FROM 6" CURB TO FLUSH CURB.
12. CONSTRUCT REPOSE ENCLOSURE PER 7/C110 & 8/C110.
13. UTILITY PAD.

LEGEND

- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED RETAINING WALL

SITE INFORMATION

SITE LOCATION: 34 AVENIDA FRIJOLES/LOT 237, ALDEA DE SANTA FE, PHASE 1A

LAND AREA: 6.78 ACRES (288,334 SF)

ZONING: "RESIDENTIAL" PER THE ALDEA DE SANTA FE MANDATED MASTER PLAN RECORDED JULY 29, 2005

BUILDING FOOTPRINT: 36,464 SF

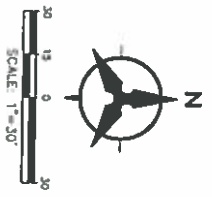
LOT COVERAGE: 12.33%

GROSS FLOOR AREA: 68,476 SF (78,000 SF MAXIMUM)

APPROX. ALLOWABLE BUILDING HEIGHT: 38 FEET

OPEN SPACE: 4.98 ACRES/77 OR

PARKING PROVIDED: 20 STAFF SPACES, 28 VISITOR SPACES, TOTAL 48 SPACES



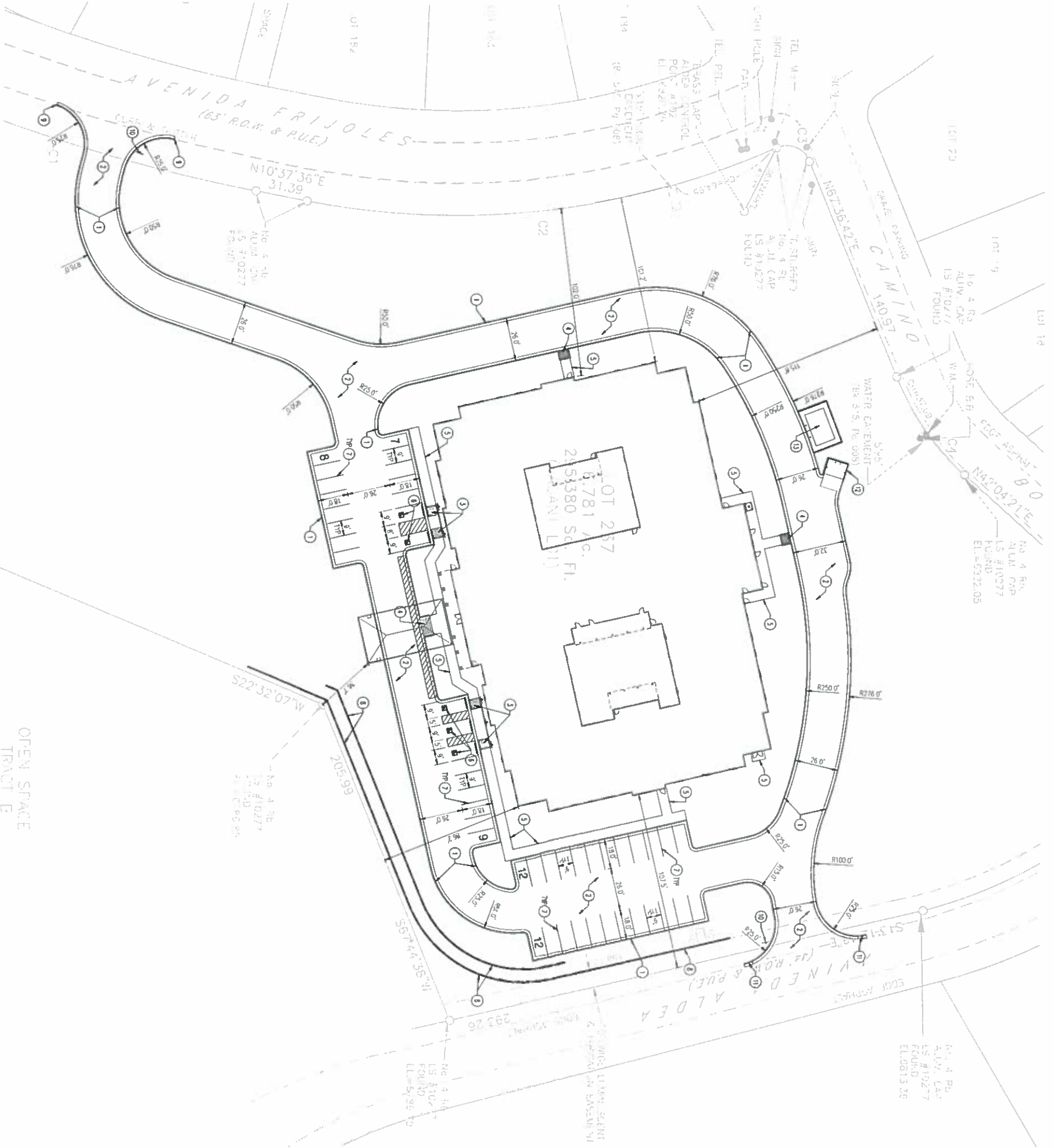
Bohannon **Huston**
 www.bhinc.com 800.877.5832

THE LEGACY AT SANTA FE ASSISTED LIVING FACILITY

PRELIMINARY/FINAL DEVELOPMENT PLAN

NO.	DATE	REVISIONS	BY	REMARKS	DESIGN
4/15		REV. PER TERRAIN MST REVIEW	GSB		

CONTRACTOR	DATE	AS-BUILT INFORMATION	ENGINEER'S SEAL
DESIGNED BY	GSB	DATE	3/2015
DRAWN BY	BO	DATE	3/2015
CHECKED BY	GSB	DATE	3/2015



KEYED NOTES

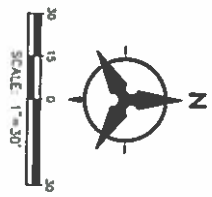
1. CONSTRUCT CONCRETE CURB & GUTTER PER 1/C/10.
2. METAL ASPHALT PAVEMENT PER 3/C/10.
3. CONSTRUCT CONCRETE CURB RAMP PER 1/C/10.
4. CONSTRUCT CONCRETE CURB RAMP PER 1/C/10.
5. CONSTRUCT CONCRETE SIDEWALK PER 2/C/10.
6. ACCESSIBLE PARKING, SEE DETAILS 5/C/11 & 6/C/10.
7. PAINT 4" WIDE SOLID WHITE STRIPE.
8. RETAINING WALL, SEE STRUCTURAL PLANS FOR DETAILS.
9. MATCH EXISTING CURB & GUTTER HORIZONTALLY & VERTICALLY.
10. METAL POST MOUNTED STOP SIGN, SEE SIGN FACE DETAIL 4/C/10.
11. CONSTRUCT 5" TRANSITION FROM 6" CURB TO RUSH CURB.
12. CONSTRUCT RETRO REFLECTOR PER 7/C/10 & 8/C/10.
13. UTILITY PAD.

LEGEND

- PROPOSED LINE
- PROPOSED CONCRETE CURB & GUTTER
- PROPOSED EXISTING WALL

SITE INFORMATION

SITE LOCATION: 24 AVENIDA FRIJOLES/LOT 237, ALDEA DE SANTA FE, PHASE 1A
 LAND AREA: 6.73 ACRES (291,334 SF)
 ZONING: "RESIDENTIAL" PER THE ALDEA DE SANTA FE AMENDED MASTER PLAN, RECORDED JULY 29, 2005
 BUILDING FOOTPRINT: 251,380 SF
 LOT COVERAGE: 12.24%
 GROSS FLOOR AREA: 64,495 SF (70,000 SF MAXIMUM)
 WAREHOUSE ALLOWABLE BUILDING HEIGHT: 35 FEET
 OPEN SPACE: 4.98 ACRES/17.0%
 PARKING PROVISIONS: 20 STAFF SPACES, 20 VISITOR SPACES, TOTAL: 40 SPACES

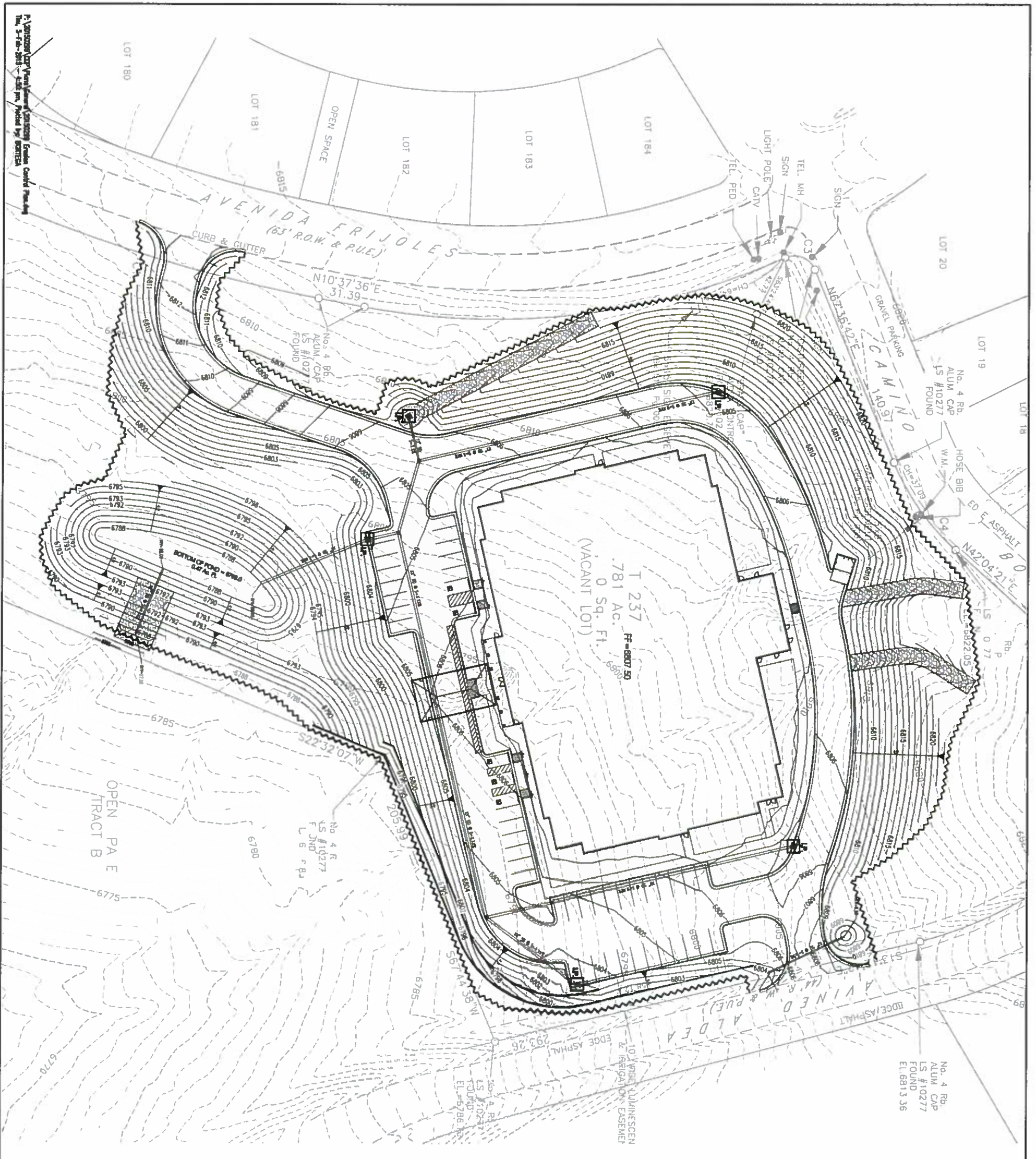


Bohannan & Huston
 www.bhinc.com
 800.877.5332

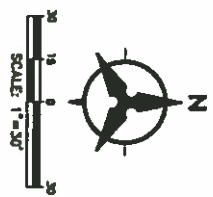
THE LEGACY AT SANTA FE
 ASSISTED LIVING FACILITY

PRELIMINARY/FINAL DEVELOPMENT PLAN

REVISIONS			AS-BUILT INFORMATION		ENGINEER'S SEAL	
NO.	DATE	REMARKS	CONTRACTOR	DATE		
DESIGNED BY	CSB	DATE	3/2015	DATE		
DRAWN BY	BO	DATE	3/2015	DATE		
CHECKED BY	CSB	DATE	3/2015	DATE		



- SWPPP LEGEND**
- Silt Fence
 - Salt Fence
 - Melt Protection



Bohannan & Huston
 www.bhinc.com
 800.877.5332

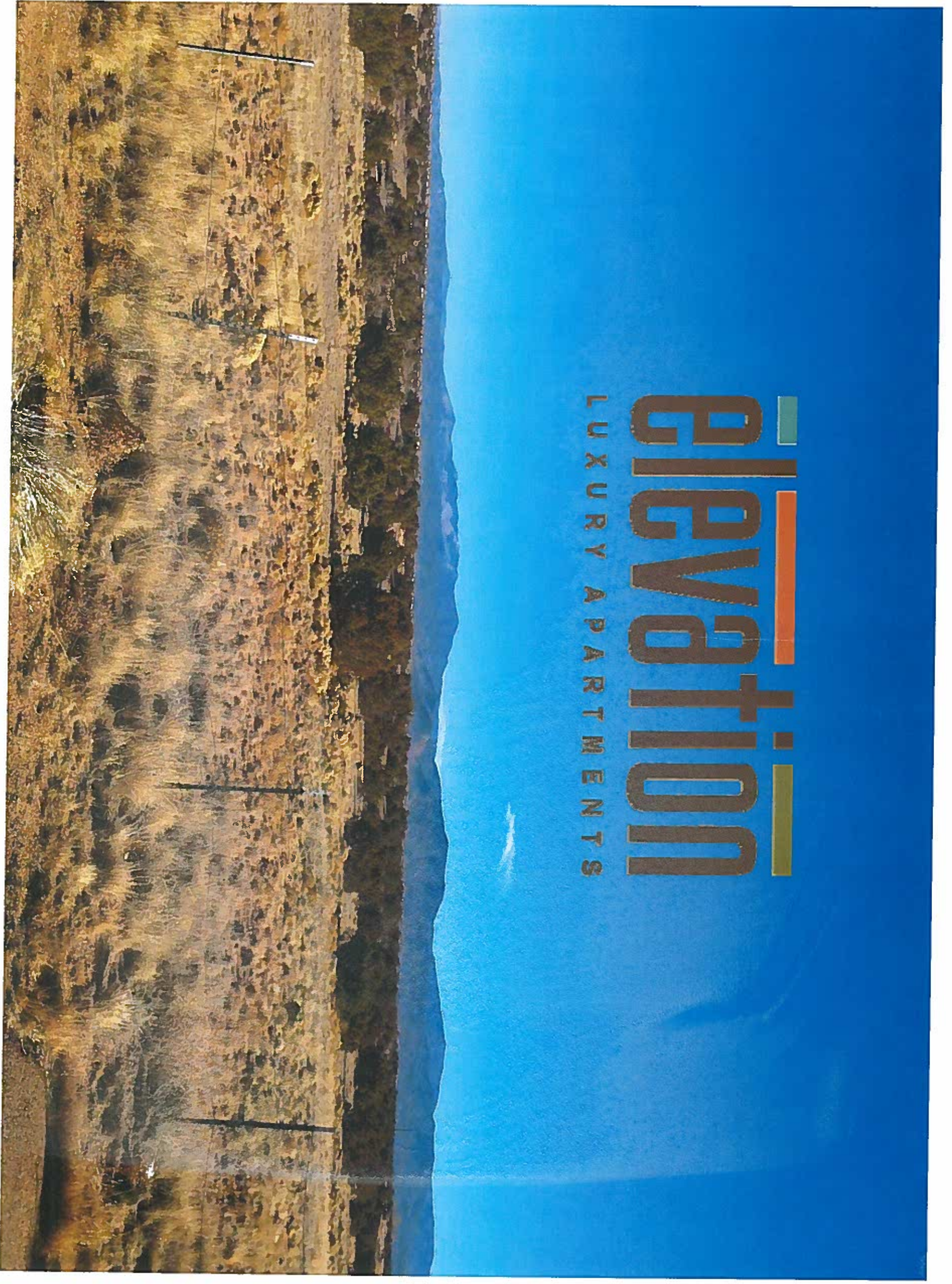
ALDEA ASSISTED LIVING

EROSION CONTROL PLAN

PROJECT NO. 20150299 SHEET 3 OF 10

BENCH MARKS		AS-BUILT INFORMATION		ENGINEER'S SEAL	
NO.	DATE	REMARKS	BY	CONTRACTOR	DATE
		DESIGN		INSPECTOR	DATE
		REVISIONS		FIELD SUPERVISOR	DATE
		DESIGN		PREPARED BY	DATE
DESIGNED BY	GSB	DATE	3/2015		
DRAWN BY	BO	DATE	3/2015		
CHECKED BY	GSB	DATE	3/2015		

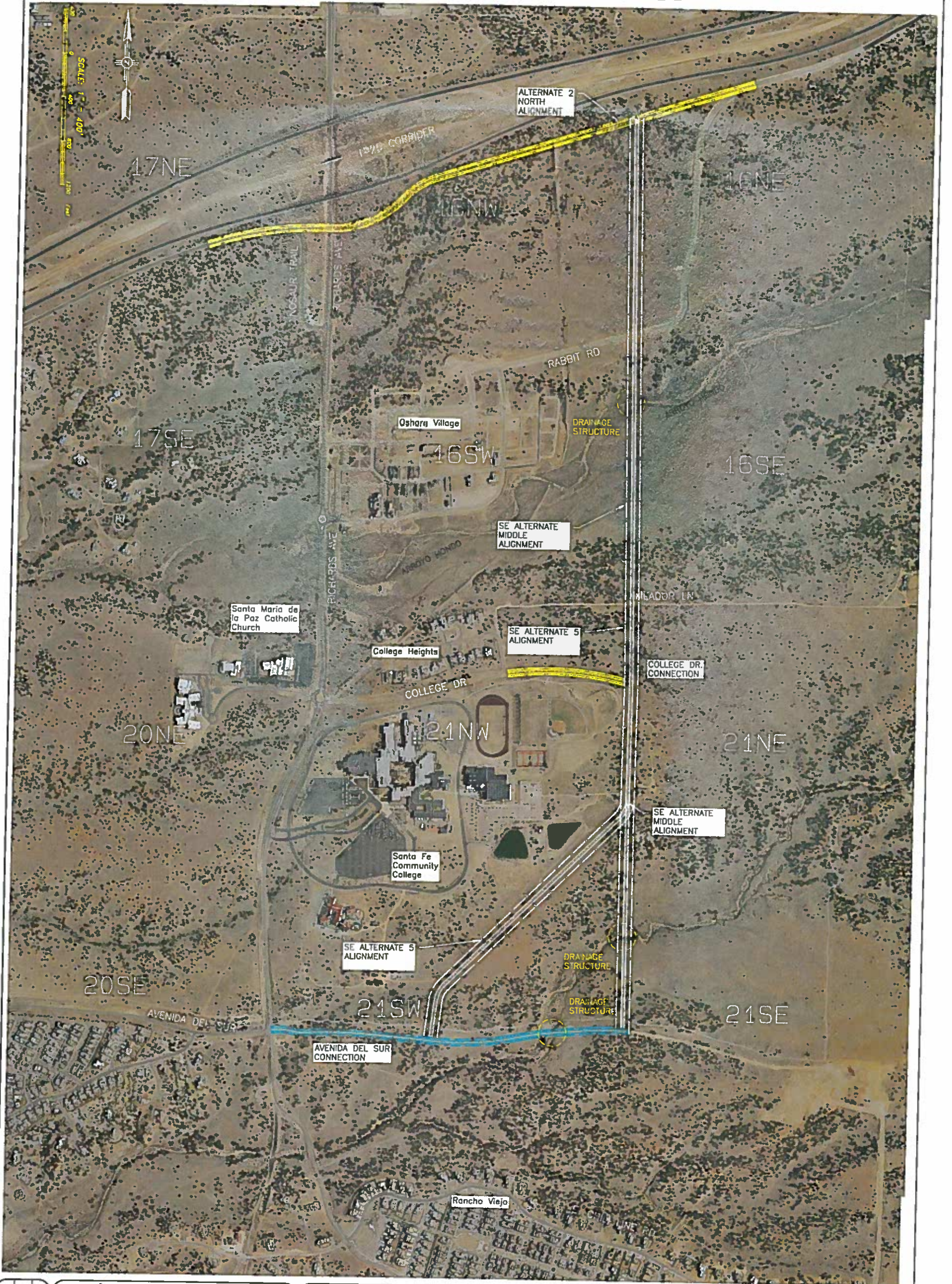
P:\Projects\2015\20150299\20150299_01.dwg, Printed by GCSB, 3/10/2015 10:00 AM



elevation
LUXURY APARTMENTS



NE AND SE ALTERNATIVES





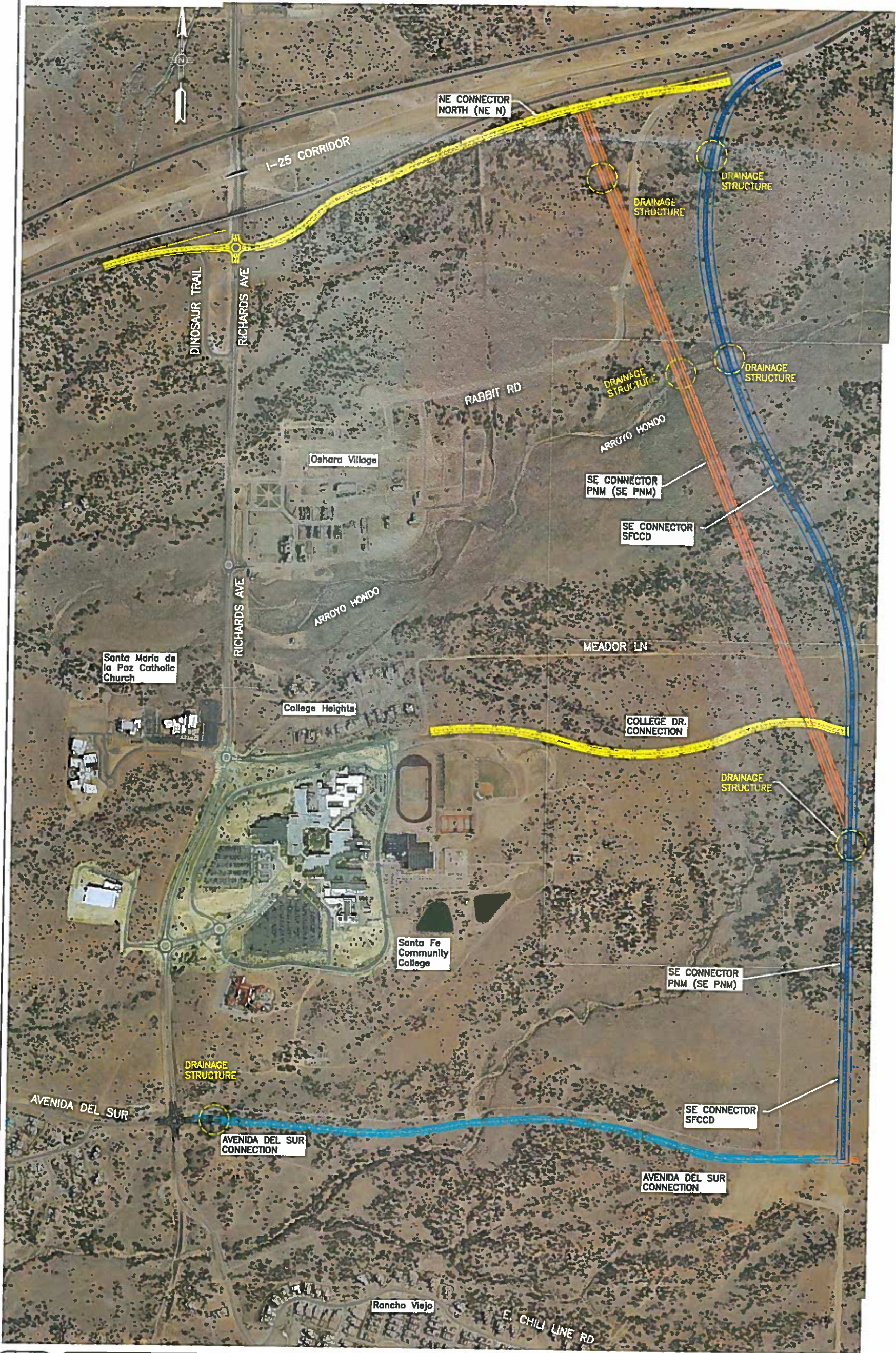
 E-0702-01
 DATE: January 2014
 SHEET NO: 15

SANTA FE CORRIDOR STUDY
 PHASE 1-A ALTERNATES
 ALTERNATES-BASE - NE AND SE ALTS

Santa Fe County			
Santa Fe County			
NO.			
1			
2			
3			
REVISION DESCRIPTION	DATE	BY	

--	--	--

NE AND SE ALTERNATIVES SELECTED TO MOVE FROM PHASE A TO PHASE B



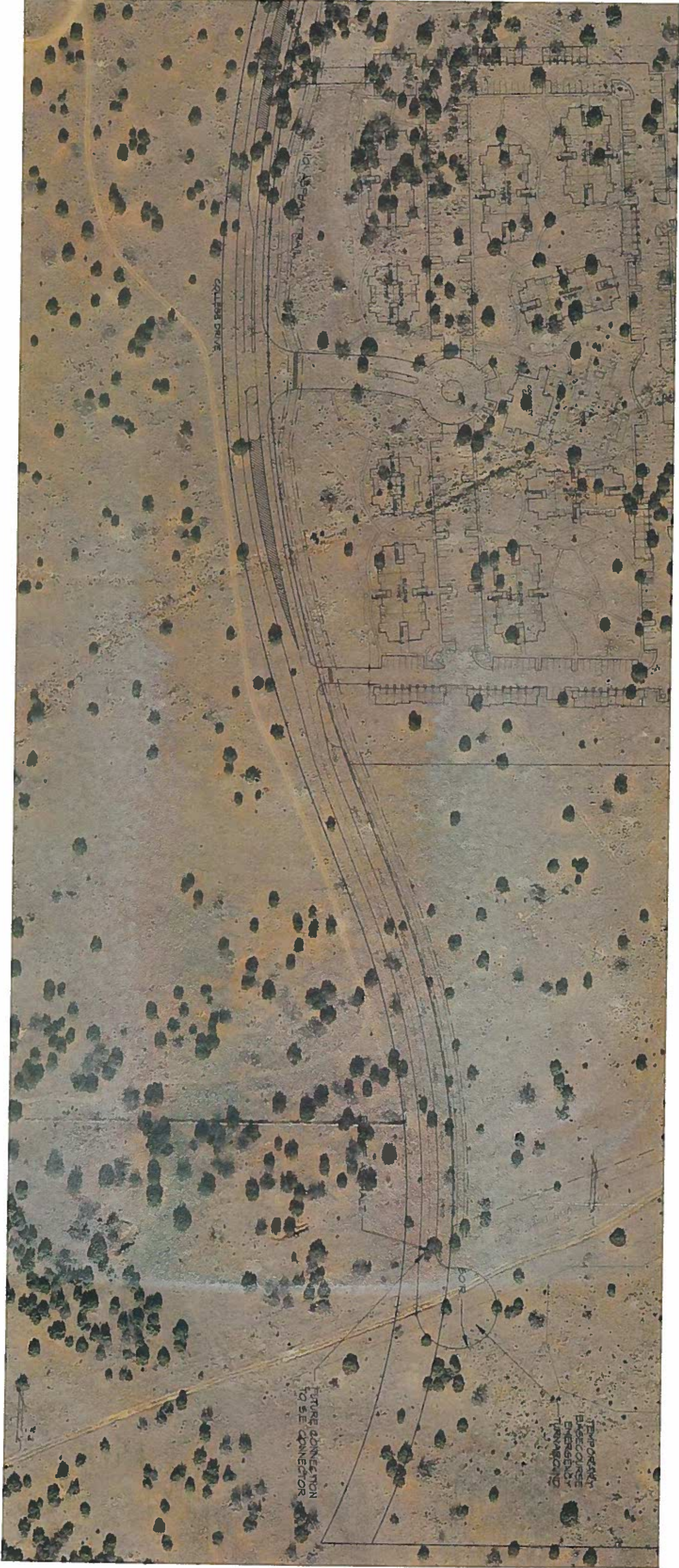
DATE	BY
16/07/2018	OC
16/07/2018	OC
16/07/2018	OC



SANTA FE CORRIDOR STUDY
 SELECTED ALTERNATIVES FOR PHASE B
 OVERALL LAYOUT

Santa Fe County		Santa Fe County	
NO.			
1			
2			
3			
REVISION DESCRIPTION	DATE	BY	

--	--	--



COLLEGE DRIVE

10. ASBURY BLDG

200

FOR

FUTURE CONNECTION
TO SE CONNECTOR

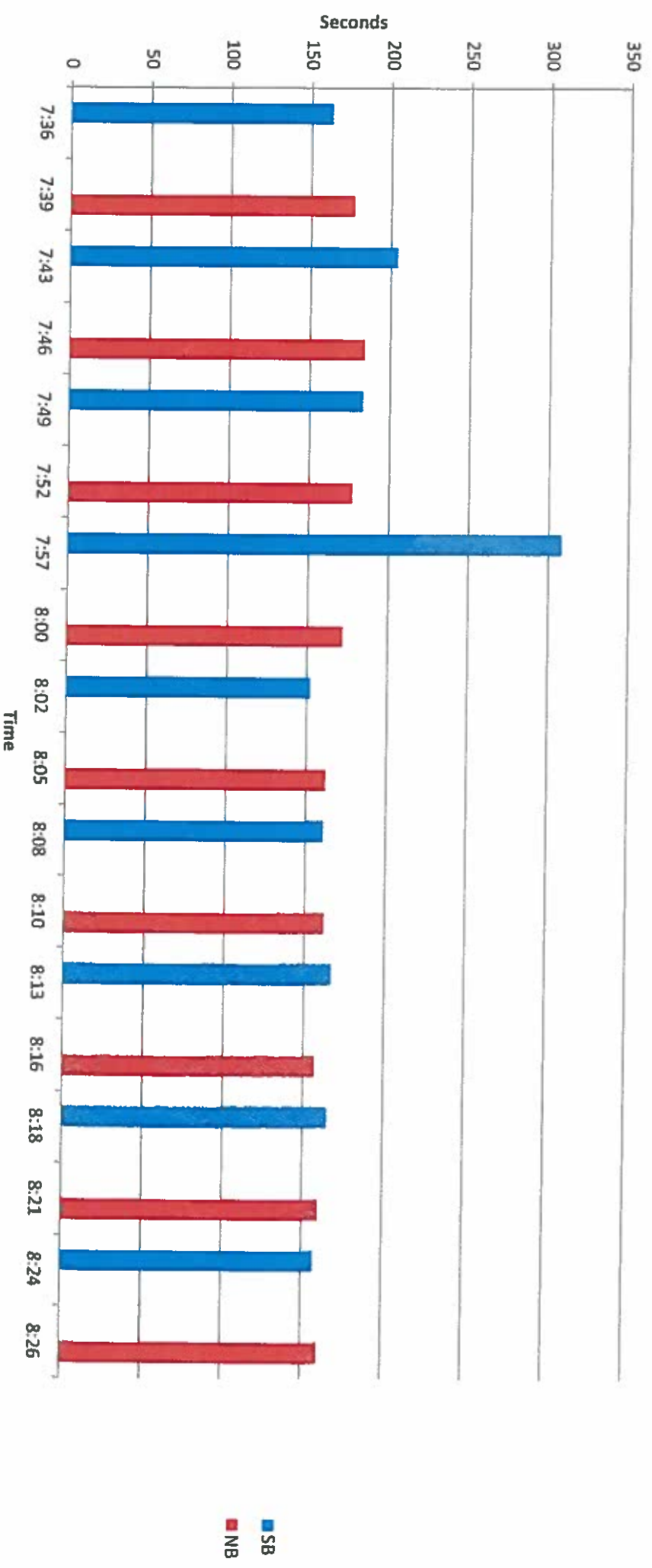
TEMPORARY
BASECOURSE
ENERGY
TURNAROUND

elevation

DELIVERY SCHEDULE

	<i>Number of Residences</i>	<i>Construction Start</i>	<i>Completion Date</i>
Phase 1	50	June 2016	May 2017
Phase 2	54	August 2016	July 2017
Leasing Begins			July 2017
Phase 3	46	October 2016	September 2017
Phase 4	50	December 2016	January 2018
Lease Stabilization			June-August 2018

Actual AM Travel Time Dinosaur Trail to Avenida del Sur



	<i>AM Peak</i>		<i>PM Peak</i>	
Willow Back Rd. Roundabout	TIA	Sim	TIA	Sim
Existing Conditions	26.7	12.9	18	11.9
Build Condition	43.9	17.6	32.4	16.6

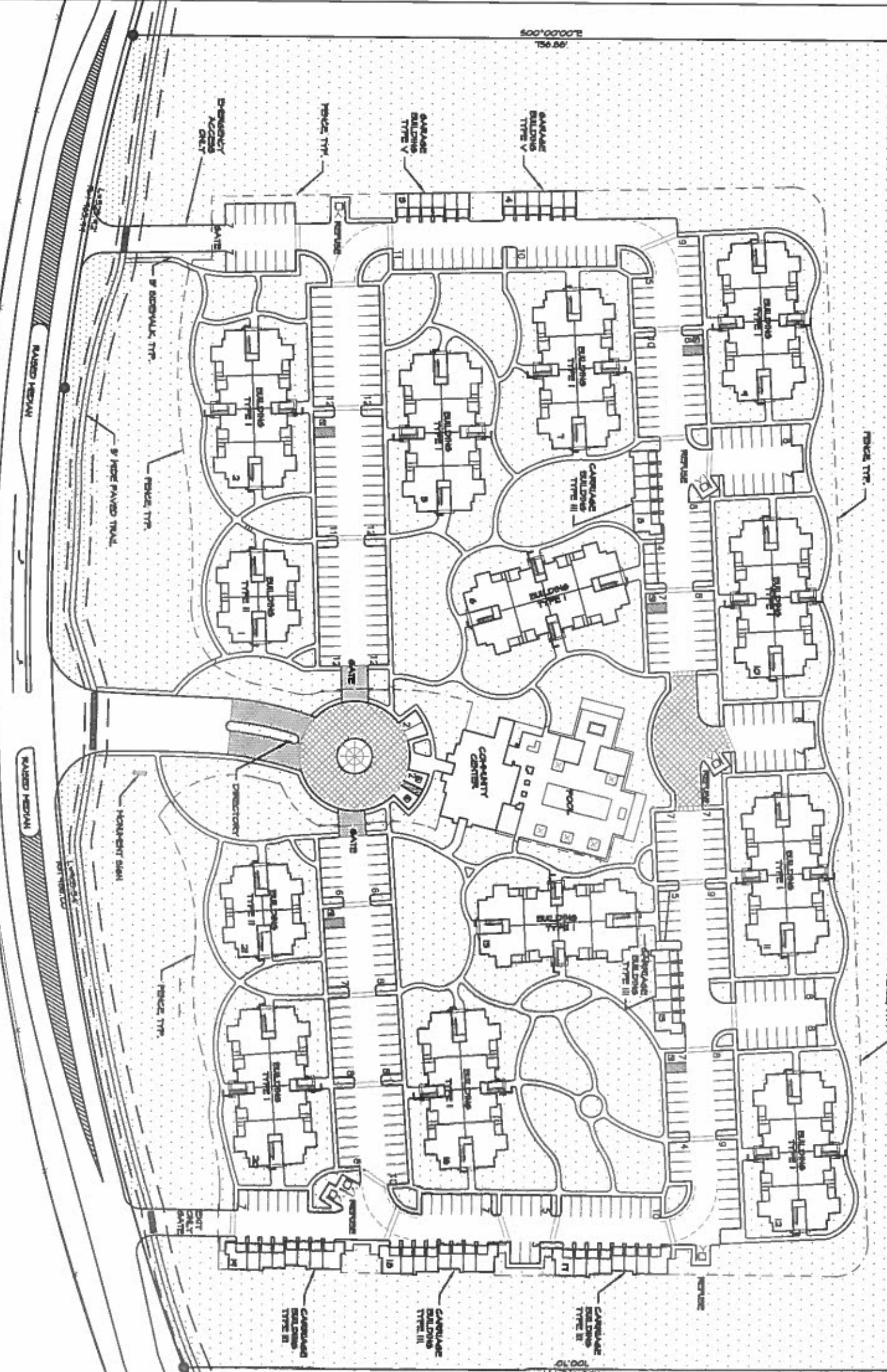
	<i>AM Peak</i>		<i>PM Peak</i>	
College Dr. Roundabout	TIA	Sim	TIA	Sim
Existing Conditions	43.3	15.4	16.0	10.6
Build Condition with SB Slip Lane	54.7	17.7	22.6	17.3

<i>Intersection</i>	<i>TIA Build Condition Period of LOS E/F</i>	<i>Simulation Build Condition Period of LOS E/F</i>
Willow Back Road Roundabout	7:45 a.m. – 8:00 a.m.	None
College Drive Roundabout	7:45 a.m. – 8:00 a.m.	None



SUBJECT TO:
NOTICE OF RELOCATION OF EASEMENT,
RECORDING AND RIGHT-OF-WAY
RECORDED IN 1315, PG. 88-81

30' WIDE, EGRESS & UTILITY EASEMENT
RECORDED IN 1315, PG. 88-81



LEGEND
 COMMON OPEN SPACE
 PRIVATE OPEN SPACE

SITE DATA

PROJECT AREA: 22.00 AC.
 ADDRESS: 65 COLLEGE DRIVE, SANTA FE COUNTY
 200 UNIT APARTMENT
 BUILDING FOOTPRINT: 420,100 SQUARE FEET
 LOT COVERAGES STRUCTURES: 19,208
 FLOOR AREA RATIO: 0.22
 MAXIMUM BUILDING HEIGHT: 36 FEET (2' FROM FINISH GRADE)
 5205 FLOOR AREA: 212,250 SQUARE FEET
 (DOES NOT INCLUDE COURTYARDS OR PORCHES)
 PARKING/DRIVE LANE: 194,952 SQUARE FEET
 ON-SITE PARKING: 419 SPACES (INCLUDES 40 GARAGE SPACES)
 OPEN SPACE: 19,500 AC. ± 61%
 FEATURES: RAINWATER HARVESTING, FITNESS CENTER, CLUBHOUSE AND POOL.

ALL PARKING & ROADWAYS WILL BE SURFACED WITH ASPHALT
 COUNTY WATER SERVICE
 RANCHO VIEJO UTILITIES SEWER SERVICE

* ZONING: VILLAGE ZONE, NEW COMMUNITY CENTER FOR THE SR COMMUNITY COLLEGE DISTRICT ORDINANCE

APPROVALS

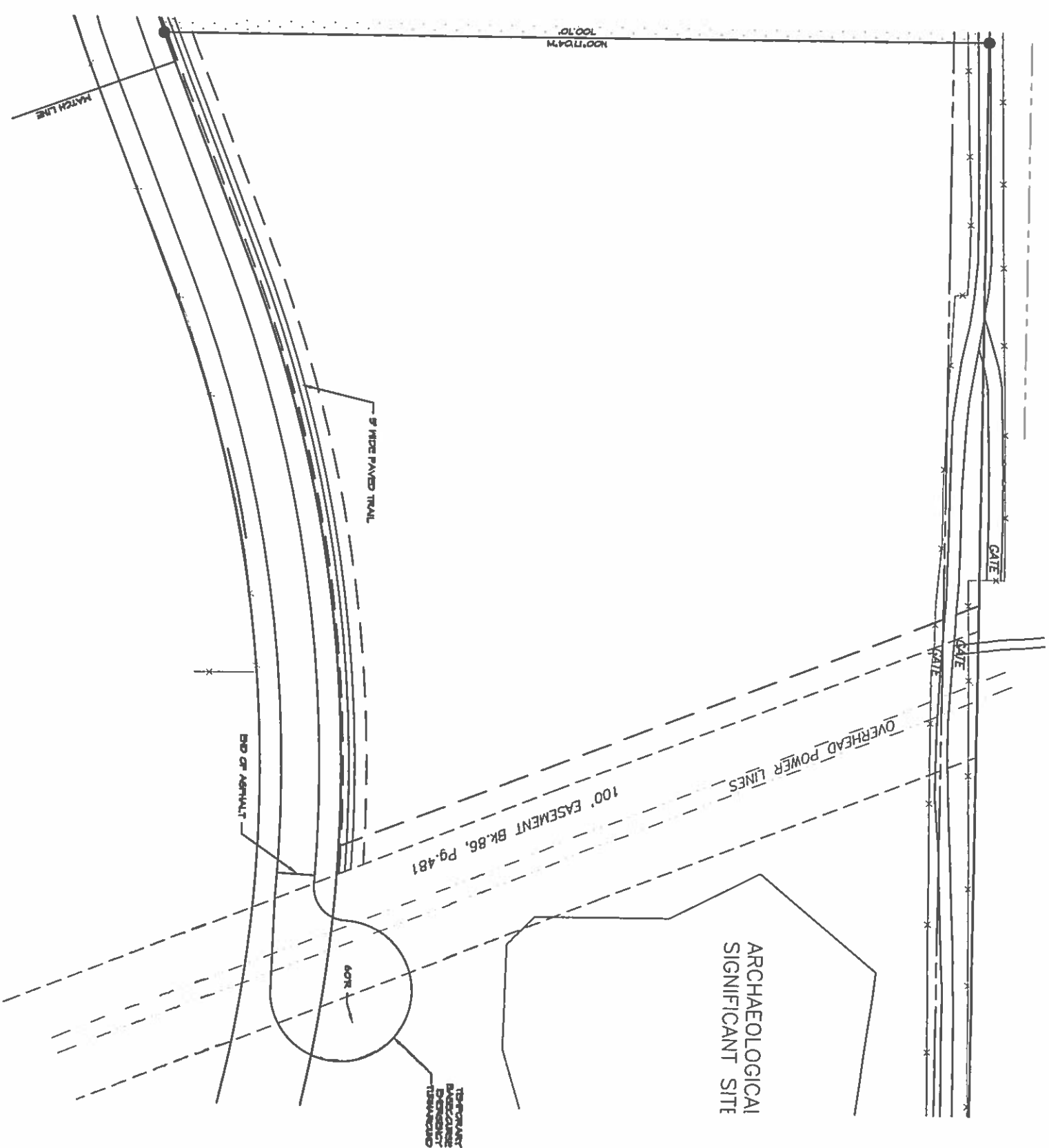
Approved by the County Development Review Committee at their meeting of _____

Chairperson: _____ Date: _____
 Approved by the Board of County Commissioners at their meeting of _____
 Chairperson: _____ Date: _____
 Assisted by: _____ Date: _____
 County Clerk: _____ Date: _____
 County Development Permit No. 14: _____
 Approved by: _____ Date: _____
 County Land Use Administrator: _____ Date: _____
 Approved by: _____ Date: _____
 County Fire Marshal: _____ Date: _____
 Approved by: _____ Date: _____
 County Public Works Director: _____ Date: _____

DESIGN ENGINEERING

ELEVATION
FINAL DEVELOPMENT PLAN
FINAL DEVELOPMENT PLAN

DATE: 11-18-2017
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 SCALE: AS SHOWN
 SHEET NO. 2A



ARCHAEOLOGICAL
SIGNIFICANT SITE

100' EASEMENT BK. 86, Pg. 481

5' WIDE PAVED TRAIL

100' ASPHALT

AOPR

TEMPORARY
ARCHAEOLOGICAL
EASEMENT
REMOVED

DESIGN ENGINEER

4841 Linden Street, Suite C, Santa Fe, New Mexico
505 981-1991

ELEVATION
FINAL DEVELOPMENT PLAN

FINAL DEVELOPMENT PLAN

SCALE	DATE
1"=50'	06/15/2019
DESIGNED BY / APPROVED BY	DATE
	06/15/2019